



# PLANNING BOARD MEETING AGENDA

Thursday May 21, 2020

Zoom Virtual Meeting

6:30 p.m.

## **Call to Order**

## **Pledge of Allegiance**

## **Introduction of Board Members**

## **Public Comment**

## **Approval of Minutes**

1. May 7, 2020

## **Public Hearing**

2. Site Plan Review. Solar Array (Essential Services & Construction over 3,000 ft<sup>2</sup>). 193 Route 236 (R66 6-A) R2 Zone. Berwick Solar, LLC.

## **Old Business**

2. Site Plan Review. Solar Array (Essential Services & Construction over 3,000 ft<sup>2</sup>). 193 Route 236 (R66 6-A) R2 Zone. Berwick Solar, LLC.

## **New Business**

3. Subdivision Amendment. Final Plan. Lot Line Adjustment. 565 Portland Street (R72 9-2) RC/I Zone. Route 4 Self Storage, LLC.
4. Site Plan Review. Expansion of Self-Storage Facility. 565 Portland Street (R72 9-2) RC/I Zone. Route 4 Self Storage, LLC.
5. Conditional Use Application. Sawmill. 96 Cemetery Road (R37 15-A) R2 Zone. Thomas Wright.

## **Public Comment**

## **Informational Items**

## **Adjournment**



# PLANNING BOARD MEETING MINUTES

Thursday May 7, 2020  
Town Hall Meeting Room  
6:30 p.m.

## **Call to Order**

## **Pledge of Allegiance**

## **Introduction of Board Members**

*Dave Andreesen; Sean Winston; Nichole Fecteau; Frank Underwood; Michael LaRue*

**Regular Member Absent:**

**Alternate Member Present:** *David Ross-Lyons (voting member)*

**Staff Members Present:** *Lee Jay Feldman, Director of Planning; James Bellissimo, Planner; Jenifer McCabe, Code Enforcement Officer*

## **Public Comment**

## **Approval of Minutes**

### **1. April 16, 2020**

Sean Winston said context should be added to the zoning amendment discussion on marijuana. David Ross-Lyons pointed out the minutes said he was in attendance and he was not.

**Motion:** Nichole Fecteau motioned to approve the minutes as amended.

**Second:** Sean Winston

**VOTED – 4-0-1 in favor**

## **Motion Passed**

In favor: Dave Andreesen; Sean Winston; Michael LaRue; Nichole Fecteau

Opposed: None

Abstain: David Ross-Lyons

## **Public Hearing**

2. Site Plan Review. Funeral Home. Cemetery Road (R36-46) R2 Zone. Lang-Bibber Funeral Home

*The public hearing was closed.*

## **Old Business**

2. Site Plan Review. Funeral Home. Cemetery Road (R36-46) R2 Zone. Lang-Bibber Funeral Home

Geoff Aleva said upon review there were no deed restrictions found on the land dating back to the creation of the lot in 1919. The plan is to have an estimated 150 services per year. Mr. Aleva said 80-90% of the time the bodies will be prepared off site. Mr. Aleva said there are no industrial standards for waste for this use. If preparation of bodies is required on site, the wastewater will be held in a tank on site and pumped out.

**Motion:** Sean Winston motioned to approve the Findings of Fact.

**Second:** Frank Underwood

**VOTED – 5-0 in favor**

**Motion Passed**

In favor: Dave Andreesen; Sean Winston; Michael LaRue; Nichole Fecteau; Frank Underwood

Opposed: None

Abstain: None

Frank Underwood asked the dollar amount of the surety for the stormwater system. Mr. Aleva said the cost would be an estimated \$15,000. Lee Jay Feldman said the amount due will be required prior to construction.

**Motion:** Michael LaRue motioned to approve the Conditions of Approval

**Second:** Sean Winston

**VOTED – 4-0 in favor**

**Motion Passed**

In favor: Sean Winston; Michael LaRue; Nichole Fecteau; Frank Underwood

Opposed: None

Abstain: None

**Motion:** David Ross-Lyons motioned to approve the application

**Second:** Frank Underwood

**VOTED – 5-0 in favor**

**Motion Passed**

In favor: Sean Winston; Michael LaRue; Nichole Fecteau; Frank Underwood; David Ross-Lyons

Opposed: None

Abstain: None

### **New Business**

3. Site Plan Review. Solar Array (Essential Services & Construction over 3,000 ft<sup>2</sup>). 193 Route 236 (R66 6-A) R2 Zone. Berwick Solar, LLC.

James Bellissimo read his memo to the Board. The use is defined as Essential Services but because there is construction of over 3,000 ft<sup>2</sup> the project will be reviewed as a Site Plan Review.

Zach Gordon introduced himself and his company EMI. Mr. Gordon explained his company is leasing land from the property owner Les Bodwell.

Gil Paquette of VHB introduced himself as the engineer of the project. Mr. Paquette said there are several similar projects in Maine because of recent solar incentives put in place by Governor Mills.

Zach Gordon explained the tax credit process at the State level. Mr. Gordon said the procedure is based on a bid process.

The Board and Staff had a discussion on the use and what review the project should come under.

Dave Andreesen asked if there are batteries on site. Mr. Andreesen asked what happens if the solar does not get off the ground. Mr. Gordon said the energy will go directly to the line, so no storage. Mr. Gordon said if the solar project does not happen, the option for the lease would be given up.

Frank Underwood asked for clarity on all the entities are and asked about the lots.

Jay Conroy of EMI said there will be smaller inverters along the array. Mr. Pacquette explained how the power will be distributed to the three phase power onto Route 236.

**Motion:** David Ross-Lyons motioned to find the application complete

**Second:** Dave Andreesen

**VOTED – 5-1 in favor**

**Motion Passed**

In favor: Sean Winston; Michael LaRue; Nichole Fecteau; Frank Underwood; Dave Andreesen

Opposed: Frank Underwood

Abstain: None

*Site walk scheduled for 5PM and site walk scheduled for 6:30PM.*

4. Site Plan Amendment. Commercial Storage. 387 School Street (R54-4) R2 Zone. PK Storage, LLC.

James Bellissimo read his memo to the Board. Mr. Bellissimo pointed out the lighting may be in violation.

Neil Rapoza of Civil Consultants introduced himself as the representative on the project. Mr. Rapoza said the lighting elements are visible from the road and will need to be addressed. Mr. Rapoza said for landscaping the applicant would like to keep the view of the facility open. David Ross-Lyons said he is not supportive of waiving the landscaping.

Nichole Fecteau asked why is the road 16' wide. Mr. Rapoza said that was the existing access.

Dave Andreesen reiterated the concern on the lighting.

**Motion:** Nichole Fecteau motioned to find the application complete

**Second:** Frank Underwood

**VOTED – 5-0 in favor**

**Motion Passed**

In favor: Sean Winston; Michael LaRue; Nichole Fecteau; Frank Underwood; Dave Andreesen

Opposed: None

Abstain: None

*Public Hearing 6:30PM and Site Walk 5:00PM scheduled for June 4<sup>th</sup>.*

**Public Comment**

**Informational Items**

Nichole Fecteau suggested additional marijuana standards in the Land Use Ordinance. Including: significantly increase the setbacks, limiting large scale facilities out of residential areas, and reduce size of facilities near residences.

Great Falls Construction is hiring for construction in the Downtown area.

**Adjournment**

**Motion:** David Ross-Lyons motioned to adjourn

**Second:** Sean Winston

**VOTED – 5-0 in favor**

**Motion Passed**

In favor: Dave Andreesen; Sean Winston; Michael LaRue; Nichole Fecteau; Frank Underwood

Opposed: None

Abstain: None

Minutes prepared by Berwick Planner James Bellissimo, for consideration at the next Berwick Planning Board meeting.

Signed as Approved by the Board:

\_\_\_\_\_

\_\_\_\_\_



Energy Management, Inc.

20 Park Plaza, Suite 1101, Boston, MA 02116

617-904-3100 | 617-904-3109 fax | [www.emienergy.com](http://www.emienergy.com)

## **Berwick Solar Decommissioning Plan**

Berwick Solar, LLC has prepared this Decommissioning Plan (the “Plan”) for its proposed solar photovoltaic facility (the “Facility”) to be constructed off Route 236, Berwick, Maine. It is important to note that the lifecycle of this Facility will likely be in the 30-50 year range. The Plan describes the process for decommissioning the Facility. Berwick Solar, LLC is pleased to file this Decommissioning Plan as a supplement to our Site Plan Application.

### **Facility Description**

The Facility will consist of a 2.5 MW (AC) capacity solar power-generating array secured within a chain-link fence surrounding the solar panels and equipment, accessed through a locked gate off of Route 236. The Facility will include the following site features:

- One array of photovoltaic (PV) modules and mounting systems covering approximately 13 acres;
- Screw or driven piles supporting the PV modules;
- Three transformers (filled with biodegradable mineral oil), associated electrical equipment and approximately 40 inverters strung throughout the array;
- A chain-link security fence;
- Underground conduit and wires;
- Aboveground wooden utility poles;
- Overhead wires;
- A gravel access drive; and
- A metal security gate at the entrance.

### **Decommissioning Phases**

The Facility will be decommissioned by completing the following major phases: Dismantlement, Demolition, Disposal or Recycle, and Site Stabilization, as further described below.

#### Dismantlement, Demolition, and Disposal or Recycle

A significant portion of the components that comprise the Facility will include recyclable or re-saleable components, including copper, aluminum, galvanized steel, and modules. Due to their re-sale monetary value, these components will be dismantled, disassembled, and recycled rather than being demolished and disposed of.

Following coordination with Central Maine Power regarding timing and required procedures for disconnecting the Facility from the utility distribution network, all electrical connections to the system will be disconnected and all connections will be tested locally to confirm that no electric current is running through them before proceeding. All electrical connections to the PV modules will be severed at each module, and the modules will then be removed from their framework by cutting or dismantling the connections to the supports. Modules will be removed and sold to a purchaser or recycler. In the event of a total fracture of any modules, the interior materials are silicon-based and are not hazardous. Disposal (should it be necessary) of these materials will adhere to all applicable regulations.

The PV mounting system framework will be dismantled and recycled. The metal support systems will be removed and recycled. All other associated structures will be demolished and removed from the site for

recycling or disposal. This will include the site fence and gates, which will likely be reclaimed or recycled.

Any overhead wires will be removed from the Facility and will terminate at the utility-owned (Central Maine Power) connections Route 236. The access road will remain in place.

A final site walkthrough will be conducted to remove debris and/or trash generated during the decommissioning process, and will include removal and proper disposal of any debris that may have been wind-blown to areas outside the immediate footprint of the Facility. Sanitary facilities will be provided on-site for the workers performing the decommissioning of the Facility.

#### Site Stabilization

The areas of the Facility that are disturbed during decommissioning will be re-graded to establish a uniform slope and stabilized.

The decommissioning process is estimated to take approximately twelve to sixteen weeks and would be intended to occur outside of the winter season.



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## PLANNING BOARD MEMORANDUM TOWN OF BERWICK, PLANNING DEPARTMENT

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**TO:** BERWICK PLANNING BOARD  
**FROM:** JAMES BELLISSIMO, PLANNER  
**SUBJECT:** ROUTE 4 SELF STORAGE – SITE PLAN AMENDMENT/REVIEW  
**DATE:** MAY 14, 2020  
**CC:**

Route 4 Self Storage is proposing an expansion to their existing Site Plan. The expansion includes six buildings with footprints of 3,500 ft<sup>2</sup> each. Two additional buildings will be 5,360 ft<sup>2</sup> and one building 2,000 ft<sup>2</sup>. The total building floor area would be 60,220 ft<sup>2</sup> (33% lot coverage). All buildings will be pre-engineered metal structures.

There will be no employees on site. Temporary parking will be available in front of the units. A 30' access way is provided for maintenance and management use. Chief Plante indicated there are no issues with the layout. The facility will be accessible 24/7.

This project requires a DEP Site Location permit. 2 proprietary StormFilter units, an underdrain grass filter, catch basins and culverts make up the key components of the stormwater management on site.

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A waiver is requested for requirement 9.8.F.2.b.vi:  
Landscape plan showing location, type and approximate size of plantings and location and dimensions of all fencing and screening.

It is requested that the requirement of submitting a landscape plan be waived. The site is located 10' lower than the adjacent roadway (Portland Street), and is currently developed in the area that is visible from the roadway. Landscaping would have minimal aesthetic value in this location. The proposed location of fencing is indicated on sheet L1.

Waiving this requirement would not adversely affect abutting landowners or the general health, safety, and welfare of the Town and would not nullify the intent or purpose of the official zoning map, any ordinance, or the Comprehensive plan.

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### Planning Board Discussion Points & Decisions

1. Consider the waiver requested.
2. Determine application completeness
  - a. If complete, determine if a Site Walk is necessary and
  - b. Schedule the Site Walk & Public Hearing



# Town of Berwick

Where Tradition Meets Tomorrow

11 Sullivan Street, Berwick, Maine 03901

Phone: (207) 698-1101 Fax: (207) 698-5181

Website: [www.berwickmaine.org](http://www.berwickmaine.org)

## APPLICATION: CONDITIONAL USE PERMIT/SITE PLAN REVIEW

<b>PLANNING BOARD REVIEW FEES</b> <i>(All Fees are Non-Refundable)</i>		<input type="checkbox"/> \$500.00 <b>Conditional Use Review</b> <input checked="" type="checkbox"/> \$1,000.00* <b>Site Plan Review</b> <i>* Site Plan Review requiring more than 10 hours of staff time will be billed at \$80/hour.</i>		<b>Site Plan Review<sup>†</sup></b> Please check any that apply: <input checked="" type="checkbox"/> Construction of 3,000 or more ft <sup>2</sup> <input checked="" type="checkbox"/> Installment of 5,000 ft <sup>2</sup> or more impervious surfaces. <input type="checkbox"/> Mobile Home Park <input type="checkbox"/> Extraction Industry <input type="checkbox"/> Multi-Family <input type="checkbox"/> None of the above			
<b>PROPERTY DESCRIPTION</b>	Parcel ID	Map: R-72	Lot: 9-2	Zoning District: RC/I	Total Land Area: 4.5 ac	Part of a Subdivision (Y/N)	N
	Physical Address	565 Portland Street Berwick, ME 03901				Aquifer Protection (Y/N)	N
						Shoreland Protection (Y/N)	N
						Resource Protection (Y/N)	N
						Special Flood Hazard Area (Y/N)	N
<b>APPLICANT OR REPRESENTATIVE INFORMATION</b>	Name	CIVIL CONSULTANTS for: Route 4 Self Storage, LLC.		Mailing Address	PO Box 100 South Berwick, ME 03908		
	Phone	207-384-2550		Email Address	neil@civcon.com		
<b>PROJECT DESCRIPTION</b>	<u>Existing Use:</u> Undeveloped woods, existing self storage facility.						
	<u>Project Name:</u> Route 4 Self Storage Expansion						
	<u>Proposed Use</u> Expansion of the existing self storage facility.						
	<u>Waiver(s) Requested:</u> Waiver requested for 9.8.F.2.b.vi - Landscape Plan (see attached).						

**Planning Board meetings are the 1<sup>st</sup> and 3<sup>rd</sup> Thursday of each month at 6:30pm.**

This application must be submitted at least **two weeks** in advance of the Planning Board meeting. On-going applications have a **one-week** submittal requirement. Please e-mail a complete application to [planning@berwickmaine.org](mailto:planning@berwickmaine.org), submit the application fee and eight copies to the Planning Department with the requirements outlined on the other side of this application.

A Public Hearing and a site walk when necessary will be scheduled when the Planning Board finds the application complete. All expenses must be paid before a Certificate of Occupancy will be granted through the Code Enforcement Office. A performance guarantee may be required by the Planning Board.

**CERTIFICATION.** To the best of my knowledge, all information submitted with this application is true and correct.

Signature of Applicant

May 7, 2020  
Date

Submitted	Waiver Request	Conditional Use Application Requirements
X	N/A	List of Abutters located within 200 feet including tax map and lot number. Information can be found in the Assessing Database or GIS maps at <a href="http://www.berwickmaine.org">www.berwickmaine.org</a>
X	N/A	Right, Title and Interest to the Property: Copy of Deed, Purchase & Sale Agreement or subdivision approval.
X	<input type="checkbox"/>	Site Plan to include requirements in Section 9.8(F) of the Land Use Ordinance. Including: <input checked="" type="checkbox"/> Proposed buildings with room layout <input checked="" type="checkbox"/> Approximate boundaries of the parcel <input checked="" type="checkbox"/> Parking Plan <input checked="" type="checkbox"/> Traffic circulation with proposed exists and entrances <input checked="" type="checkbox"/> Lighting <input checked="" type="checkbox"/> Landscaping.
X	<input type="checkbox"/>	Written narrative describing proposed use including: <input checked="" type="checkbox"/> Total floor area <input checked="" type="checkbox"/> Ground coverage <input checked="" type="checkbox"/> Location of each proposed building <input checked="" type="checkbox"/> Setbacks to property line <input checked="" type="checkbox"/> Business Hours of Operation <input checked="" type="checkbox"/> Number of Employees <input checked="" type="checkbox"/> Materials to be Used Refuse/Garbage Disposal <input checked="" type="checkbox"/> Noise <input checked="" type="checkbox"/> Existing restrictions or easements on the site
<input type="checkbox"/>	X	<input type="checkbox"/> External Plumbing Permit or permission letter to enter municipal water and sewer lines. OR on-site soils investigation report by licensed site evaluator.
X	<input type="checkbox"/>	Written statement documenting proposed Low Impact Design (LID) for the site to reduce storm water volumes. LID includes, but is not limited to: green roofs, rain gardens, tree wells, infiltration basins, and permeable pavement.
X	<input type="checkbox"/>	Materials to satisfy Section of 9.8.I.1 a through s as they apply to Conditional Use Review.

Submitted	Waiver Request	Site Plan Approval Requirements <sup>†</sup>
		These requirements shall be met when the application meets any of the criterion of Section 9.8.E in the Land Use Ordinance.
X	<input type="checkbox"/>	Map or maps prepared at a scale of not less than 1" to 40'
X	<input type="checkbox"/>	Perimeter survey of parcel certified by registered land surveyor Which meets all requirements of 9.8. criterion 2.b.i
X	<input type="checkbox"/>	Topography indicating contours at intervals of not more than two feet in elevation unless otherwise specified by the Planning Board.
X	<input type="checkbox"/>	Existing and proposed locations and dimensions of any utility lines, sewer lines, water lines, easements, drainage ways, public or private ways
X	<input type="checkbox"/>	Location, ground floor area and elevations of buildings and other structures on site
X	<input type="checkbox"/>	On-site soils investigation which meets all requirements of 9.8.2.b.iv
X	<input type="checkbox"/>	Location and dimensions of on-site pedestrian and vehicular access ways, parking areas, loading and unloading facilities, design of ingress and egress of vehicles to and from the site on to public streets and curb and sidewalk lines
<input type="checkbox"/>	X	Landscape plan showing location, type and approximate size of plantings and location and dimensions of all fencing and screening
X	<input type="checkbox"/>	A written statement that meets all 11 requirements of 9.8.F.2.c
X	<input type="checkbox"/>	Materials to satisfy Section of 9.8.I.1 a through s as they apply to Site Plan Review.

RECORDING REQUESTED BY  
AND AFTER RECORDING RETURN TO:  
Marilyn E. Mistretta, Esq.  
Law Offices of Robert E. Danielson  
65 West Commercial Street, Suite 106  
Portland, Maine 04101

DEBRA L. ANDERSON, REGISTER OF DEEDS  
E-RECORDED **Bk 17811 PG 949**  
Instr # 2018041130  
10/01/2018 10:06:45 AM  
Pages 3 YORK CO

**WARRANTY DEED**

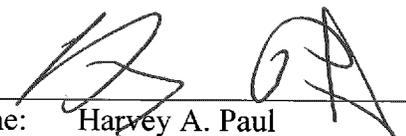
**OLD ROUTE 4 STORAGE, LLC**, a Maine limited liability company with its principal place of business at and a mailing address of 565 Portland Street, in the Town of Berwick, York County, State of Maine 03901, for consideration paid, grants to **ROUTE 4 SELF STORAGE, LLC**, a Maine limited liability company with a place of business at and a mailing address of 1465 Woodbury Avenue #362 in the City Portsmouth, Rockingham County, State of New Hampshire 03801, with **WARRANTY COVENANTS**, that certain parcel of land, including any buildings, improvements and all appurtenances thereto, located in the Town of Berwick, York County, State of Maine, and being more particularly described on Exhibit A attached hereto and made a part hereof.

IN WITNESS WHEREOF, Old Route 4 Storage, LLC has executed, acknowledged and delivered this instrument by and through Harvey A. Paul, its duly authorized Manager, this 28<sup>th</sup> day of September, 2018.

**ATTEST:**

**OLD ROUTE 4 STORAGE, LLC:**

  
\_\_\_\_\_  
Witness

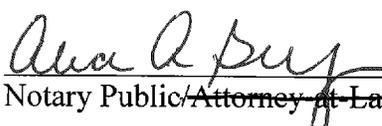
By:   
\_\_\_\_\_  
Name: Harvey A. Paul  
Its: Manager

STATE OF NEW HAMPSHIRE  
ROCKINGHAM, ss.

September 28, 2018

Personally appeared the above-name Harvey A. Paul, in his capacity as duly authorized Manager of Old Route 4 Storage, LLC, and acknowledged the foregoing instrument to be his free act and deed in said capacity, and the free act and deed of said Old Route 4 Storage, LLC.

Before me,

  
\_\_\_\_\_  
Notary Public/Attorney at Law



Maine R.E. Transfer Tax Paid

**EXHIBIT A**  
**Legal Description**

The hereinafter-described parcel of land located in the Town of Berwick, York County, State of Maine, situated northerly of, but not adjacent to Route 4 (Portland Street), being lands of Old Route 4 Storage, LLC, described in a deed from Harvey E. Paul and Carol A. Paul, dated June 22, 2005, recorded in book 14502, page 338 of the York County Registry of Deeds, and lands of Old Route 4 Storage, LLC, described in a deed from Harvey A. Paul, dated August 29, 2018, recorded in book 17793, page 480 of the York County Registry of Deeds, and being more particularly described as follows:

[Bearings in the following description are based on magnetic north in February, 1982]

BEGINNING at the southwesterly corner of the herein-described parcel, being the southwesterly corner of Amended Lot B on the herein-after referenced amended subdivision plan, being also the southeasterly corner of land now or formerly of Cheryl H. Dionne and David J. Dionne, described in a deed recorded in book 8064, page 55 of the York County Registry of Deeds, said point of beginning to be marked by a 5/8" diameter rebar with plastic identification cap marked "CIVIL CONSULT PLS 2362" to be set;

THENCE N 20°12'19" W, by said land of Dionne, 497.42 feet, to a 5/8" diameter rebar with plastic identification cap marked "CIVIL CONSULT PLS 2362" to be set at of H.P. Cycles, Inc., described in a deed of recent date from Harvey A. Paul, to be recorded at the York County Registry of Deeds;

THENCE N 80°47'30" E, by said land of H.P. Cycles, Inc., 190.80 feet, to an unmarked corner;

THENCE N 80°47'30" E, by said land of H.P. Cycles, Inc., 186.40 feet, to a 5/8" diameter rebar with plastic identification cap marked "CIVIL CONSULT PLS 2362" to be set at the northwesterly corner of land now or formerly of H.P. Cycles, Inc., described in a deed recorded in book 14480, page 576 of the York County Registry of Deeds;

THENCE S 22°53'44" E, by said land H.P. Cycles, Inc., 502.56 feet, to a 5/8" diameter rebar with plastic identification cap marked "CIVIL CONSULT PLS 2362" to be set in the centerline of Old Route 4;

THENCE S 80°47'30" W, by the centerline of Old Route 4, 201.23 feet to an unmarked corner;

THENCE S 80°47'30" W, by the centerline of Old Route 4, 200.00 feet to the POINT OF BEGINNING, containing approximately 4.4 acres (190,049 square feet +/-).

The hereinabove described parcel is subject to an easement benefiting land now or formerly of H.P. Cycles, Inc., as set forth in a deed recorded in book 14502, page 338 of the York County Registry of Deeds.

The above described parcel is designated as "AMENDED LOT B" as depicted on a subdivision plan entitled "AMENDMENT TO SUBDIVISION PLAN OF H.P. CYCLES INC., HARVEY A. PAUL AND OLD ROUTE 4 STORAGE, LLC – TAX MAP R-72, LOTS 9, 9-1 AND 9-2, ROUTE 4 (PORTLAND STREET), BERWICK, YORK COUNTY, MAINE, PREPARED FOR: HARVEY A. PAUL, CLIENT ADDRESS: 569 PORTLAND STREET, BERWICK, ME 03901", dated May 1, 2018, approved by the Berwick Planning Board on May 17, 2018, prepared by CIVIL CONSULTANTS, recorded at the York County Registry of Deeds in plan book 395, page 18.

Reference is made to a superseded subdivision plan entitled "MODIFIED MINOR SUBDIVISION OF LAND OF HARVEY PAUL, ROUTE 4 / RANDALL ROAD, BERWICK, ME", dated August 16, 2000, approved by the Berwick Planning Board on August 17, 2000, prepared by Cheryl L. Dionne, recorded at the York County Registry of Deeds in plan book 258, page 9.

**LIST OF ABUTTERS**  
**HP Cycles, Harvey Paul & Route 4 Self Storage**  
**Map R-72 Lot 9, 9-1, 9-2**  
**569 Portland Street**  
**Berwick ME**

<i>MAP</i>	<i>LOT</i>	<i>NAME &amp; MAILING ADDRESS</i>
R72	9	Harvey A. Paul 569 Portland Street Berwick ME 03901
R72	9-1	HP Cycles, Inc. 569 Portland Street Berwick ME 03901
R72	9-2	Route 4 Self Storage, LLC 565 Portland Street Berwick ME 03901
R72	9B	Cheryl H. & David J. Dionne 425 Emery's Bridge Road South Berwick ME 03908
R72	8	Lowery Family Investments LLC 549 Portland Street Berwick ME 03901
R72	8A	Steven R. Lachance 35 Coffin Road Berwick ME 03901
North Berwick		
1	40-1	Harvey A. Paul 17 Pleasant Street South Berwick ME 03908
1	41	Tri Berwick Realty PO Box 174 North Berwick ME 03906
1	37B	Richard W. Crispin PO box 652 North Berwick ME 03906

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One Portland Square  
Portland, ME 04101  
207-761-8600

May 6, 2020

Route 4 Self Storage LLC  
Tanner Herget  
565 Portland St  
Berwick ME 03901

RE: Expression of Interest

To whom it may concern,

Tanner Herget and Route 4 Self Storage LLC has been a client in good standing for the past 2 years. Once all approvals and permits have been provided, it is our intention to provide financing for expansion of the storage facility.

Please understand this is not a commitment to lend.

Feel free to reach out with any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Andrew Pease'.

Andrew Pease | Relationship Manager | Commercial Lending

**TD Bank, America's Most Convenient Bank**

One Portland Square, Portland, ME 04112-9540

T: 207 828 7050 | F: 207 761 8660 | C:207 233 3721

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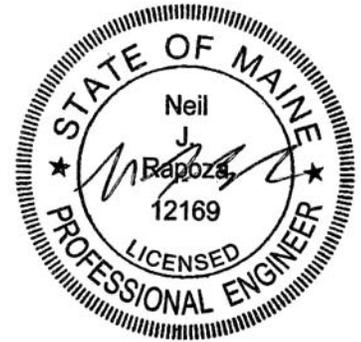
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## CIVIL CONSULTANTS MEMORANDUM

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**TO:** BERWICK PLANNING DEPARTMENT  
**FROM:** NEIL J. RAPOZA, PE  
**SUBJECT:** PROJECT NARRATIVE  
**DATE:** 6 MAY, 2020  
**PROJECT:** 16-187.02 – ROUTE 4 SELF STORAGE EXPANSION



This narrative is intended to provide information regarding the application for a Site Plan Review to allow the expansion of an existing self-storage facility located on Portland Street.

The proposed development will be located on Berwick Tax Map R-72 Lot 9-2. The lot has been historically used as self-storage facility, used automobile sales lot, and outdoor storage area. The project would involve the construction of nine new self-storage buildings and associated access ways and stormwater management facilities. All storage buildings will be pre-engineered metal structures. Of the buildings, six will have footprints of 3,500 sf each, with an additional two buildings having footprints of 5,360 sf each and a smaller building near the east property line with a footprint of 2,000 sf.

The facility will be remotely managed, no office is proposed on site. It is expected that the users of the self storage units will park temporarily in front of their units to load and unload items to be stored. No parking spaces have been delineated on the plan, however several areas of access ways greater than 30 ft wide are provided in the event that a vehicle needs to stay on site for infrequent events (maintenance, repair, etc.).

The facility will be accessible 24 hours a day, 7 days a week, through the use of access codes at the security gate. The existing security gate will remain, and the existing chain link fence will be relocated and extended as indicated on the plan.

Access to the site will be via an existing driveway that will not be modified for the expanded use.

The 4.5 acre lot has 0.3 acres of wetlands at the north and east lot lines portion of the lot. The size of the contiguous wetlands does not result in the lot being in the Resource Protection Zone per Town regulations. The dimensional requirements are met with the development as shown on the project drawings.

A Site Location of Development Act permit will be required to be issued by the Maine DEP. This will require both treatment of stormwater from the site and control of the flows that the downstream wetlands and waterways receive. This application will be submitted upon receiving requested input from various agencies. The Stormwater Management Plan submitted with this application is a copy of that which was prepared for the DEP submission. It is proposed that 2 proprietary StormFilter units be installed to provide treatment and runoff attenuation, along with an underdrained grass filter. A system of catch basins and culverts will direct flows to the treatment areas.

A Stormwater Maintenance and Inspection Plan has been prepared that will be utilized by the applicant to ensure that the treatment ponds and other structures perform as intended.

The site was heavily logged in recent years. It is the intention of the applicant to provide site stabilization and plantings to supplement existing vegetation as recommended by the DEP.

To complete the planned development, a total of 3,944 sf of wetland impact is proposed. The impacted wetlands are on the edge of the northern wetland. This impact does not trigger the requirement for a Tier 1 NRPA permit.

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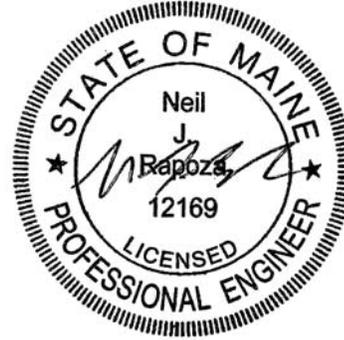
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**CIVIL CONSULTANTS MEMORANDUM**

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**TO: Town of Berwick**  
**FROM: Neil J. Rapoza, PE**  
**SUBJECT: Waiver: Landscaping Plan**  
**DATE: 5/6/2020**  
**PROJECT: 16-187.02 ROUTE 4 SELF STORAGE**



A waiver is requested for requirement 9.8.F.2.b.vi:

Landscape plan showing location, type and approximate size of plantings and location and dimensions of all fencing and screening.

It is requested that the requirement of submitting a landscape plan be waived. The site is located 10' lower than the adjacent roadway (Portland Street), and is currently developed in the area that is visible from the roadway. Landscaping would have minimal aesthetic value in this location. The proposed location of fencing is indicated on sheet L1.

Waiving this requirement would not adversely affect abutting landowners or the general health, safety, and welfare of the Town and would not nullify the intent or purpose of the official zoning map, any ordinance, or the Comprehensive plan.

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**CIVIL CONSULTANTS MEMORANDUM**

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**TO: Town of Berwick Planning Office**

**FROM: Neil J. Rapoza, PE – Sr. Project Engineer**

**SUBJECT: Project Summary – Town of Berwick Ordinance  
Section 9.8.F**

**DATE: 5/5/2020**

**ROJECT: 16-187.02 ROUTE 4 STORAGE EXPANSION**

As part of the site plan review process, the following memorandum has been prepared to address Section 9.8.F of the Berwick Land Use Ordinance.

<b>REQUIREMENTS</b>	<b>APPLICANT'S RESPONSE</b>
<b>9.8.F.1</b>	
a. Name and address of the applicant or his/her authorized agent and name of proposed development in which the applicant has title or interest; a deed for the property	<i>Applicant: Route 4 Self Storage, LLC 1465 Woodbury Ave, #362 Portsmouth, NH 03801 Agent: Neil J. Rapoza, PE CIVIL CONSULTANTS PO Box 100 South Berwick, ME 03908</i>
b. Municipal tax maps and lot numbers and names and addresses of abutting landowners	<i>Tax Map R-72, Lot 9-2. See attached abutter list.</i>
c. Total floor area, ground coverage and location of each proposed building; setbacks to property lines;	<i>Proposed 28,500 sf of new building area along with 43,360 sf of associated pavement, resulting and a total of 71,860 sf of new impervious area.</i>
d. Approximate boundaries of the parcel	<i>Provided on plans.</i>
e. If on-site sewage disposal is proposed, then an on-site soils investigation report by a licensed site evaluator shall be provided	<i>No sewage disposal is proposed for the development.</i>
f. If public water and/or sewer are to be used, a statement from the water and/or sewer district or utility as to the availability of public water and/or sewer;	<i>Not applicable.</i>
g. Existing and proposed entrances/exits from the property	<i>The existing entrance onto the property from Portland Street will be utilized.</i>



<p>h. A parking plan shall also be provided</p>	<p><i>It is anticipated that vehicles utilizing the storage facilities will temporarily park in front of the unit that is being accessed. The facility will be managed remotely with no staff parking required. Areas of widened access ways (30'+) have been provided so that in the event that a vehicle needs to stay on site for maintenance or management use, they will not impede passing vehicles.</i></p>
<p>i. Any existing restrictions or easements on the site</p>	<p><i>An existing easement to allow encroachment onto the lot by the abutter will be eliminated by the proposed lot line adjustment. See sheet EC1 for additional information.</i></p>
<p>j. A brief written narrative shall be provided on what type of business is proposed, hours of operation, number of employees, materials being used, waste disposal, etc</p>	<p><i>See attached.</i></p>
<p><b>9.8.F.2.b</b></p>	
<p>i. A map or maps prepared at a scale of not less than one inch to 40 feet and shall include:</p>	<p><i>Site plan as submitted is at a scale of 1"=30".</i></p>
<p>ii. Perimeter survey of the parcel made and certified by a registered land surveyor depicting reference points, showing true north point, graphic scale, corners of the parcel and date of survey and total acreage. The perimeter survey shall be recorded at the York County Registry of Deeds after Planning Board approval but prior to the issuance of the land use permit. Areas within 200 feet of the proposed development site shall be included</p>	<p><i>See attached boundary and existing conditions plan, sheet EC1.</i></p>
<p>iii. Existing and proposed locations and dimensions of any utility lines, sewer lines, water lines, easements, drainage ways, public or private rights of way</p>	<p><i>See attached.</i></p>
<p>iv. Location, ground floor area and elevations of buildings and other structures on the site</p>	<p><i>See attached.</i></p>
<p>v. If the site is not to be served by a public sewer line, then an on-site soils investigation report by a Department of Human Services licensed site evaluator shall be provided. The report shall contain the types of soil, location of test pits, and proposed location and design of the best practical subsurface disposal</p>	<p><i>No sewer disposal is proposed for the site.</i></p>



	system for the site, all of which must meet the standards set forth in the Maine State Plumbing Code	
vi.	Location and dimensions of on-site pedestrian and vehicular access ways, parking areas, loading and unloading facilities, design of ingress and egress of vehicles to and from the site on to public streets and curb and sidewalk lines	<i>See attached.</i>
vii.	Landscape plan showing location, type and approximate size of plantings and location and dimensions of all fencing and screening	<i>No additional landscaping is proposed as part of the expansion of the existing use. The area of development nearest to Portland Street is 10'+/- lower than the roadway and new landscaping would provide negligible aesthetic value.</i>
viii.	Topography indicating contours at intervals of not more than two feet in elevation unless otherwise specified by the Planning Board	<i>Provided on plan.</i>
<b>9.8.F.2.c</b>		
i.	A description of the proposed uses to be located on the site, including quantity and type of building construction if any;	<i>There are 9 self-storage buildings proposed.  All buildings will be pre-engineered metal buildings that will have appearances similar to existing structures on site and on adjacent lots.</i>
ii.	Total floor area and ground coverage of each proposed building and structure and percentage of lot covered by each building or structure;	<i>The total building floor area of all new and proposed structures will be 60,220 sf. This results in a building covering 33% of the buildable lot.</i>
iii.	Method of solid waste disposal;	<i>No solid waste is expected to be produced at the facility.</i>
iv.	Erosion and sedimentation control plan prepared in accordance with Article 7.15 if required;	<i>Provided on plan.</i>
v.	Copies of letters to the town manager, selectmen, Planning Board, road commissioner/public works director, fire chief, police chief, etc. notifying them of the proposed development;	<i>See attached.</i>
vi.	Stormwater management plan prepared in accordance with Article 7.17 if required;	<i>The project will require a Site Location of Development permit from the Maine DEP, which results in the project meeting Article 7.17. The Stormwater Management plan created for that submission is included with this application.</i>



vii.	Statement of financial capacity which should include the names and sources of the financing parties including banks, government agencies, private corporations, partnerships and limited partnerships and whether these sources of financing are for construction loans or long-term mortgages or both	<i>The financial capacity will be provided prior to approval.</i>
viii.	The applicant's evaluation of the availability and suitability of off-site public facilities including sewer, water, and streets	<i>Not applicable, no municipal facilities will be impacted and no Town road is utilized by the development.</i>
ix.	A statement from the fire chief as to the availability of fire hydrants and/or fire ponds, or provisions of fire protection services	<i>See the response from the Fire Chief. No concerns with fire protection services were noted.</i>
x.	If public streets are proposed, a statement from the town engineer that the proposed road or street construction will meet town specifications	<i>Not applicable.</i>
xi.	An estimate of the date when construction will start and when the development will be completed	<i>Approximate start date of December, 2020. Approximate completion date is June, 2021.</i>

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**CIVIL CONSULTANTS MEMORANDUM**

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**TO: Town of Berwick Planning Office**

**FROM: Neil J. Rapoza, PE**

**SUBJECT: Project Summary – Town of Berwick Ordinance  
Section 9.8.I.1**

**DATE: 05/06/20**

**ROJECT: 16-187.02 ROUTE 4 SELF STORAGE EXPANSION**

As part of the site plan review process, the following memorandum has been prepared to address Section 9.8.I.1 of the Berwick Land Use Ordinance.

<b>REQUIREMENTS</b>	<b>APPLICANT'S RESPONSE</b>
<p><b>9.8.I.1 Performance Standards for Conditional Use and Site Plan Review</b> The following standards are to be used by the Planning Board in judging applications for site plan review and conditional use applications and shall serve as minimum requirements for approval of the application. The site plan shall be approved, unless in the judgment of the Planning Board the applicant is not able to reasonably meet any of these standards. In all circumstances the burden for proof shall be on the applicant and such burden of proof shall include the production of evidence necessary for the Planning Board to review the application.</p>	
<p>a. Conformance with Comprehensive Plan: All proposed conditional uses and site plans shall conform to the Comprehensive Plan of the Town of Berwick and with the provisions of all pertinent federal, state, and local codes, ordinances, and regulations</p>	<p><i>The proposed use conforms to the Town of Berwick's Comprehensive Plan and all pertinent State and Federal regulations will be met and permits acquired.</i></p>
<p>b. Preserve and enhance the landscape: The landscape shall be preserved in its natural state insofar as practicable by minimizing tree removal, disturbance of soil, retaining existing vegetation during construction. After construction is complete, landscape shall be designed and planted that will define, soften or screen the appearance of off street parking areas from the right of way and abutting properties and/or structures in order to enhance the physical design of the building(s) or site, and to minimize the encroachment of the proposed use on the neighboring land uses.</p>	<p><i>The development will not have a detrimental impact on the landscape. The proposed expansion will result in a more stable site at the location of the existing outdoor vehicle storage area. The site itself is approximately 10' lower than the grade at Portland Street, and drops to 16' lower at the rear of the property. The grade difference will act as a passive screening. The change in grade also minimizes the value of landscaping for buffering purposes.</i></p>
<p>c. Relationship of the proposed buildings to the environment:</p>	<p><i>The industrial metal building structures fit into the surrounding neighborhood, which consists of self-storage buildings</i></p>



<p>Proposed structures shall be related harmoniously to the terrain and to the existing buildings in the vicinity which have a visual relationship to the proposed buildings. Special attention shall be paid to the bulk, location and height of the building(s) and such natural features such as slope, soil type and drainage ways.</p>	<p><i>and similar metal industrial structures.</i></p>
<p>d. Vehicular access: The proposed site layout shall provide for safe access and egress from public and private roads by providing adequate location, numbers and controls of access points including site distances, turning lanes, traffic signalization when required by existing and projected traffic flow on municipal road systems.</p>	<p><i>Proposed development will utilize an existing entrance onto Portland Street. No changes have been proposed, and no appreciable increase in traffic is expected.</i></p>
<p>e. Parking and circulation: The layout and design of all vehicular and pedestrian circulation, including walkways, interior drives, and parking areas shall provide for safe general interior circulation, separation of pedestrian and vehicular traffic, service traffic, loading areas, and arrangements and use of parking areas.</p>	<p><i>Provided on plan sheet L1. Vehicular circulation requirements are limited to access by renters of the storage units and emergency vehicles. Also see the review comments from the Fire Chief indicating that there are no concerns.</i></p>
<p>f. Surface water drainage: Adequate provision shall be made for surface drainage so that removal of surface waters will not adversely affect neighboring properties, downstream conditions, soil erosion or the public storm drainage system. Whenever possible, on-site absorption of unpolluted run-off waters shall be utilized to permit groundwater recharge on the site.</p>	<p><i>Town requires stormwater to meet requirements of MDEP Chapter 500. This project will achieve that and will also need to obtain a Site Location of Development permit. See drainage report provided as part of this submission.</i></p>
<p>g. Existing utilities: The development shall not impose an unreasonable burden on sewers, sanitary and storm drains, water lines or other public utilities.</p>	<p><i>The proposed development does not require use of public utilities.</i></p>
<p>h. Advertising features: The size, location, design, lighting and materials of all exterior signs and outdoor advertising structures or features shall not detract from the design of proposed buildings and structures and the surrounding properties</p>	<p><i>It is intended that the existing sign will continued to be used.</i></p>
<p>i. Special features of the development: Exposed storage areas, exposed machinery installation, service areas, truck loading areas, utility buildings and similar structures shall have sufficient setback and screening to provide an audio/visual buffer to minimize their adverse impact on other land uses within the development area and surrounding properties.</p>	<p><i>Any loading areas utilized by the buildings will be located well beyond the required setbacks and only used by renters of storage units. Surrounding uses are of similar sound production.</i></p>
<p>j. Exterior lighting: All exterior lighting shall be designed to minimize adverse impact on neighboring properties.</p>	<p><i>All exterior lights to be building mounted and down lit and shielded to reduce glare to abutting properties. See Note 13 on sheet L1.</i></p>



<p>k. Emergency vehicle access: Provisions shall be made for providing and maintaining convenient and safe emergency vehicle access to all buildings and structures.</p>	<p><i>A copy of the letter sent to Berwick Fire Department has been included as part of this submission. The response provided by the Fire Chief indicates that there are no concerns with the layout presented.</i></p>
<p>l. Municipal services: The development will not have an unreasonable adverse impact on the municipal services including municipal road systems, fire department, police department, solid waste program, sewer treatment plant, school, open spaces, recreational programs and facilities, and other municipal service and facilities</p>	<p><i>The proposed development will not utilize any municipal services for normal operation, and is located on a State road. There will be no impact on schools or open spaces. Letters have been sent to the Fire and Police Chiefs, as well as the director of public Works. Their comments will be incorporated into the site design.</i></p>
<p>m. Will not result in water or air pollution: In making this determination, it shall at a minimum consider: The elevation of the land above sea level and its relationship to the flood plains, the nature of soils and subsoils and their ability to adequately support waste disposal; the slope of the land and its attest on effluents; and the applicable state and local health and water resources regulations.</p>	<p><i>Stormwater has been designed to meet MDEP Site Location of Development standards. See drainage report provided as part of this submission.</i></p>
<p>n. Has sufficient water available for the reasonable foreseeable needs of the development (this is usually considered to be ten years approximately).</p>	<p><i>No well or water connection is proposed for the project.</i></p>
<p>o. Will provide for adequate sewerage waste disposal.</p>	<p><i>No wastewater production is proposed for the project.</i></p>
<p>p. Will not have adverse affects on the scenic or natural beauty of the area, aesthetics, or rare and irreplaceable natural areas.</p>	<p><i>The development will be located behind existing disturbed areas of the lot. The project will be reviewed by the Maine Natural Areas Program and the Maine Historic Preservation Commission, with any comments or recommendations from those departments to be incorporated into the final plan.</i></p>
<p>q. The developer has adequate financial and technical capacity to meet the above stated standards.</p>	<p><i>Statement of financial capacity to be provided.</i></p>
<p>r. Whenever situated in whole or in part within 250 feet of any pond, lake or river, will not adversely affect the quality of such body of water or affect the shoreline of such body of water, based on the standards outlined in Section 9.8.I.1.j.</p>	<p><i>The project is not located within 250 ft of a protected natural resource. The proposed stormwater treatment BMPs are intended to improve water quality of runoff from the site, as it currently receives no treatment prior to entering the adjacent wetlands.</i></p>
<p>s. Low Impact Design: Each applicant is required to submit a statement to the Planning Board documenting proposed Low Impact Design (LID) for the site, which will help to reduce storm water volumes and help to enhance storm water</p>	<p><i>This project will achieve that and will also need to obtain a Site Location of Development permit. See drainage report provided as part of this submission. Improvement of stormwater quality will be achieved through DEP</i></p>



quality. LID includes, but is not limited to green roofs, rain gardens, tree wells, infiltration basins, and permeable pavement otherwise specified by the Planning Board	<i>approved BMPs, including proprietary treatment systems that require smaller footprints than traditional facilities.</i>
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**CIVIL  
CONSULTANTS**

P. O. Box 100  
South Berwick  
Maine  
03908  
207-384-2550  
FAX 384-2112

May 4, 2020

Dennis Plante, Fire Chief  
Berwick Fire Department  
10 School Street  
Berwick, Maine 03901

RE: **Route 4 Self Storage LLC.,  
565 Portland Street, Berwick, Maine  
Berwick Tax Map R-72, Lot 9-2**

Chief Plante:

Route 4 Self Storage LLC is proposing to develop a portion of Map R-72, Lot 9-2, located on the northern side of Portland Street approximately 350 ft west of the border with North Berwick. The development consists of an expansion to the existing self-storage use.

In accordance with Maine Site Location of Development requirements, and Section 9.8.F.2.c.v of the Berwick Land Use Ordinance we are requesting your review and comments. We have provided a preliminary plan for your review.

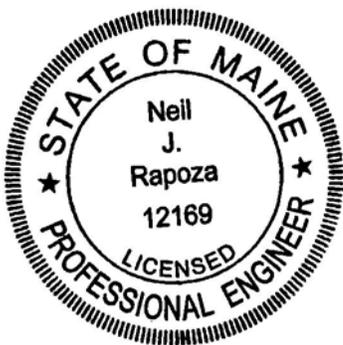
Currently, no automatic sprinkler systems are proposed. Building separation will be a minimum of 15 ft, 20 ft minimum with travel lanes around the perimeter of the development.

Please feel free to contact us with any questions as you perform your review.

Respectfully yours,  
CIVIL CONSULTANTS

Neil J. Rapoza, P.E.,  
Sr. Project Engineer

Enclosures: Sheet L1, USGS location



# Berwick Fire Department

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11 Sullivan Street  
10 School Street  
Berwick, Maine 03901

Phone: 207.698.1174  
Fax: 207.698.4592  
BerwickFire@BerwickFire.org

Neil Rapoza, P.E.,  
Sr. Project Engineer

CC: Berwick Planning Board

Re: Route 4 Self Storage LLC.,  
565 Portland Street, Berwick, Maine  
Tax Map R-72, Lot 9-2

May, 5, 2020

I have reviewed the proposed plans dated May 1, 2020 for the expansion of an existing self-storage occupancy use and have no issues from a Fire Protection stand point at this time.

Please feel free to contact me should you have any questions.

Dennis Plante, Chief  
Berwick Fire Department



**CIVIL  
CONSULTANTS**

P. O. Box 100  
South Berwick  
Maine  
03908  
207-384-2550  
FAX 384-2112

May 4, 2020

Timothy Towne, Police Chief  
Berwick Police Department  
20 Wilson Street  
Berwick, Maine 03901

**RE: Route 4 Self Storage LLC. Development,  
565 Portland Street, Berwick, Maine  
Berwick Tax Map R-72, Lot 9-2**

Chief Towne:

Route 4 Self Storage, LLC. is proposing to develop a portion of Map R-72, Lot 9-2, located on the northern side of Portland Street approximately 350 ft west of the border with North Berwick. The development consists of an expansion to the existing self-storage use.

In accordance with Maine Site Location of Development requirements, and Section 9.8.F.2.c.v of the Berwick Land Use Ordinance we are requesting your review and comments. We have provided a set of preliminary plans for your review.

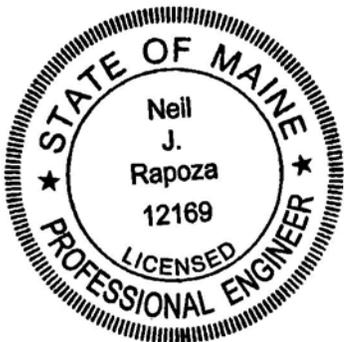
The buildings are to be protected with security fencing (configuration yet to be determined).

Please feel free to contact us with any questions.

Respectfully yours,  
CIVIL CONSULTANTS

Neil J. Rapoza, P.E.,  
Sr. Project Engineer

Enclosures: Sheets L1, USGS location





**CIVIL  
CONSULTANTS**

P. O. Box 100  
South Berwick  
Maine  
03908  
207-384-2550  
FAX 384-2112

May 4, 2020

Robert Perschy, Foreman  
Berwick Public Works Department  
11 Sullivan Street  
Berwick, Maine 03901

**RE: Route 4 Self Storage LLC. Development,  
565 Portland Street, Berwick, Maine  
Berwick Tax Map R-72, Lot 9-2**

Mr. Perschy:

Route 4 Self Storage, LLC. is proposing to develop a portion of Map R-72, Lots 9-2, located on the northern side of Portland Street approximately 350 ft west of the border with North Berwick. The development consists of an expansion to the existing self-storage use.

The development proposes to utilize an existing entrance onto Portland Street, with no water use or wastewater disposal proposed.

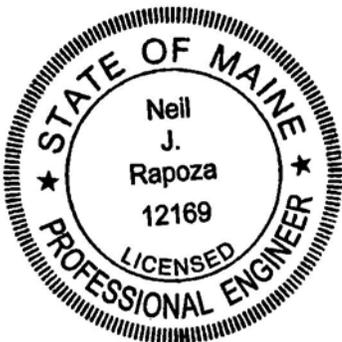
In accordance with Maine DEP Site Location of Development requirements, and Section 9.8.F.2.c.v of the Berwick Land Use Ordinance, we are requesting your review and comments. We have provided a set of preliminary plans for your review.

Please feel free to contact us with any questions.

Respectfully yours,  
CIVIL CONSULTANTS

Neil J. Rapoza, P.E.,  
Sr. Project Engineer

Enclosures: Sheets L1, USGS location



## Neil Rapoza

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**From:** Carolyn Stella [cstella@berwickmaine.org]  
**Sent:** Wednesday, May 06, 2020 4:49 PM  
**To:** Neil Rapoza  
**Subject:** RE: 16-187.02 Route 4 Self Storage expansion

Good afternoon,  
Robert reviewed the plans and as far as our department goes, you are all set!  
Have a great day,

Carly Stella

**Town of Berwick**

Public Works Administrative Assistant  
11 Sullivan St  
Berwick, ME 03901  
207-698-1101 ext. 100  
[cstella@berwickmaine.org](mailto:cstella@berwickmaine.org)

---

**From:** Neil Rapoza <[neil@civcon.com](mailto:neil@civcon.com)>  
**Sent:** Monday, May 4, 2020 3:57 PM  
**To:** Carolyn Stella <[cstella@berwickmaine.org](mailto:cstella@berwickmaine.org)>  
**Cc:** 'ccout civcon.com' <[ccout@civcon.com](mailto:ccout@civcon.com)>  
**Subject:** 16-187.02 Route 4 Self Storage expansion

Hi Carly,

We are preparing to submit a Site Plan application to the Town for an expansion to Route 4 Self Storage on Portland Street. Currently, it is proposed that 9 new storage buildings be constructed along with the associated pavement and stormwater management facilities. Security fencing similar to existing will be extended around the new development (final layout to be determined). It is intended that the property will continue to be managed remotely.

Again, Robert may not have much input for us on this one. If you could have him review the attached sketch plan and provide some initial feedback, it would be appreciated.

Thank you for your time!

Neil

CIVIL CONSULTANTS  
*Neil J. Rapoza, PE*  
*Civil / Structural*  
*Sr. Project Engineer*

293 Main Street  
South Berwick, ME 03908  
Cell 603.973.9231  
Ph 207.384.2550  
Fax 207.384.2112



**CIVIL  
CONSULTANTS**

P. O. Box 100  
South Berwick  
Maine  
03908  
207-384-2550  
FAX 384-2112

May 4, 2020

Via Email

Thomas Wright – Chairman  
Berwick Board of Selectmen  
11 Sullivan Street  
Berwick, ME 03901

**RE: Route 4 Self Storage LLC. Development,  
565 Portland Street, Berwick, Maine  
Berwick Tax Map R-72, Lot 9-2**

Mr. Wright:

Route 4 Self Storage, LLC. is proposing to develop a portion of Map R-72, Lots 9-2, located on the northern side of Portland Street approximately 350 ft west of the border with North Berwick. The development consists of an expansion to the existing self-storage use.

The development proposes to utilize an existing entrance onto Portland Street, with no water use or wastewater disposal proposed.

In accordance with Maine DEP Site Location of Development requirements, and Section 9.8.F.2.c.v of the Berwick Land Use Ordinance, we are requesting your review and comments. We have provided a set of preliminary plans for your review.

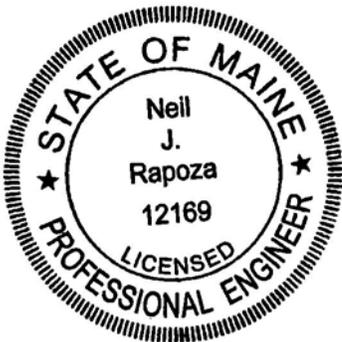
Please feel free to contact us with any questions.

Respectfully yours,  
CIVIL CONSULTANTS

Neil J. Rapoza, P.E.,  
Sr. Project Engineer

Enclosures: Sheets L1, USGS location

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**CIVIL  
CONSULTANTS**

P. O. Box 100  
South Berwick  
Maine  
03908  
207-384-2550  
FAX 384-2112

May 4, 2020

Stephen G. Eldridge, MPA, Town Manager  
11 Sullivan Street  
Berwick, Maine 03901

**RE: Route 4 Self Storage LLC. Development,  
565 Portland Street, Berwick, Maine  
Berwick Tax Map R-72, Lot 9-2**

Mr. Eldridge:

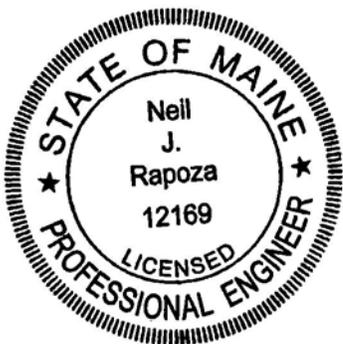
Route 4 Self Storage, LLC. is proposing to develop a portion of Map R-72, Lot 9-2, located on the northern side of Portland Street approximately 350 ft west of the border with North Berwick. The development consists of an expansion to the existing self-storage use.

In accordance with Maine DEP Site Location of Development requirements, and Section 9.8.F.2.c.v of the Berwick Land Use Ordinance, we are requesting your review and comments. We have provided a set of preliminary plans for your review.

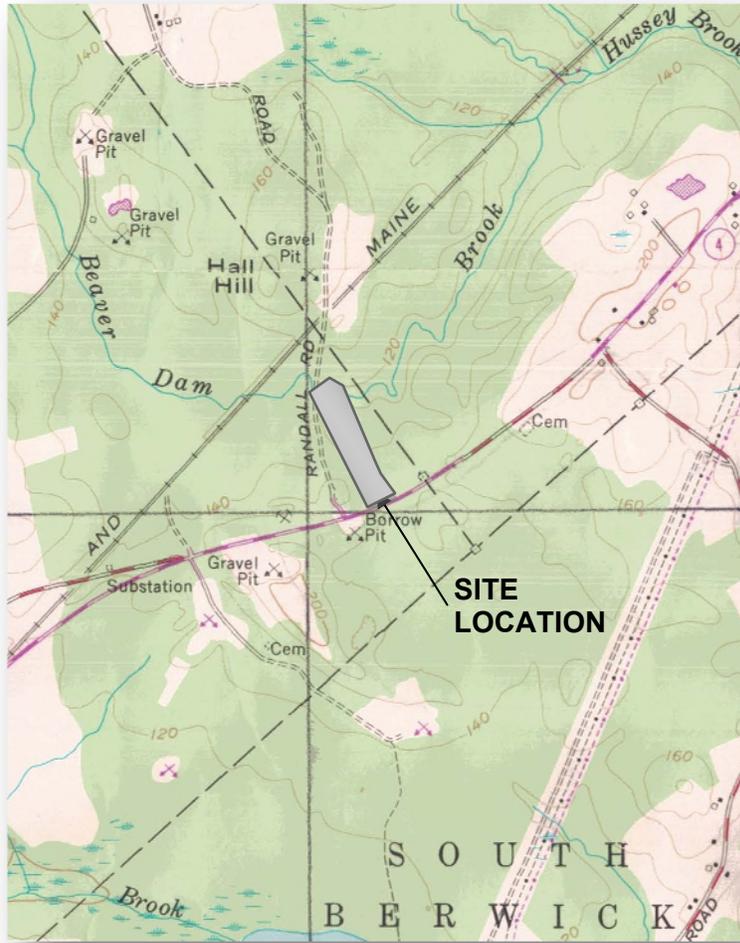
Please feel free to contact us with any questions.

Respectfully yours,  
CIVIL CONSULTANTS

Neil J. Rapoza, P.E.,  
Sr. Project Engineer



Enclosures: Sheets L1, USGS location



Not to scale

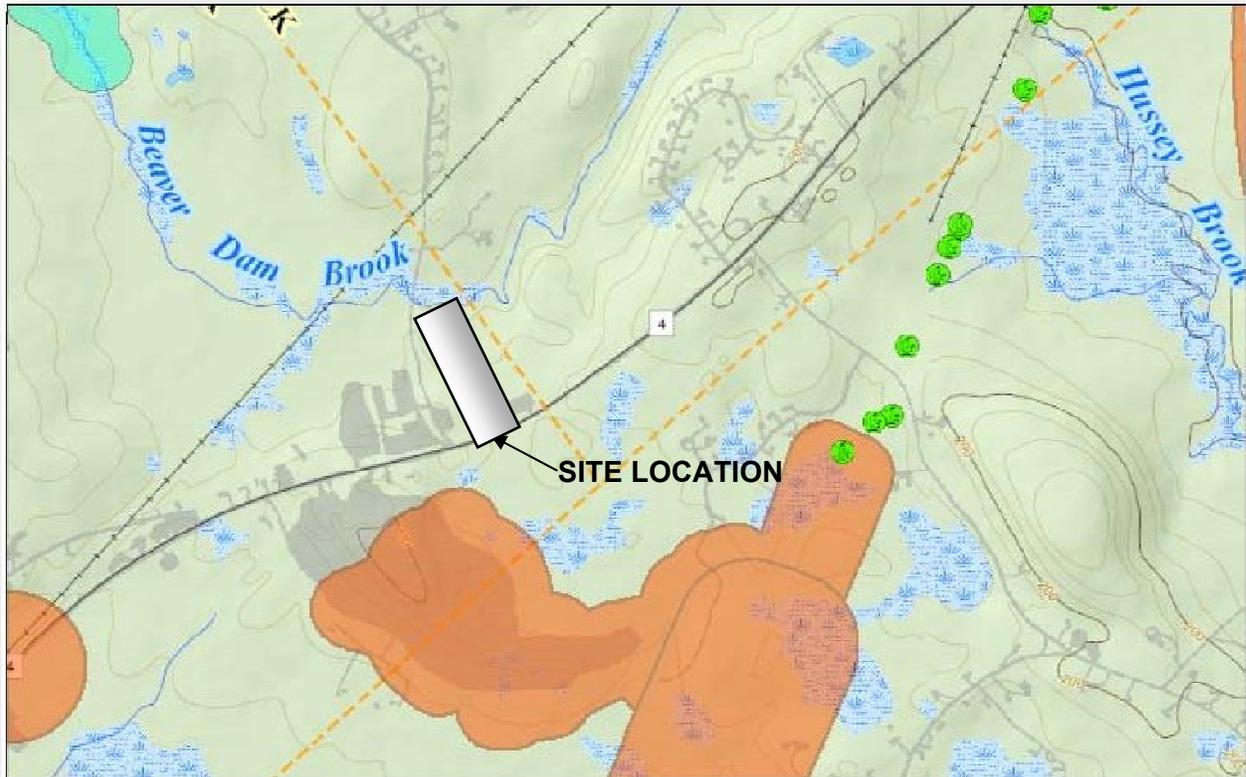
PORTION OF USGS MAP Somersworth, NH		PREPARED FOR: Route 4 Self Storage, LLC. & RV Storage Units, LLC. 1465 Woodbury Ave #362 Portsmouth, NH 03801
JOB NO: 16-187.02	NTS	DATE: April 2020

J:\AAA\2016\1618702\1618702-USGS\_MAP.DOCX



**CIVIL  
CONSULTANTS**

P.O. Box 100 South Berwick, Maine 03908 207-384-2550



Not to scale

J:\AAA\2016\1618702\1618702-BWH\_MAP.DOCX



**CIVIL  
CONSULTANTS**

P.O. Box 100 South Berwick, Maine 03908 207-384-2550

**LEGEND:**

14258/248	DEED BOOK/PAGE NUMBER
BW	BARBED WIRE
CLF	CHAIN LINK FENCE
CMP	CORRUGATED METAL PIPE
HDPE	HIGH DENSITY POLYETHYLENE
INV.	INVERT
N/F	NOT FORMERLY
RCP	REINFORCED CONCRETE PIPE
S.F.	SQUARE FEET
Y.C.R.D.	YORK COUNTY REGISTRY OF DEEDS
●	BOLLARD
○	UTILITY POLE
—○—	OVERHEAD WIRES
—E—	APPROXIMATE UNDERGROUND ELECTRIC LINE
—CB—	CATCH BASIN
—	APPROXIMATE UNDERGROUND DRAINAGE PIPE
—	BUSH OR SHRUB
—	DECIDUOUS TREE (AS NOTED)
—	LOCUS PARCEL BOUNDARY LINE
—	5/8" REBAR W/PLASTIC IDENTIFICATION CAP (TO BE SET)
—	LOCUS PARCEL BOUNDARY LINE
—	INTERIOR BOUNDARY LINE
—	APPROXIMATE ABUTTING PARCEL BOUNDARY LINE
—	SURVEY BENCHMARK (AS NOTED)
—	SPOT ELEVATION
—	FINISH FLOOR ELEVATION
—	WETLAND (SEE NOTE 9)
—	PROPOSED DRAINAGE CULVERT
—	EXISTING PAVEMENT
—	EXISTING PACKED GRAVEL
—	PROPOSED PAVEMENT
—	SILT FENCE OR EROSION CONTROL BERM

**NOTES:**

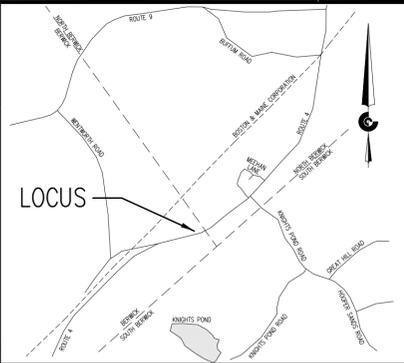
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- PLANIMETRIC DETAIL DEPICTED HEREON IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY BY CIVIL CONSULTANTS ON AUGUST AND OCTOBER, 2019.
- NORTH AS DEPICTED HEREON IS REFERENCED TO GRID NORTH, NAD83, MAINE STATE PLANE COORDINATE SYSTEM WEST ZONE. COORDINATE VALUES AND ORIENTATION ARE DERIVED FROM A GPS SURVEY COMPUTED UTILIZING THE NAD 83 ON-LINE PROCESSING SERVICE. REFERENCE FRAME IS NAD83 (2011) EPOCH 2010.0000. THE SURVEY IS TIED TO CORS STATIONS QUANTUMWOOD CORS 40P (7778), CORHAM CORS 40P (W600) AND W601 (CONCORD CORS 40P (W600)). DISTANCES DEPICTED HEREON ARE GRID. TO CONVERT GRID DISTANCES TO GROUND DISTANCES, MULTIPLY THE GRID DISTANCE BY 1.00006720 (AVERAGE CORNED SCALE FACTOR FOR THE SITE).
- ELEVATIONS DEPICTED HEREON ARE REFERENCED TO NAVD83, DERIVED FROM THE ABOVE REFERENCED GPS SURVEY. [TO CONVERT NAVD83 ELEVATIONS TO NGVD29 ELEVATIONS ADD 1.72']
- ASSESSOR'S INFORMATION: TOWN OF BERWICK ASSESSOR'S MAP R-72, LOT 9-2 AND A PORTION OF LOT 9
- RECORD OWNER AND DEED REFERENCE: ROUTE 4 SELF STORAGE, LLC - Y.C.R.D. 17811/949
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- THE LOCUS PARCEL IS LOCATED IN THE RURAL COMMERCIAL/INDUSTRIAL ZONE (RC-Z1). BASIC LAND USE ORDINANCE DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS:  

REQUIREMENT	MINIMUM	PROVIDED
LOT SIZE	90,000 S.F. (ON-SITE SEPTIC DISPOSAL)	182,396 S.F. UPLAND
LOT WIDTH	200'	377'
FRONTAGE	200'	377'
FRONT YARD SETBACK	50'	52'
SIDE YARD SETBACK	25'	29'
REAR YARD SETBACK	25'	43'
BUILDING HEIGHT	45' (MAXIMUM)	35'
MAXIMUM LOT COVERAGE	80%	78%
- FOR COMPLETE ZONING INFORMATION REFER TO THE TOWN OF BERWICK LAND USE ORDINANCE.
- THE EDGE OF WETLAND AREAS DEPICTED HEREON ARE BASED ON FIELD LOCATION OF WETLAND DELINEATION FLAGS SET BY KENNETH GARDNER, MAINE SOILS SCIENTIST RET., THE WETLAND FLAGS WERE LOCATED ON THE GROUND BY INSTRUMENT SURVEY.
- THE 2' CONTOUR INTERVAL INFORMATION OUTSIDE THE DEVELOPED AREA OF THE SITE AS DEPICTED HEREON IS TAKEN FROM LIDAR DATA FILES OBTAINED FROM THE STATE OF MAINE OFFICE OF GIS.

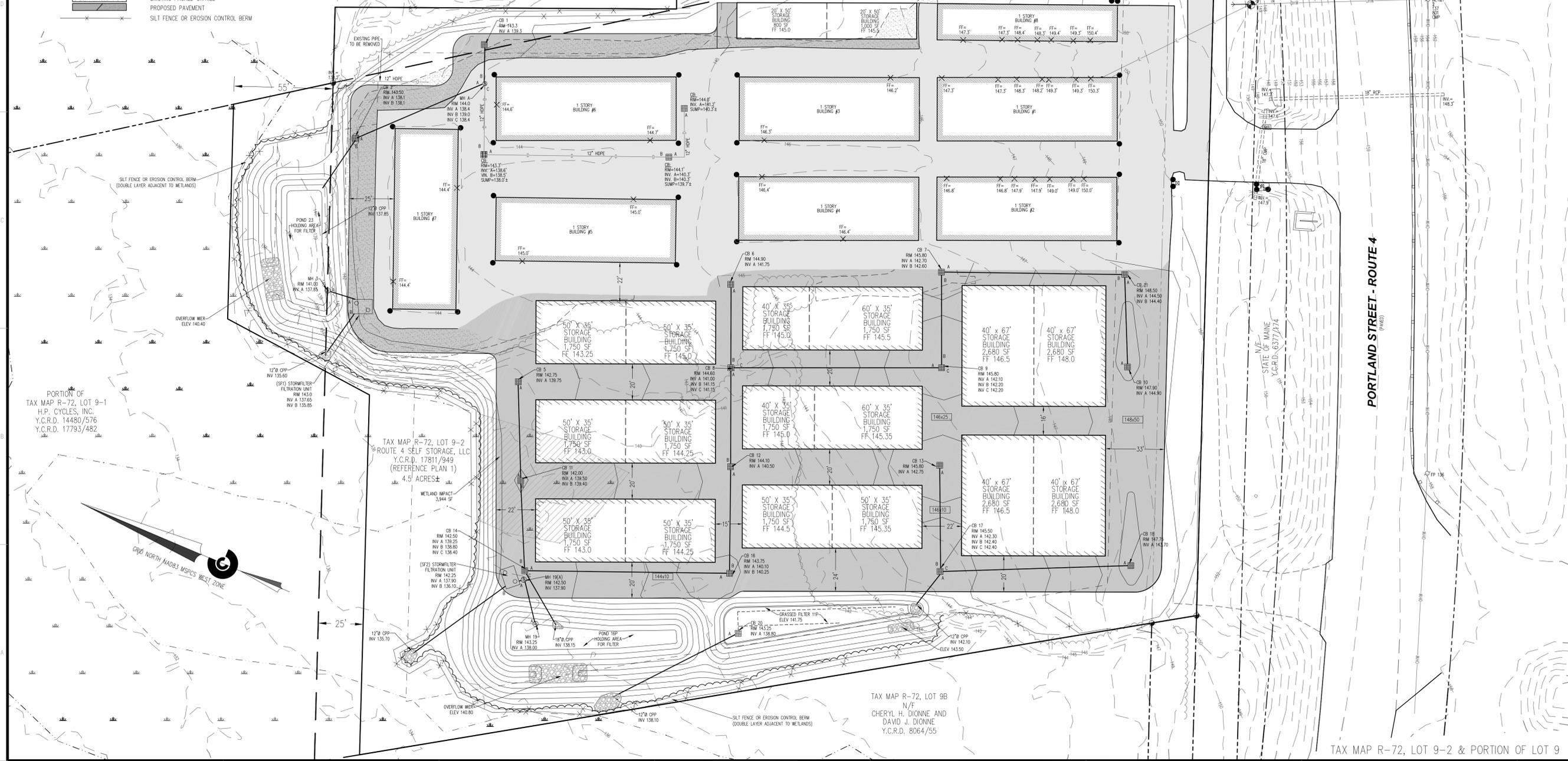
**REFERENCE PLANS:**

- "AMENDMENT TO SUBDIVISION PLAN OF LAND OF H.P. CYCLES, INC., HARVEY A. PAUL AND OLD ROUTE 4 STORAGE, LLC - TAX MAP R-72, LOTS 9, 9-1 AND 9-2, ROUTE 4, PORTLAND STREET, BERWICK, YORK COUNTY, MAINE, PREPARED FOR: HARVEY A. PAUL, CLIENT ADDRESS: 569 PORTLAND STREET, BERWICK, ME 03901", DATED MAY 1, 2008, PREPARED BY CIVIL CONSULTANTS, RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 256, PAGE 18.
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TAX MAP R-72, LOT 9-1  
H.P. CYCLES, INC.  
Y.C.R.D. 14480/576  
Y.C.R.D. 17793/482  
(REFERENCE PLAN 1)



LOCATION PLAN (NOT TO SCALE)



PORTION OF TAX MAP R-72, LOT 9-1  
H.P. CYCLES, INC.  
Y.C.R.D. 14480/576  
Y.C.R.D. 17793/482

TAX MAP R-72, LOT 9-2  
ROUTE 4 SELF STORAGE, LLC  
Y.C.R.D. 17811/949  
4.5 ACRES ±

TAX MAP R-72, LOT 9B  
N/F  
CHERYL H. DIONNE AND  
DAVID J. DIONNE  
Y.C.R.D. 8064/55

TAX MAP R-72, LOT 9-2 & PORTION OF LOT 9

**PREPARED FOR:**  
INITIAL REVIEW ONLY  
NOT FOR CONSTRUCTION

CIVIL CONSULTANTS  
**CIVIL CONSULTANTS**  
Engineers  
Planners  
Surveyors  
P.O. Box 100  
South Berwick  
Maine  
03908  
207-384-2550  
www.civcon.com

NO.	REVISIONS	INT.	DATE

RECORD OWNER:  
ROUTE 4 SELF STORAGE, LLC  
ADDRESS:  
1465 WOODBURY AVENUE #362  
PORTSMOUTH, NH 03801

**SITE EXPANSION**  
**ROUTE 4 SELF STORAGE, LLC**  
**PORTLAND STREET - TAX MAP R-72, LOT 9-2 AND**  
**PORTION OF LOT 9, BERWICK, YORK COUNTY, MAINE**  
PREPARED FOR: ROUTE 4 SELF STORAGE, LLC  
CLIENT ADDRESS: 1465 WOODBURY AVENUE #362, PORTSMOUTH, NH 03801

DATE: 5/1/2020  
DRAWN BY: NJR  
CHECKED BY:  
APPROVED BY:

**SITE PLAN**  
**(LOT 9-2)**

PROJECT NO: 1618702

**L1**  
SHEET: 1 OF 4

LEGEND:

Table with 2 columns: Symbol/Line Style and Description. Includes items like DEED BOOK/PAGE NUMBER, BARBED WIRE, CHAIN LINK FENCE, CORRUGATED METAL PIPE, HOPE, INV., N/F, RCP, S.F., Y.C.R.D., BOLLARD, UTILITY POLE, QUY WIRE, OVERHEAD WIRES, APPROXIMATE UNDERGROUND ELECTRIC LINE, CATCH BASIN, etc.

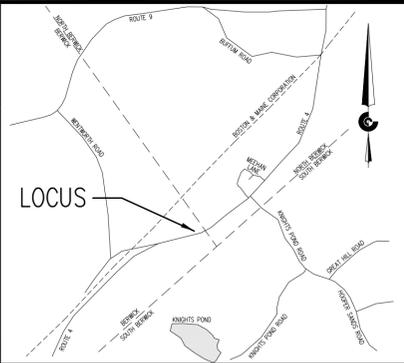
NOTES:

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11. THE 2' CONTOUR INTERVAL INFORMATION OUTSIDE THE DEVELOPED AREA OF THE SITE AS DEPICTED HEREON IS TAKEN FROM LIDAR DATA FILES OBTAINED FROM THE STATE OF MAINE OFFICE OF GIS.
12. ALL BUILDING MOUNTED LIGHTS ARE TO BE SHIELDED OR HOODED SO THAT THE LIGHTING ELEMENTS ARE NOT EXPOSED TO NORMAL VIEW BY MOTORISTS, PEDESTRIANS, OR FROM ADJACENT DWELLINGS PER THE REQUIREMENTS OF SECTION 7.4 OF THE BERWICK CODE.

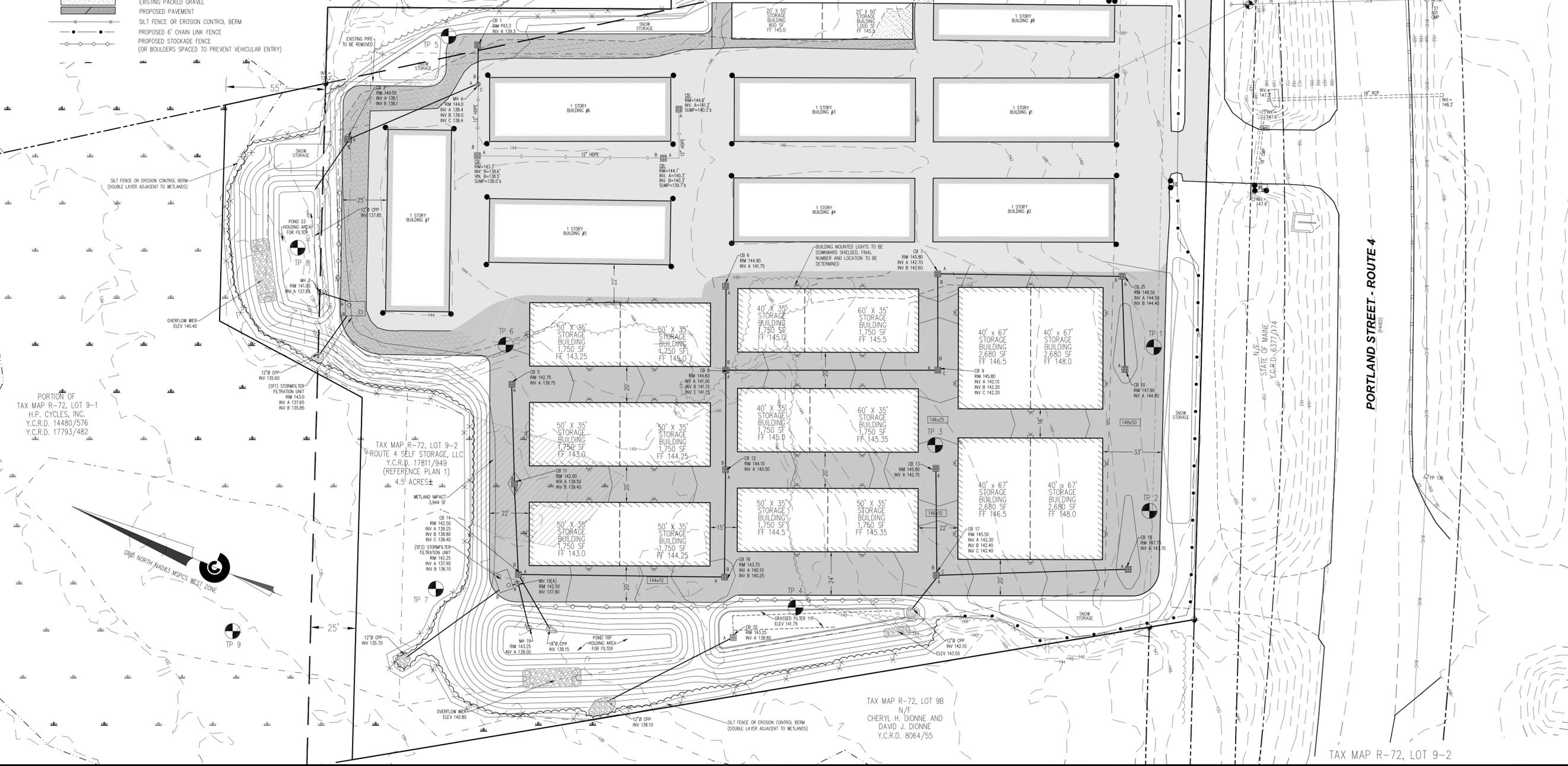
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TAX MAP R-72, LOT 9-1
H.P. CYCLES, INC.
Y.C.R.D. 14480/576
Y.C.R.D. 17793/482
(REFERENCE PLAN 1)



LOCATION PLAN (NOT TO SCALE)



PORTLAND STREET - ROUTE 4 (PAV'D)



CIVIL CONSULTANTS
Engineers
Planners
Surveyors
P.O. Box 100
South Berwick
Maine
03908
207-384-2550
www.civcon.com

Table with columns: NO., REVISIONS, INT., DATE. Row 1: 1 ISSUED FOR SUBMISSION TO TOWN, 5/6/20

RECORD OWNER:
ROUTE 4 SELF STORAGE,
LLC
ADDRESS:
1465 WOODBURY
AVENUE #362
PORTSMOUTH, NH 03801

SITE EXPANSION
ROUTE 4 SELF STORAGE, LLC
PORTLAND STREET - TAX MAP R-72, LOT 9-2 AND
PORTION OF LOT 9, BERWICK, YORK COUNTY, MAINE
PREPARED FOR: ROUTE 4 SELF STORAGE, LLC
CLIENT ADDRESS: 1465 WOODBURY AVENUE #362, PORTSMOUTH, NH 03801

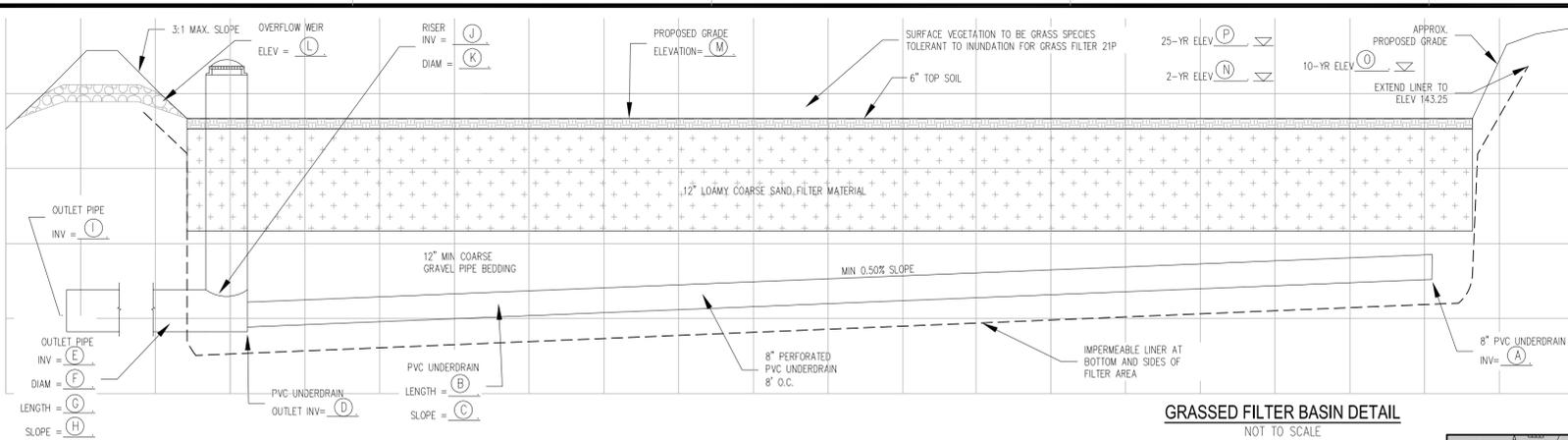
DATE: 5/1/2020
DRAWN BY: NJR
CHECKED BY:
APPROVED BY:

SITE PLAN
(Lot 9-2)

PROJECT NO: 1618702

L1

SHEET: 1 OF 4



**GRASSED SOIL FILTER MAINTENANCE NOTES:**

**SOIL FILTER INSPECTION:** THE SOIL FILTER SHOULD BE INSPECTED AFTER EVERY MAJOR STORM IN THE FIRST FEW MONTHS TO ENSURE PROPER FUNCTION. THEREAFTER, THE FILTER SHOULD BE INSPECTED AT LEAST EVERY SIX MONTHS TO ENSURE THAT IT IS DRAINING BETWEEN 24 AND 48 HOURS.

**SOIL FILTER REPLACEMENT:** THE TOP SEVERAL INCHES OF THE FILTER SHALL BE REPLACED WITH FRESH MATERIAL WHEN WATER POUNDS ON THE SURFACE OF THE BED FOR MORE THAN 72 HOURS. THE REMOVED SEDIMENTS SHOULD BE DISPOSED IN AN ACCEPTABLE MANNER.

**SEDIMENT REMOVAL:** SEDIMENT AND PLANT DEBRIS SHOULD BE REMOVED FROM THE PRE-TREATMENT STRUCTURE AT LEAST ANNUALLY.

**MOWING:** FILTERS WITH GRASS COVER SHOULD BE MOWED NO MORE THAN 2 TIMES PER GROWING SEASON TO MAINTAIN GRASS HEIGHTS LESS THAN 12 INCHES.

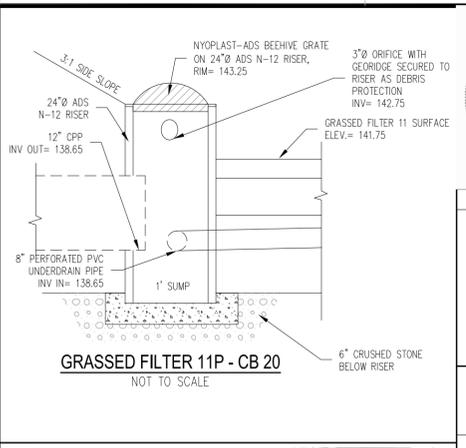
**FERTILIZATION:** FERTILIZATION OF THE UNDERDRAINED FILTER AREA SHOULD BE AVOIDED UNLESS ABSOLUTELY NECESSARY TO ESTABLISH VEGETATION.

**HARVESTING AND WEEDING:** HARVESTING AND PRUNING OF EXCESSIVE GROWTH WILL NEED TO BE DONE OCCASIONALLY. WEEDING TO CONTROL UNWANTED OR INVASIVE PLANTS MAY ALSO BE NECESSARY.

**GRASSED FILTER MEDIA (OPTION 2 - MAINE DEP BMP CHAPTER 7.1)**

COMPONENT MATERIAL	DEPTH	SIEVE NO.	GRADATION OF MATERIAL PERCENT BY WEIGHT PASSING STANDARD SIEVE
USDA LOAMY SAND TOPSOIL WITH 5 TO 8% HUMIFIED ORGANIC CONTENT	6"	10	85 TO 100
		20	70 TO 100
		60	15 TO 40
		200	8 TO 15
LOAMY COARSE SAND (MDEP TABLE 7.1.3)	12"	200 (CLAY)	< 2.0

\*FILTER MATERIAL TO BE COMPACTED BY PLATE COMPACTOR IN 6" LIFTS. PREVENT EQUIPMENT OR VEHICLES TRAVEL ON THE FILTER



**CIVIL CONSULTANTS**  
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 Maine  
 03908  
 207-384-2550  
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**FILTRATION BMP SCHEDULE**

UNDERDRAIN PROPERTIES				OUTLET PIPE				OUTLET STRUCTURE				WEIR OUTLET ELEV	TOP OF FILTER	2-YR ELEV	10-YR ELEV	25-YR ELEV	TEST PIT NO.	DEPTH (inches)	EXIST GRADE	SHWT ELEV	BOTTOM FILTER
INV IN	LENGTH	SLOPE	INV OUT	INV IN	DIAM	LENGTH	SLOPE	INV OUT	RISER INV	DIAM											
FILTER 11	139.05	87'	0.005	138.65	138.65	12"	76'	0.007	138.10	143.25	24"	143.50	141.75	142.81	143.32	143.44	4	60	141.50	139.92	138.40

**GRASSED FILTER SEEDING MIX**

TYPE	APPLICATION RATE
CREeping RED FESCUE	20 LBS/ACRE
TALL FESCUE	20 LBS/ACRE
BIRD'SFOOT TREFOL	8 LBS/ACRE
<b>TOTAL</b>	<b>48 LBS/ACRE</b>

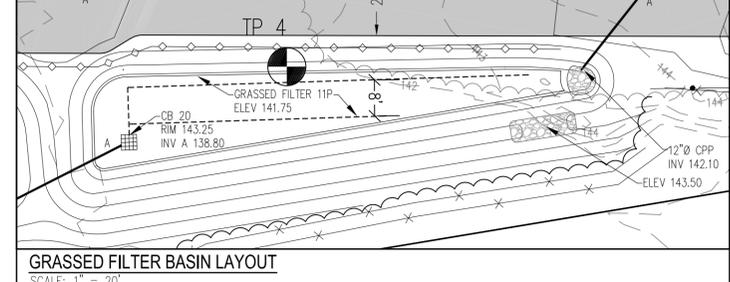
**UNDERDRAIN PIPE BEDDING MATERIAL (OPTION 1 - MAINE DEP BMP CHAPTER 7.1)**

COMPONENT MATERIAL	SIEVE NO.	GRADATION OF MATERIAL PERCENT BY WEIGHT PASSING STANDARD SIEVE
UNDERDRAIN BACKFILL MATERIAL (MDEP 703.22 TYPE B)	1"	95 TO 100
	2"	75 TO 100
	4"	50 TO 100
	20"	15 TO 80
	50"	0 TO 15
	200"	0 TO 5

**CONSTRUCTION OVERSIGHT NOTES:**

INSPECTION OF THE FILTER BASIN SHALL BE PROVIDED FOR EACH PHASE OF CONSTRUCTION BY THE DESIGN ENGINEER WITH REQUIRED REPORTING TO THE DEP. AT A MINIMUM, INSPECTIONS WILL OCCUR:

- AFTER PRELIMINARY CONSTRUCTION OF THE FILTER GRADES AND ONCE THE UNDERDRAIN PIPES ARE INSTALLED BUT NOT BACKFILLED;
- AFTER THE DRAINAGE LAYER IS CONSTRUCTED AND PRIOR TO THE INSTALLATION OF THE FILTER MEDIA;
- AFTER THE FILTER MEDIA HAS BEEN INSTALLED AND SEEDING (OR PLANTED AND MULCHED IF BIOTRETATION BASIN);
- AFTER ONE YEAR TO INSPECT HEALTH OF THE VEGETATION AND MAKE CORRECTIONS;
- ALL MATERIAL USED FOR THE CONSTRUCTION OF THE FILTER BASIN WILL BE APPROVED BY THE DESIGN ENGINEER AFTER TESTS BY A CERTIFIED LABORATORY SHOW THAT THEY ARE PASSING DEP SPECIFICATIONS.



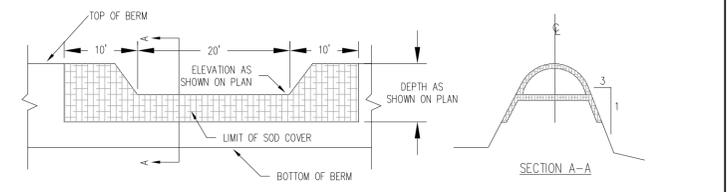
**Exploration symbol: 4**  Test pit  Boring

1 \* Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
0	Sandy loam	Soft	Dark brown	
5	Loamy sand	Drainable	Light olive	
10	Silt loam	Sticky	Dark brown	
15	Silt loam	Sticky	Dark brown	
20	Silt loam	Sticky	Dark brown	
25	Silt loam	Sticky	Dark brown	
30	Silt loam	Sticky	Dark brown	
35	Silt loam	Sticky	Dark brown	
40	Silt loam	Sticky	Dark brown	
45	Silt loam	Sticky	Dark brown	
50	Silt loam	Sticky	Dark brown	

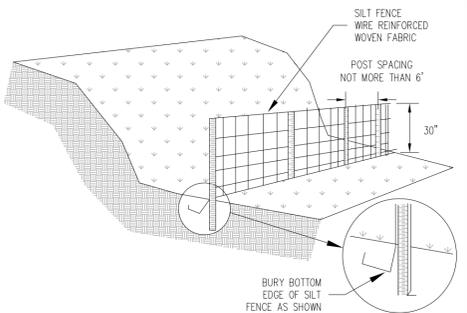
**S.E. Soil Classification:** Profile Design Class: **o-2-B** Slope Limiting Factor: **1.9**

**C.S.S. Soil Series/phase name:** **Elmwood**  Hydric  Non-hydric  Resistive Layer  Bedrock  Hydrologic Soil Group

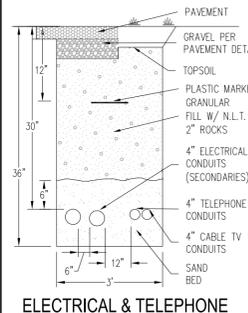


- AREA BENEATH BERM SHALL BE STRIPPED OF ALL ORGANIC MATERIAL & DEBRIS.
- MATERIAL FOR BERM SHALL BE A SILT BASED MATERIAL SIMILAR TO MATERIAL EXCAVATED ON SITE. MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 95% OF MAXIMUM DENSITY.
- EXCEPT FOR SOD AREA SHOWN, SURFACE OF DETENTION AREA BERM SHALL BE LOAMED AND SEEDED USING THE SAME MATERIALS AND APPLICATION RATES AS REQUIRED FOR LAWN AREAS.

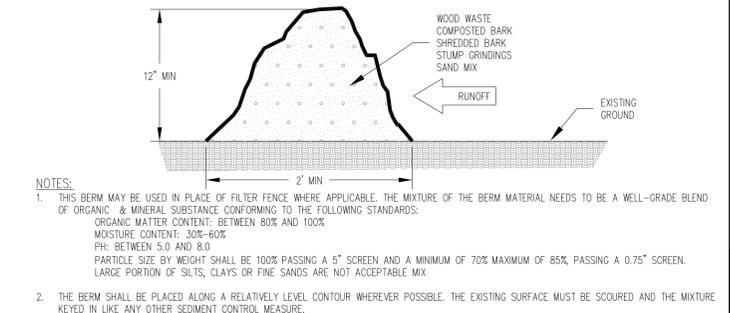
**EMERGENCY OVERFLOW**  
NOT TO SCALE



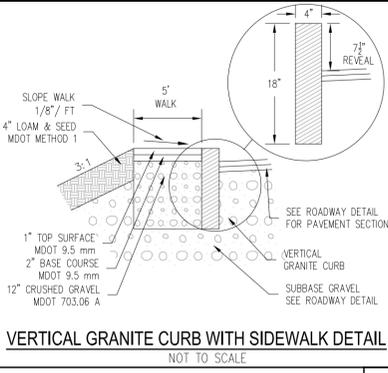
**SILT FENCE DETAIL**  
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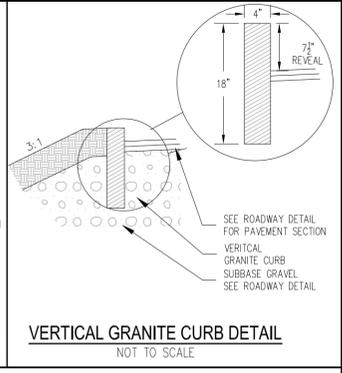
**ELECTRICAL & TELEPHONE TRENCH DETAIL**  
NOT TO SCALE



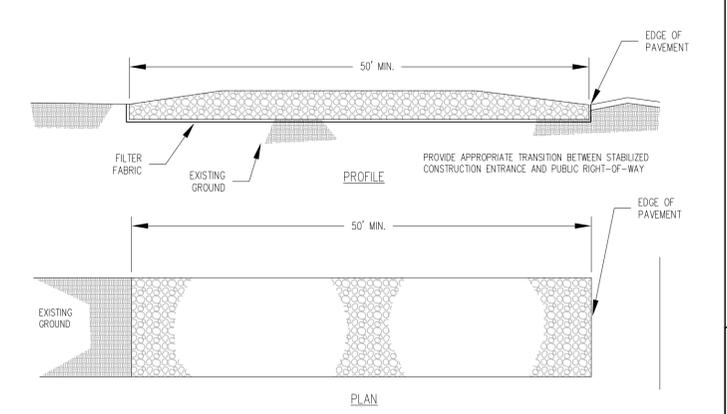
**FILTER BERM DETAIL**  
NOT TO SCALE



**VERTICAL GRANITE CURB WITH SIDEWALK DETAIL**  
NOT TO SCALE

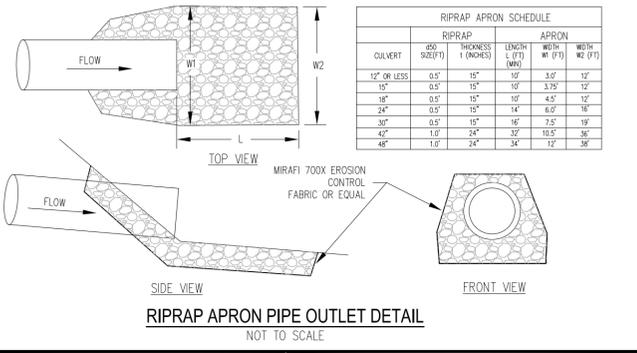


**VERTICAL GRANITE CURB DETAIL**  
NOT TO SCALE

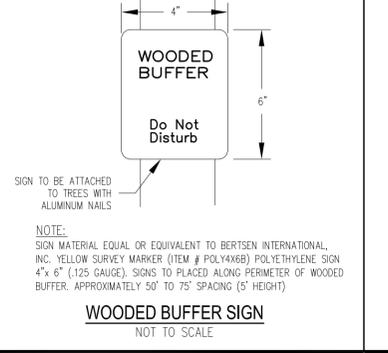


- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - AASHTO DESIGNATION M43, SIZE NO. 2 (2-1/2" TO 1-1/2"). USE CRUSHED STONE.
  - LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
  - THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
  - WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
  - WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATER COURSE THROUGH USE OF SAND BAGS, GRAPNEL BARRIERS, OR OTHER APPROVED METHODS.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED, ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

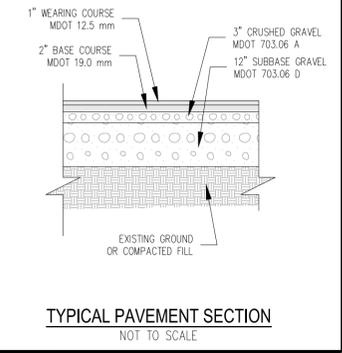
**STABILIZED CONSTRUCTION ENTRANCE (IF REQUIRED)**  
NOT TO SCALE



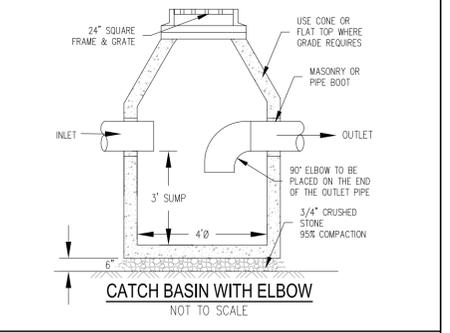
**RIPRAP APRON PIPE OUTLET DETAIL**  
NOT TO SCALE



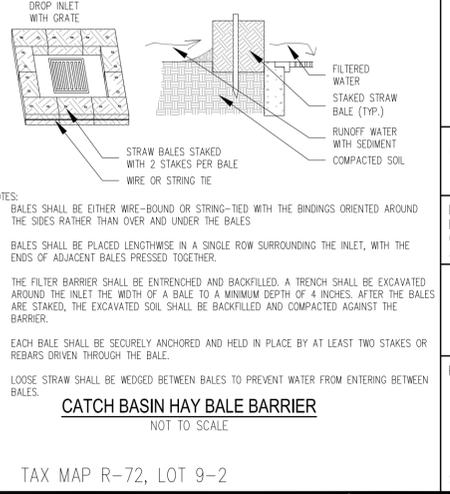
**WOODED BUFFER SIGN**  
NOT TO SCALE



**TYPICAL PAVEMENT SECTION**  
NOT TO SCALE



**CATCH BASIN WITH ELBOW**  
NOT TO SCALE



**CATCH BASIN HAY BALE BARRIER**  
NOT TO SCALE

**STATE OF MAINE PERMITTING ONLY**

**CIVIL CONSULTANTS**

RECORD OWNER: **ROUTE 4 SELF STORAGE, LLC**  
 ADDRESS: 1465 WOODBURY AVENUE #362  
 PORTSMOUTH, NH 03801

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**ROUTE 4 SELF STORAGE, LLC**  
 CLIENT ADDRESS: 1465 WOODBURY AVENUE #362, PORTSMOUTH, NH 03801

**ROUTE 4 SELF STORAGE, LLC**  
 PORTLAND STREET - TAX MAP R-72, LOT 9-2 AND  
 PORTION OF LOT 9, BERWICK, YORK COUNTY, MAINE

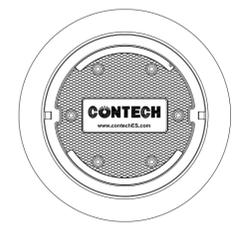
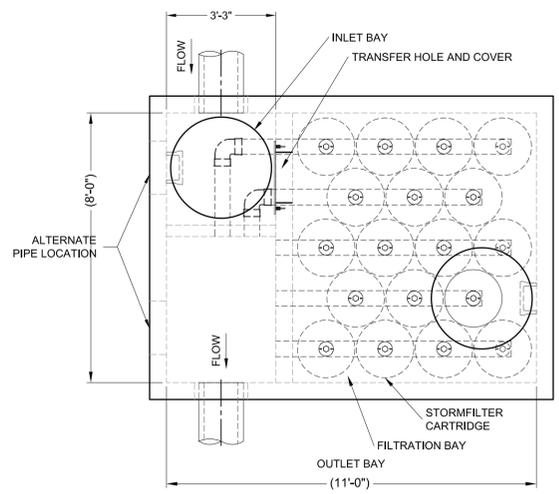
DATE: 5/6/2020  
 DRAWN BY: NJR  
 CHECKED BY:  
 APPROVED BY:

**CONSTRUCTION DETAILS**

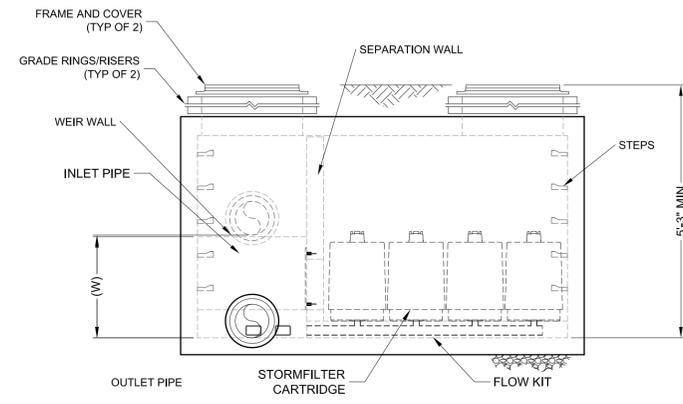
PROJECT NO: 1618702

**L2**

SHEET: 2 OF 4



**FRAME AND COVER**  
(DIAMETER VARIES)  
N.T.S.



**STORMFILTER DESIGN NOTES**

- THE 8' x 11' PEAK DIVERSION STORMFILTER TREATMENT CAPACITY VARIES BY CARTRIDGE COUNT AND LOCALLY APPROVED SURFACE AREA SPECIFIC FLOW RATE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD.
- THE PEAK DIVERSION STORMFILTER IS AVAILABLE IN A LEFT INLET (AS SHOWN) OR RIGHT INLET CONFIGURATION.
- ALL PARTS AND INTERNAL ASSEMBLY PROVIDED BY CONTECH UNLESS OTHERWISE NOTED.

CARTRIDGE SELECTION		27"	18"	LOW DROP
CARTRIDGE HEIGHT		27"	18"	LOW DROP
RECOMMENDED HYDRAULIC DROP (H)		3.05'	2.3'	1.8'
SPECIFIC FLOW RATE (gpm/sf)		2 gpm/sf	1.67* gpm/sf	1 gpm/sf
CARTRIDGE FLOW RATE (gpm)		22.5	18.79	11.25
		15	12.53	7.5
		10	8.35	5

\* 1.67 gpm/sf SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY

SITE SPECIFIC DATA REQUIREMENTS	
STRUCTURE ID	SF1
WATER QUALITY FLOW RATE (cfs)	22.55
PEAK FLOW RATE (cfs)	44.88
RETURN PERIOD OF PEAK FLOW (yrs)	25
CARTRIDGE HEIGHT	LD
NUMBER OF CARTRIDGES REQUIRED	17
CARTRIDGE FLOW RATE	1.4
MEDIA TYPE (PERLITE, ZPG, PSORB)	PERLITE
PIPE DATA:	I.E. MATERIAL DIAMETER
INLET PIPE:	I.E. PVC 10"
OUTLET PIPE:	I.E. CPP 12"
UPSTREAM RIM ELEVATION	OPEN
DOWNSTREAM RIM ELEVATION	OPEN
ANTI-FLOTATION BALLAST	*NO BALLAST REQUIRED*
NOTES/SPECIAL REQUIREMENTS:	

SITE SPECIFIC DATA REQUIREMENTS	
STRUCTURE ID	SF2
WATER QUALITY FLOW RATE (cfs)	28.66
PEAK FLOW RATE (cfs)	49.37
RETURN PERIOD OF PEAK FLOW (yrs)	25
CARTRIDGE HEIGHT	LD
NUMBER OF CARTRIDGES REQUIRED	21
CARTRIDGE FLOW RATE	1.4
MEDIA TYPE (PERLITE, ZPG, PSORB)	PERLITE
PIPE DATA:	I.E. MATERIAL DIAMETER
INLET PIPE:	I.E. PVC 10"
OUTLET PIPE:	I.E. CPP 12"
UPSTREAM RIM ELEVATION	OPEN
DOWNSTREAM RIM ELEVATION	OPEN
ANTI-FLOTATION BALLAST	*NO BALLAST REQUIRED*
NOTES/SPECIAL REQUIREMENTS:	

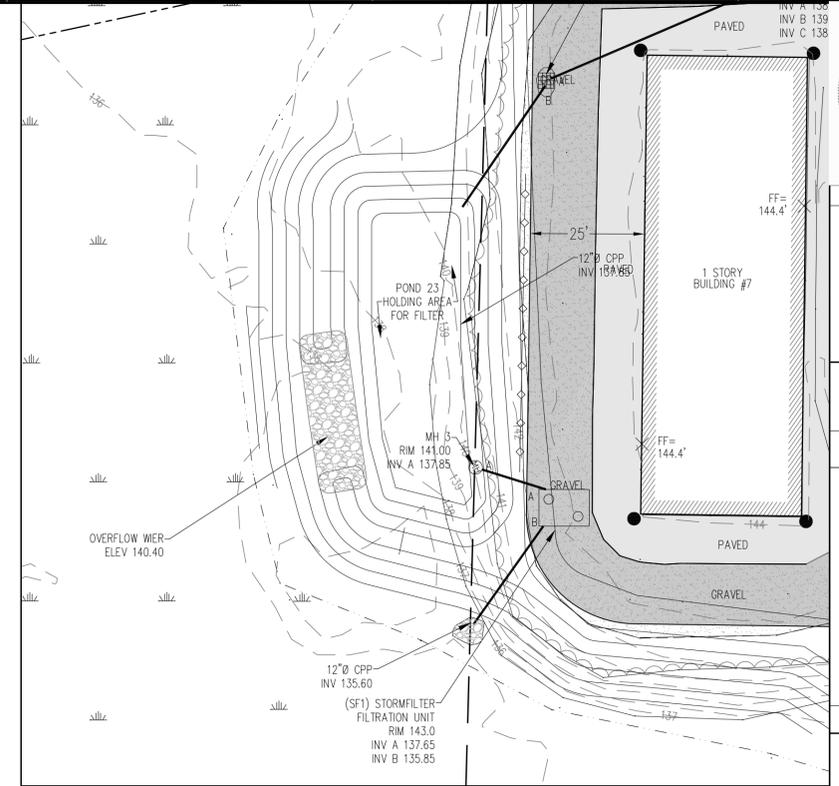
**PERFORMANCE SPECIFICATION**  
FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. **RADIAL MEDIA DEPTH SHALL BE 7-INCHES.** FILTER MEDIA CONTACT TIME SHALL BE AT LEAST **38 SECONDS.** SPECIFIC FLOW RATE SHALL BE **2 GPM/SF (MAXIMUM).** SPECIFIC FLOW RATE IS THE MEASURE OF THE FLOW (GPM) DIVIDED BY THE MEDIA SURFACE CONTACT AREA (SF). MEDIA VOLUMETRIC FLOW RATE SHALL BE **6 GPM/CF OF MEDIA (MAXIMUM).**

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. [www.contechES.com](http://www.contechES.com)
  - STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
  - STRUCTURE SHALL MEET AASHTO H-20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 5' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M308 AND BE CAST WITH THE CONTECH LOGO.

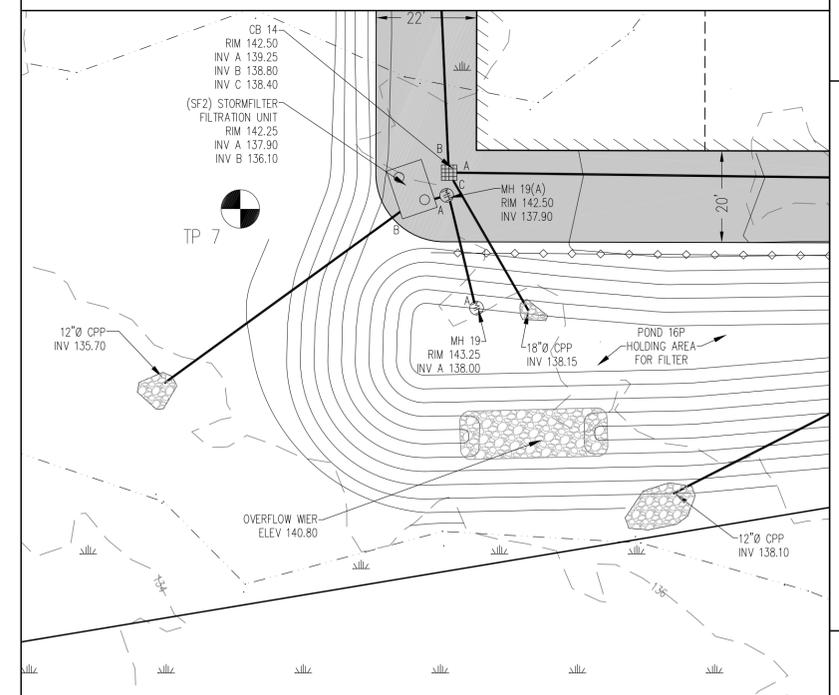
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL SECTIONS AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
  - CONTRACTOR TO REMOVE THE TRANSFER HOLE COVER WHEN THE SYSTEM IS BROUGHT ONLINE.



**NOTE:**  
STORM FILTER DETAILS AND NOTES PROVIDED BY CONTECH ENGINEERED SOLUTIONS. CONFIRM THE INFORMATION PRESENTED ON THESE DETAILS WITH THE MANUFACTURER PRIOR TO ORDERING PRODUCTS.



**STORMFILTER SF1 LAYOUT**  
SCALE: 1" = 20'



**STORMFILTER SF2 LAYOUT**  
SCALE: 1" = 20'



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**CIVIL CONSULTANTS**  
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NO.	REVISIONS	INT.	DATE
1	ISSUED FOR SUBMISSION TO TOWN		5/6/20

RECORD OWNER:  
ROUTE 4 SELF STORAGE, LLC  
ADDRESS:  
1465 WOODBURY AVENUE #362  
PORTSMOUTH, NH 03801

**SITE EXPANSION**  
**ROUTE 4 SELF STORAGE, LLC**  
**PORTLAND STREET - TAX MAP R-72, LOT 9-2 AND**  
**PORTION OF LOT 9, BERWICK, YORK COUNTY, MAINE**  
PREPARED FOR: ROUTE 4 SELF STORAGE, LLC  
CLIENT ADDRESS: 1465 WOODBURY AVENUE #362, PORTSMOUTH, NH 03801

AS NOTED  
DATE: 5/6/2020  
DRAWN BY: NJR  
CHECKED BY:  
APPROVED BY:

**CONSTRUCTION DETAILS**

PROJECT NO: 1618702

**L3**

SHEET: 3 OF 4

TAX MAP R-72, LOT 9-2

**MAINTENANCE PROCEDURES**

THE FOLLOWING PROCEDURES WILL BE FOLLOWED FOR INITIAL AND LONG TERM MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES AT THIS SITE. NOTE: FOR THE PURPOSES OF THESE PROCEDURES, A MAJOR STORM EVENT IS CLASSIFIED AS A RAINFALL EXCEEDING 3.0 INCHES. A SIGNIFICANT RAINFALL IS 1/2" IN A 24 HOUR PERIOD.

**MAINTENANCE LOG**

THE RESPONSIBLE PARTY SHALL ESTABLISH A MAINTENANCE LOG/PLAN FOR USE IN RECORDING MAINTENANCE ACTIVITIES. AS A MINIMUM, THE LOG SHALL INCLUDE THE DATE(S) OF ACTIVITIES, WHO PERFORMED THE DUTIES, WHAT WAS DONE (I.E. LOOKED AT DETENTION BERMS, CLEANED DROP INLETS, ETC.), THE RESULTS OF THE ACTIVITY (I.E. ALL STRUCTURES WERE IN GOOD SHAPE, OR, POND #44 NEEDS TO BE REPAIRED). IF ANY ITEM NEEDS TO BE REPAIRED, A FOLLOW-UP ENTRY SHALL SHOW THE DATE THAT REPAIRS WERE COMPLETED.

**DETENTION BASINS (INITIAL AND LONG TERM)**

MAINTENANCE IS NECESSARY IF DETENTION BASINS ARE TO CONTINUE TO FUNCTION AS ORIGINALLY DESIGNED. THE RESPONSIBLE PARTY SHALL DESIGNATE AN INDIVIDUAL (OR COMPANY) TO MAINTAIN THE STRUCTURES AND THE BASIN AREA.

THE FOLLOWING MAINTENANCE SCHEDULE ARE ITEMS WHICH SHOULD BE CONSIDERED IN FORMULATING A MAINTENANCE PLAN:

- 1. EMBANKMENT – EMBANKMENTS SHOULD BE INSPECTED ANNUALLY TO DETERMINE IF RODENT BURROWS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
2. VEGETATION – THE VEGETATED AREAS OF STRUCTURE DEVICES SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. LIME AND FERTILIZER SHOULD BE APPLIED AS NECESSARY AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHOULD BE KEPT OFF THE EMBANKMENT AND EMERGENCY SPILLWAY AREAS.
3. INLETS – PIPE INLETS AND SPILLWAY STRUCTURES SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHOULD BE REMOVED. IF PIPES ARE COATED, THE COATING SHOULD BE CHECKED AND REPAIRED AS NECESSARY.
4. OUTLETS – PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
5. SEDIMENT – SEDIMENT SHOULD BE CONTINUALLY CHECKED IN THE BASIN. WHEN SEDIMENT ACCUMULATIONS REACH THE PREDETERMINED DESIGN ELEVATION, THEN THE SEDIMENT SHOULD BE REMOVED AND PROPERLY DISPOSED.
6. SAFETY INSPECTIONS – ALL BERMS OVER 2' IN HEIGHT SHALL BE INSPECTED BY A QUALIFIED PROFESSIONAL ENGINEER EVERY 5 YEARS. THE DESIGNATED INDIVIDUAL SHOULD ALSO MAKE INSPECTIONS AFTER EVERY MAJOR STORM EVENT.

**LAND GRADING AND SLOPE STABILIZATION**

ALL SLOPES SHOULD BE CHECKED PERIODICALLY TO SEE THAT VEGETATION IS IN GOOD CONDITION. ANY RILLS OR DAMAGE FROM EROSION AND ANIMAL BURROWING SHOULD BE REPAIRED IMMEDIATELY TO AVOID FURTHER DAMAGE. IF SEEPS DEVELOP ON THE SLOPES, THE AREA SHOULD BE EVALUATED TO DETERMINE IF THE SEEP WILL CAUSE AN UNSTABLE CONDITION. SUBSURFACE DRAINS OR GRAVEL MULCHING MAY BE REQUIRED TO SOLVE SEEP PROBLEMS. DIVERSIONS, BERMS, AND WATERWAYS IN THE LAND GRADING AREA SHOULD BE CHECKED TO SEE THAT THEY ARE FUNCTIONING PROPERLY. PROBLEMS FOUND DURING THE INSPECTIONS SHOULD BE REPAIRED. SLOPES AND ASSOCIATED PRACTICES UTILIZING VEGETATION SHOULD BE LIMED AND FERTILIZED AS NECESSARY TO KEEP THE VEGETATION HEALTHY. ENCROACHMENT OF UNDESIRABLE VEGETATION SUCH AS WEEDS AND WOODY GROWTH THAT IS NOT PLANNED SHOULD BE CONTROLLED TO AVOID PROBLEMS OF BANK STABILITY IN THE FUTURE.

**LEVEL SPREADER**

LEVEL SPREADERS SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE LIP HAS BEEN DAMAGED AND THAT THE DESIGN CONDITIONS HAVE NOT CHANGED. ANY SEDIMENT ACCUMULATION SHOULD BE REMOVED. DAMAGE SHOULD BE REPAIRED AND RE-VEGETATED. THE VEGETATION SHOULD BE MOVED OCCASIONALLY TO CONTROL WEEDS AND THE ENCROACHMENT OF WOODY VEGETATION. CLIPPINGS SHOULD BE REMOVED AND DISPOSED OF OUTSIDE THE SPREADER AND AWAY FROM THE OUTLET AREA. FERTILIZATION SHOULD BE DONE AS NECESSARY TO KEEP THE VEGETATION HEALTHY AND DENSE.

**OUTLET PROTECTION**

OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

**ROCK RIPRAP (INITIAL & LONG TERM)**

ROCK RIPRAP SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED. WOODY VEGETATION SHOULD BE REMOVED FROM THE ROCK RIPRAP. ANNUALLY, IF THE RIPRAP IS ON A CHANNEL BANK, THE STREAM SHOULD BE KEPT CLEAR OF OBSTRUCTIONS. IF DAMAGE HAS OCCURED, REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE RIPRAP.

**STORM DRAIN INLET PROTECTION**

ALL STRUCTURES SHALL BE INSPECTED AFTER SIGNICANT RAIN EVENTS AND REPAIRED AS NEEDED.

SEDIMENT SHALL BE REMOVED AND THE STORM DRAIN SEDIMENT BARRIER RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.

STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

ALL CATCH BASINS AND STORM DRAIN INLETS SHALL BE CLEANED AT THE END OF CONSTRUCTION AND AFTER THE SITE HAS BEEN FULLY STABILIZED.

**STRAW OR HAY BALE BARRIER, SILT FENCE AND FILTER BERM**

HAY BALE BARRIERS, SILT FENCES AND FILTER BERMS SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OF THE BARRIER, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED.

SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE BARRIER.

FILTER BERMS SHOULD BE RESHAPED AS NEEDED.

SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHOULD BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

**STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD)**

EXITS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHALL BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL AND REDISTRIBUTED ON SITE IN A STABLE MANNER AND THE ENTRANCE RECONSTRUCTED. THE CONTRACTOR SHALL SWEEP OR WASH PAVEMENT AT EXITS, WHICH HAVE EXPERIENCED MUD-TRACKING ONTO THE PAVEMENT OR TRAVELED WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES OR WATERWAYS.

**CULVERTS**

CULVERTS MUST BE MAINTAINED BY KEEPING INLETS, TRASH GUARDS, AND COLLECTION BOXES AND STRUCTURES CLEAN AND FREE OF MATERIALS THAT CAN REDUCE THE FLOW. ALL LEAKS SHALL BE REPAIRED TO ENSURE PROPER FUNCTIONING OF THE CULVERT. ANIMAL GUARDS MUST BE INSPECTED AND MAINTAINED IN PROPER WORKING ORDER.

**VEGETATED SWALE**

TIMELY MAINTENANCE IS IMPORTANT TO KEEP THE VEGETATION IN THE SWALE IN GOOD CONDITION. MOWING SHOULD BE DONE FREQUENTLY ENOUGH TO KEEP THE VEGETATION IN VIGOROUS CONDITION AND TO CONTROL ENCROACHMENT OF WEEDS AND WOODY VEGETATION, HOWEVER, IT SHOULD NOT BE MOWED TOO CLOSELY SO AS TO REDUCE THE FILTERING EFFECT. FERTILIZE ON AN "AS NEEDED" BASIS TO KEEP THE GRASS HEALTHY. OVER FERTILIZATION CAN RESULT IN THE SWALE BECOMING A SOURCE OF POLLUTION.

THE SWALE SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE THE CONDITION OF THE SWALE. RILLS AND DAMAGED AREAS SHOULD BE PROMPTLY REPAIRED AS NECESSARY TO PREVENT FURTHER DETERIORATION.

**OVERWINTER CONSTRUCTION**

MAINE EROSION AND SEDIMENT CONTROL BMP (3/2003)

THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15. IF THE CONSTRUCTION SITE IS NOT STABILIZED WITH PAVEMENT, A ROAD GRAVEL BASE, 75% MATURE VEGETATION COVER OR RIPRAP BY NOVEMBER 15 THEN THE SITE NEEDS TO BE PROTECTED WITH OVER-WINTER STABILIZATION. AN AREA CONSIDERED OPEN IS ANY AREA NOT STABILIZED WITH PAVEMENT, VEGETATION, MULCHING, EROSION CONTROL MATS, RIPRAP OR GRAVEL BASE ON A ROAD.

WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDER TAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. ALL AREA SHALL BE CONSIDERED TO BE DENUDED UNTIL THE SUBBASE GRAVEL IS INSTALLED IN ROADWAY AREAS OR THE AREAS OF FUTURE LOAM AND SEED HAVE BEEN LOAMED, SEEDED AND MULCHED. A COVER OF EROSION CONTROL MIX PERFORMS THE BEST.

ANY ADDED MEASURES, WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION, MUST BE INSTALLED. THESE MAY BE DEPENDENT UPON SITE AND WEATHER CONDITIONS AND THE ACTUAL SITE SIZE. TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION, CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED.

**1. NATURAL RESOURCES PROTECTION**

ANY AREAS WITHIN 100 FEET FROM ANY NATURAL RESOURCE, IF NOT STABILIZED WITH A MINIMUM OF 75% MATURE VEGETATION CATCH, SHALL BE MULCHED BY DECEMBER 1 AND ANCHORED WITH PLASTIC NETTING OR PROTECTED WITH AN EROSION CONTROL COVER.

DURING WINTER CONSTRUCTION, A DOUBLE ROW OF SEDIMENT BARRIERS (I.E. SILT FENCE BACKED WITH HAY BALES OR EROSION CONTROL MIX) WILL BE PLACED BETWEEN ANY NATURAL RESOURCE AND THE DISTURBED AREA. PROJECTS CROSSING THE NATURAL RESOURCE SHALL BE PROTECTED A MINIMUM DISTANCE OF 100 FEET ON EITHER SIDE FROM THE RESOURCE. EXISTING PROJECTS NOT STABILIZED BY DECEMBER 1 SHALL BE PROTECTED WITH THE SECOND LINE OF SEDIMENT BARRIER TO ENSURE FUNCTIONALITY DURING THE SPRING THAW AND RAINS.

**2. SEDIMENT BARRIERS**

DURING FROZEN CONDITIONS, SEDIMENT BARRIERS MAY CONSIST OF EROSION CONTROL MIX BERMS OR ANY OTHER RECOGNIZED SEDIMENT BARRIERS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF HAY BALES AND SEDIMENT SILT FENCES.

**3. MULCHING**

ALL AREA SHALL BE CONSIDERED TO BE DENUDED UNTIL SEEDED AND MULCHED. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 150 LB. PER 1,000 SQUARE FEET OR 3 TONS/ACRE (TWICE THE NORMAL ACCEPTED RATE OF 75 LBS./1,000 S.F. OR 1.5 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. EROSION CONTROL MIX MUST BE APPLIED WITH A MINIMUM 4 INCH THICKNESS.

MULCH SHALL NOT BE SPREAD ON TOP OF SNOW. THE SNOW WILL BE REMOVED DOWN TO A ONE INCH DEPTH OR LESS PRIOR TO APPLICATION. AFTER EACH DAY OF FINAL GRADING, THE AREA WILL BE PROPERLY STABILIZED WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MATTING. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED OR ADEQUATELY ANCHORED SO THAT GROUND SURFACE IS NOT VISIBLE THOUGH THE MULCH. BETWEEN THE DATES OF NOVEMBER 1 AND APRIL 15, ALL MULCH SHALL BE ANCHORED BY EITHER MULCH NETTING, ASPHALT EMULSION CHEMICAL, TRACKING OR WOOD CELLULOSE FIBER. THE COVER WILL BE CONSIDERED SUFFICIENT WHEN THE GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH.

AFTER NOVEMBER 1ST, MULCH AND ANCHORING OF ALL EXPOSED SOIL SHALL OCCUR AT THE END OF EACH FINAL GRADING WORKDAY.

**4. SOIL STOCKPILES**

STOCKPILES OF SOIL OR SUBSOIL WILL BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A FOUR-INCH LAYER OF EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND REESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. ANY SOIL STOCKPILE WILL NOT BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100 FEET FROM ANY NATURAL RESOURCES.

**5. SEEDING**

BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES FINISHED AREAS SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS NOVEMBER 1ST AND THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED.

DORMANT SEEDING MAY BE SELECTED TO BE PLACED PRIOR TO THE PLACEMENT OF MULCH AND EROSION CONTROL BLANKETS. IF DORMANT SEEDING IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL RECEIVE 4" OF LOAM AND SEED AT AN APPLICATION RATE OF 5LBS/1,000 S.F. ALL AREAS SEEDED DURING THE WINTER WILL BE INSPECTED IN THE SPRING FOR ADEQUATE CATCH. ALL AREAS INSUFFICIENTLY VEGETATED (LESS THAN 75% CATCH) SHALL BE REVEGETATED BY REPLACING LOAM, SEED AND MULCH. IF DORMANT SEEDING IS NOT USED FOR THE SITE, ALL DISTURBED AREAS SHALL BE REVEGETATED IN THE SPRING.

**OVERWINTER STABILIZATION**

MAINE EROSION AND SEDIMENT CONTROL BMP (3/2003)

**1. STABILIZATION OF DITCHES AND CHANNELS**

ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. IF A DITCH OR CHANNEL IS NOT GRASS-LINED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE DITCH FOR LATE FALL AND WINTER MUST BE TAKEN.

SOD LINING: A DITCH OR CHANNEL MUST BE LINED WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES: PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL, AND ANCHORING THE SOD AT THE BASE OF THE DITCH WITH JUTE OR PLASTIC MESH TO PREVENT THE SOD FROM SLOUGHING DURING FLOW CONDITIONS.

STONE LINING: A DITCH OR CHANNEL MUST BE LINED WITH STONE RIPRAP BY NOVEMBER 15. A REGISTERED PROFESSIONAL ENGINEER MUST DETERMINE THE STONE SIZE AND LINING THICKNESS NEEDED TO WITHSTAND THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHIN THE DITCH. IF NECESSARY, THE CONTRACTOR WILL REGRADE THE DITCH PRIOR TO PLACING THE STONE LINING TO PREVENT THE STONE LINING FROM REDUCING THE DITCH'S CROSS-SECTIONAL AREA.

**2. STABILIZATION OF DISTURBED SLOPES**

ALL STONE-COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL SLOPES TO BE VEGETATED MUST BE SEEDED AND MULCHED BY SEPTEMBER 1. THE DEPARTMENT WILL CONSIDER ANY AREA HAVING A GRADE GREATER THAN 15% TO BE A SLOPE. IF A SLOPE TO BE VEGETATED IS NOT STABILIZED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.

TEMPORARY VEGETATION AND EROSION CONTROL MATS: BY OCTOBER 1, THE DISTURBED SLOPE MUST BE SEEDED WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET FOLLOWED BY INSTALLATION OF EROSION CONTROL MATS OR ANCHORED MULCH OVER THE SEEDING. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR FAILS TO COVER AT LEAST 75% OF THE SLOPE BY NOVEMBER 1, THEN THE CONTRACTOR WILL COVER THE SLOPE WITH A LAYER OF EROSION CONTROL MIX OR STONE RIPRAP AS DESCRIBED IN THE FOLLOWING STANDARDS.

SOD: THE DISTURBED SLOPE MUST BE STABILIZED WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE CONTRACTOR WILL NOT USE LATE-SEASON SOD INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% (3H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.

EROSION CONTROL MIX: EROSION CONTROL MIX MUST BE PROPERLY INSTALLED BY NOVEMBER 15. THE CONTRACTOR WILL NOT USE EROSION CONTROL MIX TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% (2H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.

STONE RIPRAP: PLACE A LAYER OF STONE RIPRAP ON THE SLOPE BY NOVEMBER 15. THE DEVELOPMENT'S OWNER WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER TO BE INSTALLED BENEATH THE RIPRAP.

**3. STABILIZATION OF DISTURBED SOILS**

TEMPORARY VEGETATION: BY OCTOBER 1, SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3-LBS PER 1,000 SQUARE FEET, LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75-LBS PER 1,000 SQUARE FEET, AND ANCHOR THE MULCH WITH PLASTIC NETTING. MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER 1, THEN MULCH THE AREA FOR OVERWINTER PROTECTION AS FOLLOWS.

MULCH: BY NOVEMBER 15, MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150-LBS PER 1,000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. IMMEDIATELY AFTER APPLYING THE MULCH, ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.

**MAINTENANCE**

MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION SEASON. AFTER EACH RAINFALL, SNOW STORM OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUOUS FUNCTION. FOLLOWING THE TEMPORARY AND OR FINAL SEEDING AND MULCHING, THE CONTRACTOR SHALL IN THE SPRING INSPECT AND REPAIR ANY DAMAGES AND/OR BARE SPOTS. AN ESTABLISHED VEGETATIVE COVER MEANS A MINIMUM OF 85% TO 90% OF AREAS VEGETATED WITH VIGOROUS GROWTH.

**STABILIZATION SCHEDULE BEFORE WINTER**

SEPTEMBER 15: ALL DISTURBED AREAS MUST BE SEEDED AND MULCHED. ALL SLOPES MUST BE STABILIZED, SEEDED AND MULCHED. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE STABILIZED WITH MULCH OR AN EROSION CONTROL BLANKET.

OCTOBER 1: IF THE SLOPE IS STABILIZED WITH AN EROSION CONTROL BLANKET AND SEEDED, ALL DISTURBED AREAS TO BE PROTECTED WITH ANNUAL GRASS MUST BE SEEDED AT A SEEDING RATE OF 3-LBS PER 1,000 SQUARE FEET AND MULCHED.

NOVEMBER 15: ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED. SLOPES THAT ARE COVERED WITH RIPRAP MUST BE CONSTRUCTED BY THIS DATE.

DECEMBER 1: ALL DISTURBED AREAS WHERE GROWTH OF VEGETATION FAILS TO BE AT LEAST THREE INCHES TALL OR AT LEAST 75% OF THE DISTURBED SOIL IS COVERED VEGETATION, MUST BE PROTECTED FOR OVER-WINTER. NOTE: THE DATES GIVEN ARE FOR PROJECTS IN SOUTH-CENTRAL MAINE.

**PROJECT MAINTENANCE ITEMS:**

THE DEVICES THAT WILL REQUIRE MAINTENANCE FOR THIS PROJECT ARE:

- SILT FENCE/EROSION CONTROL BERMS
GRASSED FILTER
CATCH BASINS AND CULVERTS
HOLDING PONDS
STORMFILTER TREATMENT UNITS

REFER TO THE STORMWATER MAINTENANCE AND INSPECTION MANUAL ON FILE WITH THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR SPECIFIC REQUIREMENTS AND REPORTING RESPONSIBILITIES.

**HOUSEKEEPING NOTES**

\*PER ME DEP CHAPTER 500 -- APPENDIX 'C'

- 1. SPILL PREVENTION. CONTROLS MUST BE USED TO PREVENT POLLUTANTS FROM CONSTRUCTION AND WASTE MATERIALS STORED ON SITE TO ENTER STORMWATER, WHICH INCLUDES STORAGE PRACTICES TO MINIMIZE EXPOSURE OF THE MATERIALS TO STORMWATER. THE SITE CONTRACTOR OR OPERATOR MUST DEVELOP AND IMPLEMENT AS NECESSARY, APPROPRIATE SPILL PREVENTION, CONTAINMENT, AND RESPONSE PLANNING MEASURES.
2. GROUNDWATER PROTECTION. DURING CONSTRUCTION, LIQUID PETROLEUM PRODUCTS AND OTHER HAZARDOUS MATERIALS WITH THE POTENTIAL TO CONTAMINATE GROUNDWATER MAY NOT BE STORED OR HANDLED IN AREAS OF THE SITE DRAINING TO AN INFILTRATION AREA. AN "INFILTRATION AREA" IS ANY AREA OF THE SITE THAT BY DESIGN OR AS A RESULT OF SOILS, TOPOGRAPHY AND OTHER RELEVANT FACTORS ACCUMULATES RUNOFF THAT INFILTRATES INTO THE SOIL, DIKES, BERMS, SUMPS, AND OTHER FORMS OF SECONDARY CONTAINMENT THAT PREVENT DISCHARGE TO GROUNDWATER MAY BE USED TO ISOLATE PORTIONS OF THE SITE FOR THE PURPOSES OF STORAGE AND HANDLING OF THESE MATERIALS. ANY PROJECT PROPOSING INFILTRATION OF STORMWATER MUST PROVIDE ADEQUATE PRE-TREATMENT OF STORMWATER PRIOR TO DISCHARGE OF STORMWATER TO THE INFILTRATION AREA, OR PROVIDE FOR TREATMENT WITHIN THE INFILTRATION AREA, IN ORDER TO PREVENT THE ACCUMULATION OF FINES, REDUCTION IN INFILTRATION RATE, AND CONSEQUENT FLOODING AND DESTABILIZATION.
3. FUGITIVE SEDIMENT AND DUST. ACTIONS MUST BE TAKEN TO ENSURE THAT ACTIVITIES DO NOT RESULT IN NOTICEABLE EROSION OF SOILS OR FUGITIVE DUST EMISSIONS DURING OR AFTER CONSTRUCTION. OIL MAY NOT BE USED FOR DUST CONTROL, BUT OTHER WATER ADDITIVES MAY BE CONSIDERED AS NEEDED. A STABILIZED CONSTRUCTION ENTRANCE (SCE) SHOULD BE INCLUDED TO MINIMIZE TRACKING OF MUD AND SEDIMENT. IF OFF-SITE TRACKING OCCURS, PUBLIC ROADS SHOULD BE SWEEP IMMEDIATELY AND NO LESS THAN ONCE A WEEK AND PRIOR TO SIGNIFICANT STORM EVENTS. OPERATIONS DURING DRY MONTHS, THAT EXPERIENCE FUGITIVE DUST PROBLEMS, SHOULD WET DOWN UNPAVED ACCESS ROADS ONCE A WEEK OR MORE FREQUENTLY AS NEEDED WITH A WATER ADDITIVE TO SUPPRESS FUGITIVE SEDIMENT AND DUST.
4. DEBRIS AND OTHER MATERIALS. MINIMIZE THE EXPOSURE OF CONSTRUCTION DEBRIS, BUILDING AND LANDSCAPING MATERIALS, TRASH, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS TO PRECIPITATION AND STORMWATER RUNOFF. THESE MATERIALS MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
5. EXCAVATION DE-WATERING. EXCAVATION DE-WATERING IS THE REMOVAL OF WATER FROM TRENCHES, FOUNDATIONS, COFFER DAMS, PONDS, AND OTHER AREAS WITHIN THE CONSTRUCTION AREA THAT RETAIN WATER AFTER EXCAVATION. IN MOST CASES THE COLLECTED WATER IS HEAVILY SILTED AND HINDERS CORRECT AND SAFE CONSTRUCTION PRACTICES. THE COLLECTED WATER REMOVED FROM THE PONDING AREA, EITHER THROUGH GRAVITY OR PUMPING, MUST BE SPREAD THROUGH NATURAL WOODED BUFFERS OR REMOVED TO AN AREA THAT ARE SPECIFICALLY DESIGNED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE, LIKE A COFFERDAM SEDIMENTATION BASIN. AVOID ALLOWING THE WATER TO FLOW OVER DISTURBED AREAS OF THE SITE. EQUIVALENT MEASURES MAY BE TAKEN IF APPROVED BY THE DEPARTMENT.
6. AUTHORIZED NON-STORMWATER DISCHARGES. IDENTIFY AND PREVENT CONTAMINATION BY NON-STORMWATER DISCHARGES. WHERE ALLOWED NON-STORMWATER DISCHARGES EXIST, THEY MUST BE IDENTIFIED AND STEPS SHOULD BE TAKEN TO ENSURE THE IMPLEMENTATION OF APPROPRIATE POLLUTION PREVENTION MEASURES FOR THE NON-STORMWATER COMPONENT(S) OF THE DISCHARGE. AUTHORIZED NON-STORMWATER DISCHARGES ARE:
(a) DISCHARGES FROM FIREFIGHTING ACTIVITY;
(b) FIRE HYDRANT FLUSHINGS;
(c) VEHICLE WASHWATER IF DETERGENTS ARE NOT USED AND WASHING IS LIMITED TO THE EXTERIOR OF VEHICLES (ENGINE, UNDERCARRIAGE AND TRANSMISSION WASHING IS PROHIBITED);
(d) DUST CONTROL RUNOFF IN ACCORDANCE WITH PERMIT CONDITIONS AND APPENDIX (C)(3);
(e) ROUTINE EXTERNAL BUILDING WASH-DOWN, NOT INCLUDING SURFACE PAINT REMOVAL, THAT DOES NOT INVOLVE DETERGENTS;
(f) PAVEMENT WASHWATER (WHERE SPILLS/LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED, UNLESS ALL SPILLED MATERIAL HAD BEEN REMOVED) IF DETERGENTS ARE NOT USED;
(g) UNCONTAMINATED AIR CONDITIONING OR COMPRESSOR CONDENSATE;
(h) UNCONTAMINATED GROUNDWATER OR SPRING WATER;
(i) FOUNDATION OR FOOTER DRAIN-WATER WHERE FLOWS ARE NOT CONTAMINATED;
(j) UNCONTAMINATED EXCAVATION DEWATERING (SEE REQUIREMENTS IN APPENDIX (C)(5));
(k) POTABLE WATER SOURCES INCLUDING WATERLINE FLUSHINGS; AND
(l) LANDSCAPE IRRIGATION.
7. UNAUTHORIZED NON-STORMWATER DISCHARGES. THE DEPARTMENT'S APPROVAL UNDER THIS CHAPTER DOES NOT AUTHORIZE A DISCHARGE THAT IS MIXED WITH A SOURCE OF NON-STORMWATER, OTHER THAN THOSE DISCHARGES IN COMPLIANCE WITH APPENDIX C (6). SPECIFICALLY, THE DEPARTMENT'S APPROVAL DOES NOT AUTHORIZE DISCHARGES OF THE FOLLOWING:
(a) WASTEWATER FROM THE WASHOUT OR CLEANOUT OF CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS OR OTHER CONSTRUCTION MATERIALS;
(b) FUELS, OILS OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE;
(c) SOAPS, SOLVENTS, OR DETERGENTS USED IN VEHICLE AND EQUIPMENT WASHING; AND
(d) TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE.



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Table with columns: DATE, INT., REVISIONS, NO. and rows for NUR and ISSUED FOR SUBMISSION TO TOWN.

RECORD OWNER: ROUTE 4 SELF STORAGE, LLC
ADDRESS: 1465 WOODBURY AVENUE #82 PORTSMOUTH, NH 03801

SITE EXPANSION
ROUTE 4 SELF STORAGE, LLC
PORTLAND STREET - TAX MAP R-72, LOT 9-2 AND PORTION OF LOT 9, BERWICK, YORK COUNTY, MAINE
PREPARED FOR: ROUTE 4 SELF STORAGE, LLC
CLIENT ADDRESS: 1465 WOODBURY AVENUE #82, PORTSMOUTH, NH 03801

AS NOTED
DATE: 5/6/2020
DRAWN BY: NUR
CHECKED BY:
APPROVED BY:

NOTES

PROJECT NO: 1618702

L4

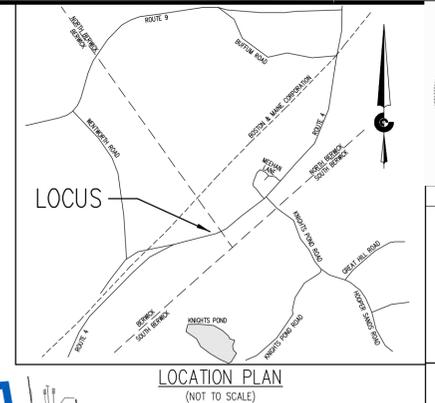
SHEET: 4 OF 4



**LEGEND:**

- |           |   |
|-----------|---|
| 14256/248 | DEED BOOK/PAGE NUMBER                               |
| BW        | BARBED WIRE   |
| CLF       | CHAIN LINK FENCE                                    |
| CMP       | CORRUGATED METAL PIPE                               |
| HDPE      | HIGH DENSITY POLYETHYLENE                           |
| INV.      | INVERT  |
| N/F       | NOW OR FORMERLY                                     |
| ROP       | REINFORCED CONCRETE PIPE                            |
| S.F.      | SQUARE FEET   |
| Y.C.R.D.  | YORK COUNTY REGISTRY OF DEEDS                       |
| ●         | BOLLARD   |
| ○         | UTILITY POLE  |
| —         | GUY WIRE  |
| —         | OVERHEAD WIRES                                      |
| —         | APPROXIMATE UNDERGROUND ELECTRIC LINE               |
| —         | CATCH BASIN   |
| —         | APPROXIMATE UNDERGROUND DRAINAGE PIPE               |
| —         | BUSH OR SHRUB                                       |
| —         | DECIDUOUS TREE (AS NOTED)                           |
| —         | LOCUS PARCEL BOUNDARY LINE                          |
| —         | 5/8" REBAR W/PLASTIC IDENTIFICATION CAP (TO BE SET) |
| —         | LOCUS PARCEL BOUNDARY LINE                          |
| —         | INTERIOR BOUNDARY LINE                              |
| —         | APPROXIMATE ABUTTING PARCEL BOUNDARY LINE           |
| —         | SURVEY BENCHMARK (AS NOTED)                         |
| —         | TEXT PIT  |
| —         | SPOT ELEVATION                                      |
| —         | FINISH FLOOR ELEVATION                              |
| —         | WETLAND (SEE NOTE 9)                                |
| —         | PROPOSED DRAINAGE CULVERT                           |
| —         | EXISTING PAVEMENT                                   |
| —         | EXISTING PACKED GRAVEL                              |
| —         | PROPOSED PAVEMENT                                   |

Flow Comparison				
Event	Discharge Point Designation	Peak Runoff (cfs)		Change (cfs)
		Pre	Post	
2-Year Event	OUT 1	13.92	13.79	-0.13
10-Year Event	OUT 1	27.56	26.52	-1.04
25-Year Event	OUT 1	39.34	37.39	-1.95



STATE OF MAINE  
**PREPARED FOR CONSTRUCTION**  
 NOT FOR  
 PROFESSIONAL ENGINEER  
 2020

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NO.	REVISIONS	INT.	DATE
1	ISSUED FOR SUBMISSION TO TOWN		5/6/20

RECORD OWNER:  
 ROUTE 4 SELF STORAGE, LLC  
 ADDRESS:  
 1465 WOODBURY AVENUE #362  
 PORTSMOUTH, NH 03801

**SITE EXPANSION**  
**ROUTE 4 SELF STORAGE, LLC**  
**PORTLAND STREET - TAX MAP R-72, LOT 9-2 AND**  
**PORTION OF LOT 9, BERWICK, YORK COUNTY, MAINE**  
 PREPARED FOR: ROUTE 4 SELF STORAGE, LLC  
 CLIENT ADDRESS: 1465 WOODBURY AVENUE #362, PORTSMOUTH, NH 03801

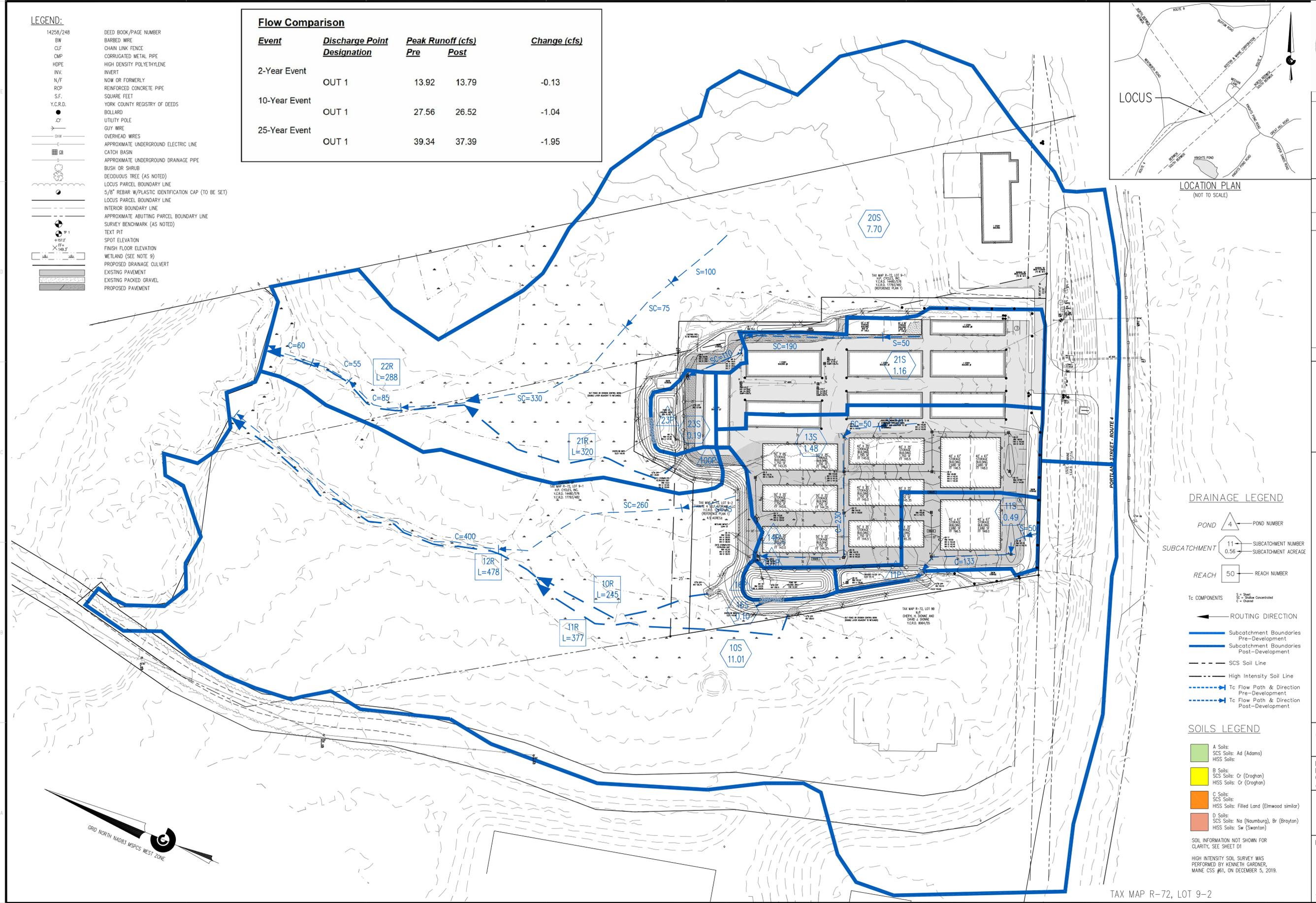
DATE: 5/4/2020  
 DRAWN BY: NJR  
 CHECKED BY:  
 APPROVED BY:

**POST-DEVELOPMENT STORMWATER MANAGEMENT PLAN**

PROJECT NO: 16-187.02

**D2**

SHEET: 2 OF 3



**DRAINAGE LEGEND**

- POND 4 — POND NUMBER
- SUBCATCHMENT 11 — SUBCATCHMENT NUMBER
- 0.56 — SUBCATCHMENT ACREAGE
- REACH 50 — REACH NUMBER
- Tc COMPONENTS S = Slope  
SC = 2000 Flow Concentration  
C = Channel
- ROUTING DIRECTION
- Subcatchment Boundaries Pre-Development
- Subcatchment Boundaries Post-Development
- SCS Soil Line
- High Intensity Soil Line
- Tc Flow Path & Direction Pre-Development
- Tc Flow Path & Direction Post-Development

**SOILS LEGEND**

- A Soils: SCS Soils: Ad (Adams)  
HSS Soils:
  - B Soils: SCS Soils: Cr (Croghan)  
HSS Soils: Cr (Croghan)
  - C Soils: SCS Soils: Filled Land (Elmwood similar)  
HSS Soils: Filled Land (Elmwood similar)
  - D Soils: SCS Soils: No (Naumburg), Br (Brayton)  
HSS Soils: Sw (Swanton)
- SOIL INFORMATION NOT SHOWN FOR CLARITY, SEE SHEET D1
- HIGH INTENSITY SOIL SURVEY WAS PERFORMED BY KENNETH GARDNER, MAINE CSS #61, ON DECEMBER 5, 2019.

**LEGEND:**

- 14258/248 DEED BOOK/PAGE NUMBER
- BW BARBED WIRE
- CLF CHAIN LINK FENCE
- CMP CORRUGATED METAL PIPE
- HDPE HIGH DENSITY POLYETHYLENE
- INV. INVERT
- N/F NOW OR FORMERLY
- RCP REINFORCED CONCRETE PIPE
- S.F. SQUARE FEET
- Y.C.R.D. YORK COUNTY REGISTRY OF DEEDS
- BOLLARD
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRES
- APPROXIMATE UNDERGROUND ELECTRIC LINE
- CATCH BASIN
- APPROXIMATE UNDERGROUND DRAINAGE PIPE
- BUSH OR SHRUB
- DECIDUOUS TREE (AS NOTED)
- LOCUS PARCEL BOUNDARY LINE
- 5/8" REBAR W/PLASTIC IDENTIFICATION CAP (TO BE SET)
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- INTERIOR BOUNDARY LINE
- APPROXIMATE ABUTTING PARCEL BOUNDARY LINE
- SURVEY BENCHMARK (AS NOTED)
- TEXT PIT
- SPOT ELEVATION
- FINISH FLOOR ELEVATION
- WETLAND (SEE NOTE 9)
- PROPOSED DRAINAGE CULVERT
- EXISTING PAVEMENT
- EXISTING PACKED GRAVEL
- PROPOSED PAVEMENT
- SILT FENCE OR EROSION CONTROL BERM
- PROPOSED 6" CHAIN LINK FENCE
- PROPOSED STOCKADE FENCE (OR BOULDERS SPACED TO PREVENT VEHICULAR ENTRY)

**STORMWATER TREATMENT SPREADSHEET**

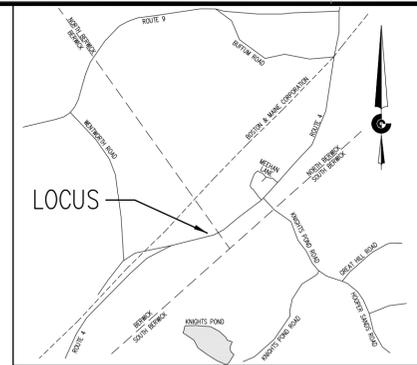
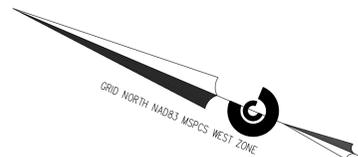
Area (See D3)	BMP Type	Developed area	Linear non-impv	Drives	Linear Impv	Buildings	Lawn	Min BMP size	BMP provided	Untreated developed	Untreated linear d/rd	Untreated linear impv	Untreated impervious	Treated impervious
A	Exist storage building	Proprietary	53,613	0	30,675	0	17,300	5,838	See calcs	StormFilter SF1	0	0	0	47,975
B	Center buildings	Proprietary	68,789	0	31,340	0	30,960	6,489	See calcs	StormFilter SF2	0	0	0	62,300
C	New storage south	Filter	21,404	0	9,420	0	6,000	5,984	1,484 sf filter	1,518 sf Grassed Filter 11P	0	0	0	15,420
D	Perimeter untreated	Untreated	28,744	0	2,600	0	2,000	24,144	Untreated area	N/A	28744	0	0	4600

**TOTAL** 172,550 0 74,035 0 56,260 42,255 28744 0 0 4600 125695

**TOTAL IMPERVIOUS AREA** 130,295 sf 2.991 acres

**TOTAL DEVELOPED AREA** 172,550 sf 3.96 acres

**PERCENT DEVELOPED AREA TREATED** 83 % > 80% MINIMUM REQUIRED TREATMENT  
**PERCENT IMPV AREA TREATED** 96 % > 95% MINIMUM REQUIRED TREATMENT



**CIVIL CONSULTANTS**  
 Engineers  
 Planners  
 Surveyors  
 P.O. Box 100  
 South Berwick  
 Maine  
 03908  
 207-384-2550  
 www.civcon.com

NO.	REVISIONS	INT.	DATE
1	ISSUED FOR SUBMISSION TO TOWN		5/6/20

RECORD OWNER:  
 ROUTE 4 SELF STORAGE, LLC  
 ADDRESS:  
 14630 WOODBURY AVENUE #362  
 PORTSMOUTH, NH 03801

**SITE EXPANSION**  
**ROUTE 4 SELF STORAGE, LLC**  
**PORTLAND STREET - TAX MAP R-72, LOT 9-2 AND**  
**PORTION OF LOT 9, BERWICK, YORK COUNTY, MAINE**  
 PREPARED FOR: ROUTE 4 SELF STORAGE, LLC  
 CLIENT ADDRESS: 1465 WOODBURY AVENUE #362, PORTSMOUTH, NH 03801

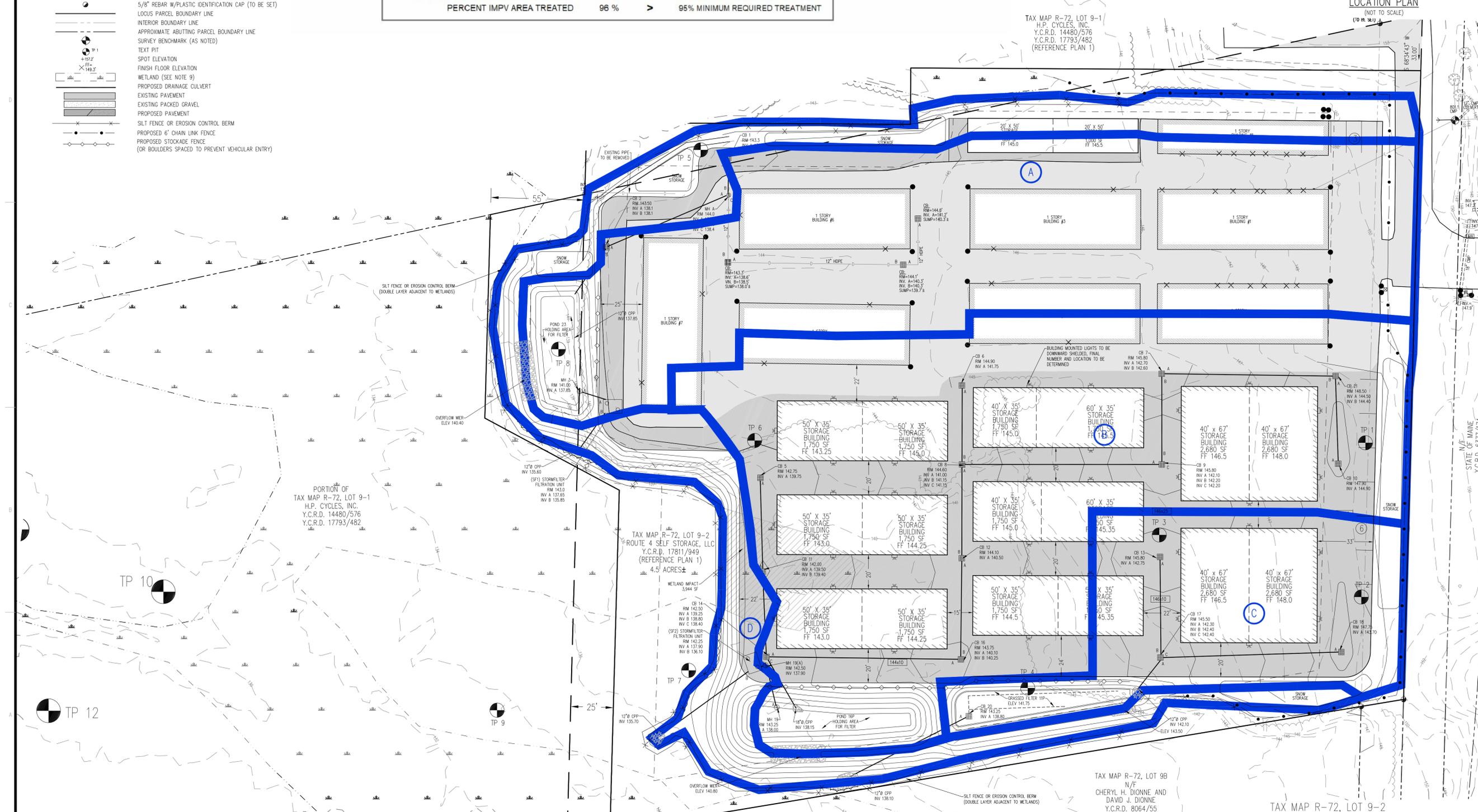
DATE: 5/4/2020  
 DRAWN BY: NJR  
 CHECKED BY:  
 APPROVED BY:

**STORMWATER TREATMENT PLAN**

PROJECT NO: 1618702

**D3**

SHEET: 3 OF 3



TAX MAP R-72, LOT 9B  
 N/F  
 CHERYL H. DIONNE AND  
 DAVID J. DIONNE  
 Y.C.R.D. 8064/55

TAX MAP R-72, LOT 9-2



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**PLANNING BOARD MEMORANDUM  
TOWN OF BERWICK, PLANNING DEPARTMENT**

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**TO:** BERWICK PLANNING BOARD  
**FROM:** JAMES BELLISSIMO, PLANNER  
**SUBJECT:** WRIGHT HOMESTEADING  
**DATE:** MAY 14, 2020  
**CC:**

Tom Wright has requested a Conditional Use to operate a 36 horsepower Sawmill. Because the sawmill it is over 30 horsepower a Conditionl Use is required (Ordinance below).

**Sawmill:** A mill or machine for sawing logs into lumber, may be located in a structure and used as a commercial operation, or is greater than 30 horsepower.

Poultry and Green House is also listed on the application. These uses are Agriculture and require a permit throug the Code Enforcement Officer.

The maximum decibal level is set at 60 dB which is measured 4 feet above ground at the property line. There are exceptions for maintenance activities from 7a-10p and the noise can be exceeded for any purpose for a 15 minute period per day. The lumber for the sawmill is mosly from the abutting Wright family lot which is cut for maintenance of the woodlot.

Mr. Wright has requested a waiver to include a plumbing permit and Low Impact Design statement.

**Planning Board Discussion Points & Decisions**

1. Determine application completeness
  - a. If complete, determine if a Site Walk/Public Hearing is necessary.



# Town of Berwick

Where Tradition Meets Tomorrow

11 Sullivan Street, Berwick, Maine 03901

Phone: (207) 698-1101 Fax: (207) 698-5181

Website: [www.berwickmaine.org](http://www.berwickmaine.org)

## APPLICATION: CONDITIONAL USE PERMIT/SITE PLAN REVIEW

<b>PLANNING BOARD REVIEW FEES</b> (All Fees are Non-Refundable)		<input checked="" type="checkbox"/> \$500.00 <b>Conditional Use Review</b> <input type="checkbox"/> \$1,000.00* <b>Site Plan Review</b> <i>* Site Plan Review requiring more than 10 hours of staff time will be billed at \$80/hour.</i>			<b>Site Plan Review<sup>†</sup> Please check any that apply:</b> <input type="checkbox"/> Construction of 3,000 or more ft <sup>2</sup> <input type="checkbox"/> Installment of 5,000 ft <sup>2</sup> or more impervious surfaces. <input type="checkbox"/> Mobile Home Park <input type="checkbox"/> Extraction Industry <input type="checkbox"/> Multi-Family <input type="checkbox"/> None of the above		
<b>PROPERTY DESCRIPTION</b>	Parcel ID	Map: R37	Lot: 15A	Zoning District: 2	Total Land Area: 2 acres	Part of a Subdivision (Y/N)	N
	Physical Address	96 CEMETERY RD. Berwick, ME				Aquifer Protection (Y/N)	N
						Shoreland Protection (Y/N)	N
						Resource Protection (Y/N)	N
						Special Flood Hazard Area (Y/N)	N
<b>APPLICANT OR REPRESENTATIVE INFORMATION</b>	Name	Thomas J. Wright			Mailing Address	96 Cemetery Rd. Berwick, ME 03901	
	Phone	207-698-5326			Email Address	57twright@comcast.net	
<b>PROJECT DESCRIPTION</b>	<u>Existing Use:</u> Single Family Home						
	<u>Project Name:</u> Homesteading						
	<u>Proposed Use:</u> Green House, Poultry, Sawmill						
	<u>Waiver(s) Requested:</u>						

**Planning Board meetings are the 1<sup>st</sup> and 3<sup>rd</sup> Thursday of each month at 6:30pm.**

This application must be submitted at least **two weeks** in advance of the Planning Board meeting. Ongoing applications have a **one-week** submittal requirement. Please e-mail a complete application to [planning@berwickmaine.org](mailto:planning@berwickmaine.org), submit the application fee and eight copies to the Planning Department with the requirements outlined on the other side of this application.

A Public Hearing and a site walk when necessary will be scheduled when the Planning Board finds the application complete. All expenses must be paid before a Certificate of Occupancy will be granted through the Code Enforcement Office. A performance guarantee may be required by the Planning Board.

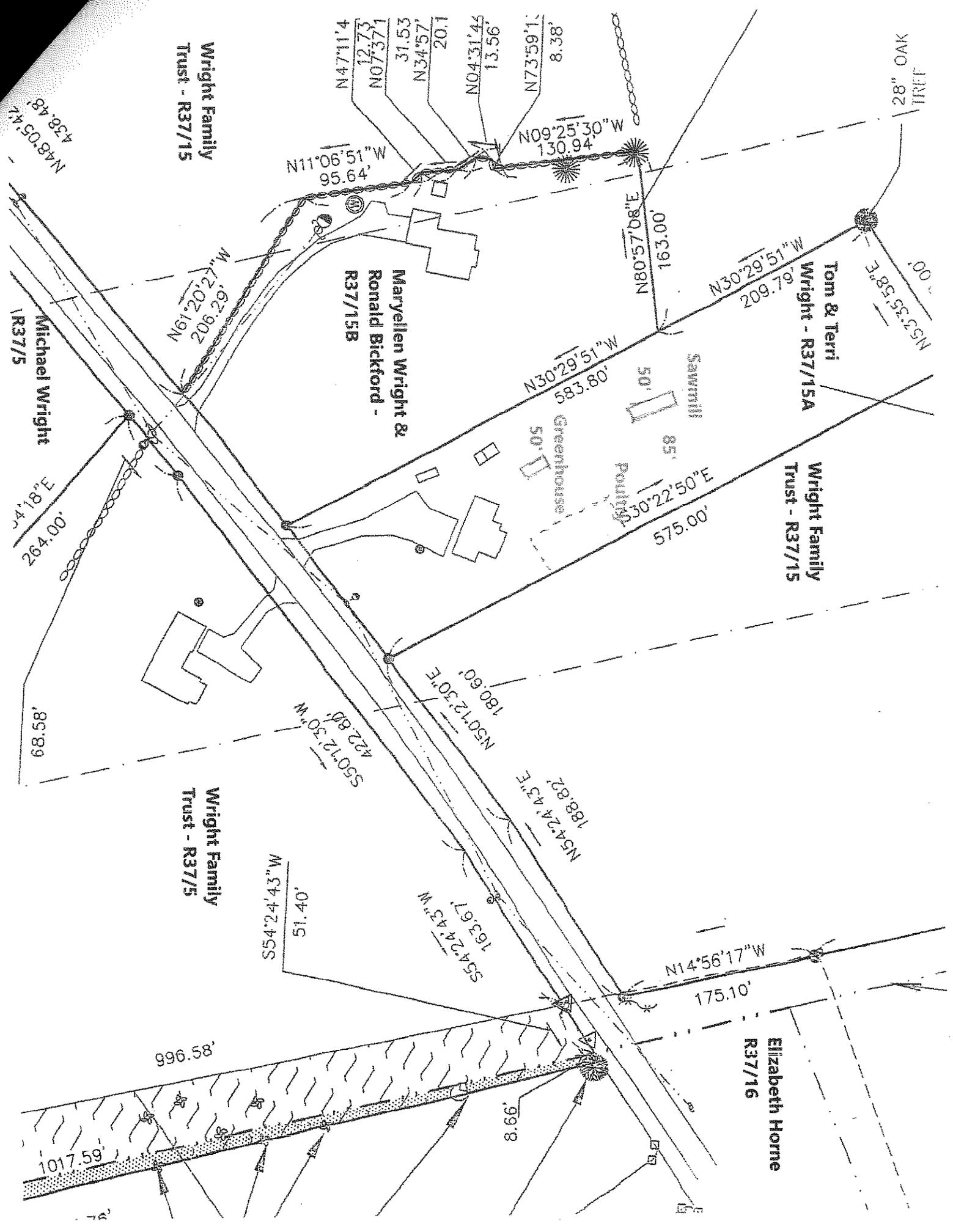
**CERTIFICATION.** To the best of my knowledge, all information submitted with this application is true and correct.

*Thomas J. Wright*  
 \_\_\_\_\_  
 Signature of Applicant

4/10/2020  
 \_\_\_\_\_  
 Date

Submitted	Waiver Request	Conditional Use Application Requirements
<input checked="" type="checkbox"/>	N/A	List of Abutters located within 200 feet including tax map and lot number. Information can be found in the Assessing Database or GIS maps at <a href="http://www.berwickmaine.org">www.berwickmaine.org</a>
<input checked="" type="checkbox"/>	N/A	Right, Title and Interest to the Property: Copy of Deed, Purchase & Sale Agreement or subdivision approval.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Site Plan to include requirements in Section 9.8(F) of the Land Use Ordinance. Including: <input type="checkbox"/> Proposed buildings with room layout <input type="checkbox"/> Approximate boundaries of the parcel <input type="checkbox"/> Parking Plan <input type="checkbox"/> Traffic circulation with proposed exists and entrances <input type="checkbox"/> Lighting <input type="checkbox"/> Landscaping.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Written narrative describing proposed use including: <input type="checkbox"/> Total floor area <input type="checkbox"/> Ground coverage <input type="checkbox"/> Location of each proposed building <input type="checkbox"/> Setbacks to property line <input type="checkbox"/> Business Hours of Operation <input type="checkbox"/> Number of Employees <input type="checkbox"/> Materials to be Used Refuse/Garbage Disposal <input type="checkbox"/> Noise <input type="checkbox"/> Existing restrictions or easements on the site
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> External Plumbing Permit or permission letter to enter municipal water and sewer lines. OR on-site soils investigation report by licensed site evaluator.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Written statement documenting proposed Low Impact Design (LID) for the site to reduce storm water volumes. LID includes, but is not limited to: green roofs, rain gardens, tree wells, infiltration basins, and permeable pavement.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Materials to satisfy Section of 9.8.I.1 a through s as they apply to Conditional Use Review.

Submitted	Waiver Request	Site Plan Approval Requirements <sup>†</sup>
		These requirements shall be met when the application meets any of the criterion of Section 9.8.E in the Land Use Ordinance.
<input type="checkbox"/>	<input type="checkbox"/>	Map or maps prepared at a scale of not less than 1" to 40'
<input type="checkbox"/>	<input type="checkbox"/>	Perimeter survey of parcel certified by registered land surveyor
<input type="checkbox"/>	<input type="checkbox"/>	Which meets all requirements of 9.8. criterion 2.b.i
<input type="checkbox"/>	<input type="checkbox"/>	Topography indicating contours at intervals of not more than two feet in elevation unless otherwise specified by the Planning Board.
<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed locations and dimensions of any utility lines, sewer lines, water lines, easements, drainage ways, public or private ways
<input type="checkbox"/>	<input type="checkbox"/>	Location, ground floor area and elevations of buildings and other structures on site
<input type="checkbox"/>	<input type="checkbox"/>	On-site soils investigation which meets all requirements of 9.8.2.b.iv
<input type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of on-site pedestrian and vehicular access ways, parking areas, loading and unloading facilities, design of ingress and egress of vehicles to and from the site on to public streets and curb and sidewalk lines
<input type="checkbox"/>	<input type="checkbox"/>	Landscape plan showing location, type and approximate size of plantings and location and dimensions of all fencing and screening
<input type="checkbox"/>	<input type="checkbox"/>	A written statement that meets all 11 requirements of 9.8.F.2.c
<input type="checkbox"/>	<input type="checkbox"/>	Materials to satisfy Section of 9.8.I.1 a through s as they apply to Site Plan Review.



Wright Family Trust - R37/15

N47°11'4  
12.73  
N07°37'1  
31.53  
N34°57'  
20.1  
N04°31'44  
13.56'  
N73°59'1  
8.38'

Maryellen Wright & Ronald Bickford - R37/15B

Tom & Terri Wright - R37/15A

Wright Family Trust - R37/15

Wright Family Trust - R37/5

Elizabeth Horne R37/16

28" OAK TREE

N48°05'42  
438.48'

Michael Wright R37/5

264.00'  
3°41'48"

68.89'

996.58'

1017.59'

N11°06'51"W  
95.64'

N09°25'30"W  
130.94'

N80°57'08"E  
163.00'

N30°29'51"W  
209.79'

N30°29'51"W  
583.80'

S30°22'50"E  
575.00'

S50°12'30"W  
422.86'

N50°12'30"E  
180.60'

N54°24'43"E  
188.82'

S54°24'43"W  
51.40'

S54°24'43"W  
163.67'

N14°56'17"W  
175.10'

8.99'

Sawmill

Greenhouse

Pool

Thomas & Terri Wright  
96 Cemetery Rd.  
Berwick, ME 03901

April 13, 2020

Conditional Use Permit for Homesteading

Greenhouse: Install hoop style greenhouse approximately 12' wide and 32' long.

Poultry: Plans to raise turkeys and/or chickens for meat and egg production. Construct a fenced yard approximately 30' X 100' with a poultry house of sufficient size, depending on number of birds.

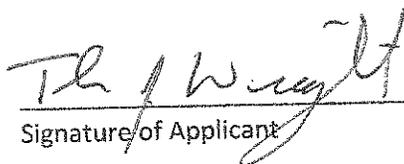
Sawmill: Operate a sawmill for personal/family use. Mill's footprint is approximately 10' X 30' and is powered by a 36 HP engine. Mill will not be housed in a building.

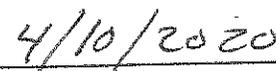
Abutters List:

Maryellen Wright & Ronald Bickford / R37/15B  
98 Cemetery Rd.  
Berwick, ME 03901

Wright Family Trust / R37/15 R37/5  
96 Cemetery Rd.  
Berwick, ME 03901

Michael Wright / R37/5A  
103 Cemetery Rd.  
Berwick, ME 03901

  
\_\_\_\_\_  
Signature of Applicant

  
\_\_\_\_\_  
Date

Thomas & Terri Wright  
96 Cemetery Rd.  
Berwick, ME 03901

April 16, 2020

### Conditional Use Permit for Homesteading

#### Addendum:

We have lived in our present location since 1986 when we bought 2 acres from my parents. All our abutters are immediate family members or Family Trust Lands. The Trust Lands consist of approximately 100 acres of wood lot and 20 acres of farmland and open space.

The three activities we are proposing are things we have done in the past but discontinued.

We had raised chickens and turkeys for meat and eggs, starting in 1988 – approximately. We stopped raising meat birds around 1997 when I was working in Massachusetts but continued an egg flock until 2002. We want to start raising midget white turkeys for meat and egg production. As the name implies, they are smaller than normal turkeys but larger than chickens. We would start with a flock of 15-20 birds, raised through the summer and into the fall. We would select the best 4 or 5 birds to winter over and process remaining into meat. The yard would be approximately 30' X 100' with a pen and roost sufficient for the number of birds.

We had 2 greenhouses, approximately 9' X 16' each until around 2001, when I gave them to a brother. We want to build a hoop style greenhouse approximately 12' X 32' to assist in our gardening.

I have operated a small bandsaw mill powered by an 8 hp motor for the past 20 years or so. It has been used for personal use as well as for family members. Most of the lumber is from the family land that has been selectively cut to maintain the health of the woodlot. I decided to upgrade to a more efficient mill about 4 years ago. When I inquired about restrictions, I was told there was a 40 hp cut off before a permit was needed. I bought a 36 hp mill and operated it for 2 years.

When our family had our woodlot selectively harvested, I dismantled the mill and put it into storage. When preparing to set mill up again, I found the limit on the horsepower is 30, not 40 hp. The mill is designed to be portable and can be moved from site to site. I plan on operating from one area on my lot in a permanent location. The mill footprint is approximately 10' X 30' and will not be housed in a permanent building. I plan on operating the mill the same as I have done for the past 20 years.

TUTBLANK REGISTERED U. S. PAT. OFFICE  
TUTTLE LAW PRINT, PUBLISHERS, AUSTIN, VT. 05701

# Warranty Deed

From

THOMAS C. WRIGHT and  
MARY L. WRIGHT

To

THOMAS J. WRIGHT and  
TERRI L. WRIGHT

Dated \_\_\_\_\_ 19\_\_\_\_

State of Maine

YORK ss. Registry of Deeds.

Received \_\_\_\_\_ 19\_\_\_\_

at H, M, M, and  
recorded in Book \_\_\_\_\_, Page \_\_\_\_\_

Attest: \_\_\_\_\_  
Register.

1077000000

55077

BK 4098 PG 206

THOMAS C. WRIGHT and MARY L. WRIGHT  
of Cemetery Road, Berwick, Maine 03901  
(being ~~un~~married), for consideration paid,  
grant to THOMAS J. WRIGHT and TERRI L. WRIGHT

of 351A Cranberry Meadow Road, Berwick, Maine 03901  
with ~~Warranty Covenants~~, as joint tenants  
the land in Berwick, Town of Berwick, York County, State of Maine.

A certain lot or parcel of land lying on the southerly side of Cemetery Road, Berwick, Maine and being further described as follows:

BEGINNING at a point on the southeasterly side of Cemetery Road 375 feet easterly from the northeasterly corner of land of Kenneth Horn; thence running southeasterly by other land of the grantors 575 feet more or less to a point; thence turning and running northeasterly by other land of the grantors 150 feet more or less to a point in a stone wall; thence turning and running northwesterly by other land of the grantors 575 feet more or less to a point on the southeasterly sideline of Cemetery Road; thence turning and running southwesterly by and along the sideline of Cemetery Road 150 feet more or less to a point and the place of beginning. Containing approximately 2 acres.

Meaning and intending to convey and hereby conveying a portion only of the premise conveyed to the grantors by deed of Thomas C. Wright dated January 16, 1973 and recorded in the York County Registry of Deeds in Book 1979, Page 330.

NO R.E. TRANSFER TAX PAID

RECEIVED YORK.SS.  
1986 DEC -5 PH 4:12  
RECORDED REGISTRY OF DEEDS

ATTEST: *[Signature]*  
REGISTER

~~joint as grantors and releases all rights by descent and all other rights~~

Witness our hands ~~and seal~~ this 18<sup>TH</sup> day of NOVEMBER 19 86

*Lucille M. Hall*

THOMAS C. WRIGHT

*[Signature]*

*Mary L. Wright*

**Town of Berwick Planning Board**  
**Conditional Use Findings of Fact**  
Applicant: Thomas Wright  
60 Route 236 (Tax Map R-057, Lot 55)  
May 21, 2020

**Findings of Fact**

1. Conformance with the Comprehensive Plan: *All proposed conditional uses and site plans shall conform to the Comprehensive Plan of the Town of Berwick and with the provisions of all pertinent federal, state and local codes, ordinances, and regulations.*

**The application conforms to the Comprehensive Plan because it is permitting an appropriate commercial use within the R2 zoning district.**

2. Preserve and enhance the landscape: *The landscape shall be preserved in its natural state insofar as practicable by minimizing tree removal, disturbance of soil, retaining existing vegetation during construction. After construction is complete, landscape shall be designed and planted that will define, soften or screen the appearance of off street parking areas from the right of way and abutting properties and/or structures in order to enhance the physical design of the building(s) or site, and to minimize the encroachment of the proposed use on the neighboring land uses.*

**The landscape will not be disturbed by the Saw Mill Operation.**

*Relationship of the proposed buildings to the environment: Proposed structures shall be related harmoniously to the terrain and to the existing buildings in the vicinity which have a visual relationship to the proposed buildings. Special attention shall be paid to the bulk, location and height of the building(s) and such natural features such as slope, soil type and drainage ways.*

**There are no proposed buildings in the application.**

3. Vehicular access: *The proposed site layout shall provide for safe access and egress from public and private roads by providing adequate location, numbers and controls of access points including site distances, turning lanes, traffic signalization when required by existing and projected traffic flow on municipal road systems.*

**The use will not change the vehicular access.**

4. Parking and circulation: *The layout and design of all vehicular and pedestrian circulation, including walkways, interior drives, and parking areas shall provide for safe general interior circulation, separation of pedestrian and vehicular traffic, service traffic, loading areas, and arrangements and use of parking areas.*

**A sawmill will not change parking nor circulation.**

5. Surface water drainage: *Adequate provision shall be made for surface drainage so that removal of surface waters will not adversely affect neighboring properties, downstream conditions, soil erosion or the public storm drainage system. Whenever possible, on-site absorption of unpolluted run-off waters shall be utilized to permit groundwater recharge on the site.*

**Surface drainage will not be adversely impacted by the use.**

6. Existing utilities: *The development shall not impose an unreasonable burden on sewers, sanitary and storm drains, water lines or other public utilities.*

**The sawmill will not impose an unreasonable burden on existing utilities.**

7. Advertising features: *The size, location, design, lighting and materials of all exterior signs and outdoor advertising structures or features shall not detract from the design of proposed buildings and structures and the surrounding properties.*

**No signage is proposed as part of the application.**

8. Special features of the development: *Exposed storage areas, exposed machinery installation, service areas, truck loading areas, utility buildings and similar structures shall have sufficient setback and screening to provide an audio/visual buffer to minimize their adverse impact on other land uses within the development area and surrounding properties.*

**Not Applicable**

9. Exterior lighting: *All exterior lighting shall be designed to minimize adverse impact on neighboring properties.*

**No lighting has been proposed.**

10. Emergency vehicle access: *Provisions shall be made for providing and maintaining convenient and safe emergency vehicle access to all buildings and structures.*

**Not Applicable**

11. Municipal services: *The development will not have an unreasonable adverse impact on the municipal services including municipal road systems, fire department, police department, solid waste program, sewer treatment plant, school, open spaces, recreational programs and facilities, and other municipal service and facilities.*

**No adverse impacts on municipal services have been identified.**

12. Will not result in water or air pollution: *In making this determination, it shall at a minimum consider: The elevation of the land above sea level and its relationship to the floodplains, the nature of soils and subsoils and their ability to adequately support waste disposal; the slope of the land and its attest on effluents; and the applicable state and local health and water resources regulations.*

**No water or air impacts have been identified.**

13. Has sufficient water available for the reasonable foreseeable needs of the development (*this is usually considered to be ten years approximately*).

**This standard has been met.**

Will not cause an unreasonable burden on an existing water supply, *if a municipal or community water supply is to be utilized.*

**This standard is not applicable, the water supply comes from a well.**

14. Will not cause soil erosion or reduction in the capacity of the land to hold water *so that dangerous or unhealthy conditions may result.*

**Not Applicable**

15. Will provide for adequate sewerage waste disposal.

**Not Applicable**

16. Will not have adverse effects on the scenic or natural beauty of the area, aesthetics, or rare and irreplaceable natural areas.

**The sawmill will not impose an adverse effect on the scenic qualities of the area.**

17. The developer has adequate financial and technical capacity to meet the above stated standards.

**Not Applicable**

18. Whenever situated in whole or in part within 250 feet of any pond, lake or river, will not adversely affect the quality of such body of water or affect the shoreline of such body of water, based on the standards outlined in Section 9.8.I.1.j.

**This standard does not apply because the site is not located within 250 feet any type of water body.**

19. Low Impact Design: *Each applicant is required to submit a statement to the Planning Board documenting proposed Low Impact Design (LID) for the site, which will help to reduce storm water volumes and help to enhance storm water quality. LID includes, but is not limited to, green roofs, rain gardens, tree wells, infiltration basins and permeable pavement.*

**The applicant requested a waiver.**

I, David Andreesen, certify that I am Chair of the Planning Board of the Town of Berwick, Maine, a Planning Board established pursuant to Maine State Statute (30-A § 4401) and I further certify that this decision was approved by the Planning Board at its meeting of May 21, 2020

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Findings of Fact Approved on May 21, 2020

Conditions of Approval

Application Approved 

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David Andreesen, Planning Board Chair

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Date