



PLANNING BOARD MEETING AGENDA

Thursday August 6, 2020

Burgess Meeting Room, Berwick Town Hall

6:30 p.m.

Call to Order

Pledge of Allegiance

Introduction of Board Members

Public Comment

Approval of Minutes

- June 18, 2020
- July 16, 2020

Public Hearing

- Land Use Ordinance Amendments
- Conditional Use Application. Adult Use Marijuana Storefront and Adult Use Cultivation Facility. 468 Portland Street (R71-7) RC/I Zone. Herbal Pathways

Old Business

- Conditional Use Application. Adult Use Marijuana Storefront and Adult Use Cultivation Facility. 468 Portland Street (R71-7) RC/I Zone. Herbal Pathways

New Business

- Site Plan Amendment (lot line adjustment on Site Plan). Solar Array. 193 Route 236 (R66-6A). R3 Zone. LRB Leasing & Berwick Solar, LLC.
- Site Plan Amendment & Expansion. Medical Marijuana Storefront & Medical Marijuana Production Facility. 357 Portland Street (R70 12-1 & 12-2). Paper Birch Property.
- Site Plan Review. Adult Use Cultivation Facility. Off Portland Street (R72-17) RC/I Zone. 3G's Realty.

Land Use Ordinance Amendments

- Village Overlay District Amendments

Public Comment

Informational Items

Adjournment



PLANNING BOARD MEETING MINUTES

Thursday June 18, 2020

Burgess Meeting Room, Berwick Town Hall

6:30 p.m.

Call to Order

Pledge of Allegiance

Introduction of Board Members

Dave Andreesen; Sean Winston; Frank Underwood;

Regular Member Absent: Michael LaRue; Nichole Fecteau

Alternate Member Absent: David Ross-Lyons

Staff Members Present: James Bellissimo, Planner; Jenifer McCabe, Code Enforcement Officer

Public Comment

Approval of Minutes

1. May 21, 2020

Motion: Frank Underwood motioned to approve the minutes as amended

Second: Sean Winston

VOTED – 3-0 in favor

Motion Passed

In favor: Dave Andreesen; Sean Winston; Frank Underwood

Opposed: None

Abstain: None

June 4, 2020

No action taken.

Presentation

- Kristie Rabasca – MS4 Permit and Land Use Ordinance Amendments

Kristie Rabasca introduced herself as a consultant helping the Town to meet Municipal Separate Storm Sewer System (MS4) permit requirements. Ms. Rabasca said the Town has been subject to the permit since 2003. Frank Underwood asked if Rochester, Somersworth and Rollinsford New Hampshire are MS4 communities. Ms. Rabasca said yes and there are 29 other towns and cities regulated by the Stormwater Permit.

Ms. Rabasca said the permit was supposed to be renewed in 2018 and there have been 11 different drafts, with the most recent draft becoming active in 2021. Ordinance changes have been part of all iterations and will be part of the final permit and will need to be complete by June 2022.

Change 1: Require the use of erosion control at construction sites.

Amendment Required: The Land Use Ordinance needs to be consistent with DEP Appendix C and that can be done by embedding the appendix. This amendment will need to also go into the Subdivision Regulations – Section 11.5 and Land Use Ordinance (several references) 7.17. One reference “in accordance with Maine DEP.. (2003)” will need to be updated to the more current iteration. Mineral Industry, Campground are additional references to the 2003 document.

An Ordinance Committee composed of SMPDC, Integrated Environmental and Cumberland County Soil and Water Conservation District is considering either creating a stand-alone ordinance, regional standards, or a check list if the Town wanted to embed the language in the ordinance.

Change 2: Post Construction

Amendment Required: If an issue is found, the owner is required to address deficiencies within 60 days. Unless there is a big capital project requirement. At that point the CEO and owner will establish an “expeditious schedule.” Currently in the Town’s Land Use Ordinance there is no defined timeline.

Change 3: Low Impact Development

Ms. Rabasca said the language is unclear in the permit, but there may be additional requirements to add Low Impact Development standards to the ordinance.

New Business

- Site Plan Review. Multifamily (adding 1 unit to make 3 total). 55 School Street (U3-1) C/I Zone and Village Overlay District. Andrea Burns.

Andrea Burns proposed to add one dwelling unit to an existing two-family dwelling. Because it is a third unit, it requires Site Plan approval. Because the two units have been in existence for longer than two years, it does not require Subdivision approval.

Ms. Burns has requested to move an existing Antique shop from a house barn into the garage, and use the house barn as the apartment.

Ms. Burns submitted a sketch of a drainage improvement on site to meet the Low Impact Design requirement of the application. Ms. Burns requested a waiver of a boundary survey (9.8.F.b.i-iv) and letters to Town Departments. Mr. Bellissimo said the rest of the Site Plan Review ordinance he felt were not applicable because they dealt with new construction.

Andrea Burns of 55 School Street introduced herself as the applicant. Ms. Burns said the building has been in existence since 1970. Ms. Burns said there has been existing drainage issues seasonally and to address that they would install a drainage ditch and perforated piping, which outlets to the backyard. Ms. Burns said the Fire Department visited the site.

Motion: Dave Andreesen motioned to waive 9.8.F.b.i-iv.

Second: Frank Underwood

**VOTED – 3-0 in favor
Motion Passed**

In favor: Dave Andreesen; Sean Winston; Frank Underwood

Opposed: None

Abstain: None

Motion: Sean Winston motioned to waive letter requirements to Town Departments

Second: Frank Underwood

**VOTED – 3-0 in favor
Motion Passed**

In favor: Dave Andreesen; Sean Winston; Frank Underwood

Opposed: None

Abstain: None

The Board discussed the Low Impact Design statement and that the applicant did not need a waiver because of the recent drainage submittal.

Motion: Frank Underwood motioned to find the application complete

Second: Sean Winston

**VOTED – 3-0 in favor
Motion Passed**

In favor: Dave Andreesen; Sean Winston; Frank Underwood

Opposed: None

Abstain: None

The Board determined a site walk was not necessary.
A Public Hearing was set for July 16th at 6:30PM.

- Conditional Use Application. Adult Use Marijuana Storefront and Adult Use Cultivation Facility. 468 Portland Street (R71-7) RC/I Zone. Herbal Pathways

James Bellissimo read his memo to the Board. The applicant completed a traffic study and the recommendation of the study, due to the 55 mph speeds, that a site line of 550' be unobstructed in each direction.

Brian Neilson of Attar Engineering introduced himself as the representative of Herbal Pathways. Mr. Neilson said the Low Impact Design proposed is a bioretention cell.

Frank Underwood asked to see the existing septic and if the septic will be able to handle the new proposed use. Mr. Underwood asked if the processed water should be captured as a standard for all cultivation facilities moving forward.

Ken Crowley of Herbal Pathways said his process using an aeroponic system where the water can be recycled. Mr. Crowley said the Maine State Conditional License has been received and they may not be fully process under August or September.

Motion: Frank Underwood motioned to find the application complete.

Second: Dave Andreesen

**VOTED – 3-0 in favor
Motion Passed**

In favor: Dave Andreesen; Sean Winston; Frank Underwood

Opposed: None

Abstain: None

Site walk (rescheduled to August 6) and Public Hearing set for August 6th at 6:30PM.

- ~~Land Use Ordinance Amendments~~

Public Hearing

Public Comment

Informational Items

Adjournment

Motion: Sean Winston

Second: Frank Underwood

VOTED – 3-0 in favor

Motion Passed

In favor: Dave Andreesen; Sean Winston; Frank Underwood

Opposed: None

Abstain: None

Minutes prepared by Berwick Planner James Bellissimo, for consideration at the next Berwick Planning Board meeting.

Signed as Approved by the Board:



PLANNING BOARD MEETING MINUTES

Thursday July 16, 2020

Burgess Meeting Room, Berwick Town Hall & Zoom Virtual

6:30 p.m.

Call to Order

Pledge of Allegiance

Introduction of Board Members

Dave Andreesen; Frank Underwood; Michael LaRue

Regular Member Absent: Sean Winston; Nichole Fecteau

Alternate Member Present: David Ross-Lyons (voting member)

Staff Members Present: James Bellissimo, Director of Community Development & Planning; Jenifer McCabe, Code Enforcement Officer

Public Comment

Approval of Minutes

- June 4, 2020

Motion: Michael LaRue motioned to approve the minutes.

Second: David Ross-Lyons

VOTED – 3-0-1 in favor

Motion Passed

In favor: Dave Andreesen; Michael LaRue; David Ross-Lyons

Opposed: None

Abstain: Frank Underwood

June 18, 2020

The action was continued to the next meeting.

Public Hearing

- Site Plan Review. Adult Use Marijuana Cultivation Facility. 11 Pond Road (R70-16) RC/I Zone. CAF Realty of Maine.

The Public Hearing was continued to August 20th.

- Subdivision Amendment. Final Plan. Lot Line Adjustment & Expansion of Site Plan. 565 Portland Street (R72 9-2) RC/I Zone. Route 4 Self Storage, LLC.
- Site Plan Review. Multifamily (adding 1 unit to make 3 total). 55 School Street (U3-1) C/I Zone and Village Overlay District. Andrea Burns.

Old Business

- Site Plan Review. Adult Use Marijuana Cultivation Facility. 11 Pond Road (R70-16) RC/I Zone. CAF Realty of Maine.

The application was continued to August 20th.

- Subdivision Amendment. Final Plan. Lot Line Adjustment & Expansion of Site Plan. 565 Portland Street (R72 9-2) RC/I Zone. Route 4 Self Storage, LLC

James Bellissimo said there was a site walk earlier in the evening and at the site walk the applicant showed where the buildings and stormwater features will be located. Mr. Bellissimo said the outdoor vehicles currently parked at the front of the property will be relocated to the back of the property.

Motion: Frank Underwood motioned to approve the Findings of Fact for the lot line adjustment and approval of the expansion of site plan.

Second: Michael LaRue

**VOTED – 4-0 in favor
Motion Passed**

In favor: Dave Andreesen; Michael LaRue; David Ross-Lyons; Frank Underwood

Opposed: None

Abstain: None

Motion: Frank Underwood motioned to approve the application for the lot line adjustment and Site Plan amendment.

Second: David Ross-Lyons

**VOTED – 4-0 in favor
Motion Passed**

In favor: Dave Andreesen; Michael LaRue; David Ross-Lyons; Frank Underwood

Opposed: None

Abstain: None

- Site Plan Review. Multifamily (adding 1 unit to make 3 total). 55 School Street (U3-1) C/I Zone and Village Overlay District. Andrea Burns.

Motion: Michael LaRue approved the Findings of Fact.

Second: David Ross-Lyons

**VOTED – 4-0 in favor
Motion Passed**

In favor: Dave Andreesen; Michael LaRue; David Ross-Lyons; Frank Underwood

Opposed: None

Abstain: None

Motion: David Ross-Lyons motioned to approve the application.

Second: Michael LaRue

**VOTED – 4-0 in favor
Motion Passed**

In favor: Dave Andreesen; Michael LaRue; David Ross-Lyons; Frank Underwood

Opposed: None

Abstain: None

New Business

- Land Use Ordinance Amendments

James Bellissimo summarized changes to the Village Overlay District.

Mr. Bellissimo forwarded the following changes:

- Add in “Hybrid” to the name of the Section 6.4 because the section includes traditional zoning which makes it more of a hybrid than a true Form-Based Code.
- Strike “approximately opposite of Eleanor’s Street” to allow flexibility of where the new Main Street intersects with Sullivan Street.
- Remove the mandate that parking on Main Street be parallel only. Mr. Bellissimo said some angle parking could help alleviate some need for off-street parking. Frank Underwood asked if the Board should consider a standard. Mr. Bellissimo said he does not see a reason to prescribe any further standard than what already exists in the ordinance.
- Remove the minimum angle of the Main Street intersection and requirement for crosswalks to be raised. Mr. Bellissimo said it may be advantageous to

have all of Main Street all one level and it makes sense to allow Great Falls Construction and Sebago Techics to have the flexibility in making that decision. Mr. Bellissimo said even if the ordinance is amended, the Board still can impose a condition.

- 6.4.2.6 is amended to simplify and clarify the 4:1 ratio.
- Mr. Bellissimo said the most significant change is to allow a larger setback for buildings with access off of School Street and Main Street to accommodate a drive through in that particular area. This amendment is required according to Mr. Bellissimo because this area is where a potential anchor tenant could be, and they require a drive through. Mr. Bellissimo said even without this amendment, Great Falls Construction could still fit a drive through, it just would not be in an optimal position on the site.
- Frank Underwood asked about a traffic study. Mr. Bellissimo said a study will be part of the development and review.
- Strike lot occupation which includes maximum lot coverage and lot width due to the fact that it appeared the section was written with the thought in mind the site would be subdivided into smaller lots.
- Strike the maximum building footprint citing Great Falls Construction's recent project: Station Square which would be larger than what was permissible and Mr. Bellissimo said he sees no reason to restrict such a development in Berwick.
- Allow parking in the front of buildings but keep the requirement for screening.
- Frank Underwood asked about the Blue Side Building. Mr. Bellissimo said the property is set to be transferred back to Fund of Jupiter.
- Strike the parking maximum limit.
- Mr. Underwood asked if the plan will lead to a net positive in green space. Mr. Bellissimo said there will be a net positive in open space, which includes hardscapes and sidewalks. The site is required to meet 25% open space.

Great Falls Construction's next community update meeting is August 13th at 10am.

Mr. Bellissimo shared several additional Land Use Ordinance amendments.

- Increasing the horsepower for Personal Sawmill from 30 to 50 horsepower.
- Adding RC/I to location requirements requiring frontage.
- Exempting Marijuana Testing Facilities from the permit cap.
- Medical Marijuana Home Growing regulation.
 - Michael LaRue said he would have an issue with the Medical Marijuana regulations. Mr. LaRue said the State allows six patients or 500 square feet of canopy. Dave Andreesen said he would not like to see the Town overregulate on this issue and that maybe the focus should be on odor control or other nuisance issues.

- Frank Underwood said he agrees with not overregulating it but having some mechanism for tracking.

Public Hearing set on the Land Use Ordinance amendments August 6th.

Public Comment

Informational Items

Frank Underwood encouraged the Board to read the Town Report dedication to Paul Boisvert.

Mr. Underwood said the Board should have a discussion on the Town's Comprehensive Plan.

Mr. Bellissimo said the new Comprehensive Plan committee is aiming for November 2021 for the adoption of the new plan.

Adjournment

Motion: David Ross-Lyons motioned to adjourn.

Second: Michael LaRue

VOTED – 4-0 in favor

Motion Passed

In favor: Dave Andreesen; Michael LaRue; Frank Underwood; David Ross-Lyons

Opposed: None

Abstain: None

Minutes prepared by Berwick Planner James Bellissimo, for consideration at the next Berwick Planning Board meeting.

Signed as Approved by the Board:

Town of Berwick Planning Board
Findings of Fact
Applicant: Herbal Pathways
468 Portland Street (Tax Map R-71, Lot 7)
August 6, 2020

Herbal Pathways proposed to repurpose a 6,720 ft² manufacturing facility into an Adult Use Cultivation Facility and Storefront. The site will be serviced by an existing parking area, septic, and well. All waste will be locked in a dumpster located toward the back of the property and will be screened.

Herbal Pathways will have a maximum of seven employees on site during the largest shift and will employ fourteen in total. The cultivation facility is proposed to operate from 8am-5pm and the storefront from 10am-8pm.

A detailed security and odor control plans have been submitted. An interior floor plan has also been submitted which meets the requirements of Section 8.25. A letter from the Berwick Fire Chief was received, and his recommendation to add a Knox Box was added to the plan. The applicant submitted a bioretention cell for the Low Impact Design requirement.

A traffic study was completed and the following are the study's recommendations:

SAFETY REVIEW

The most important factor for a facility with this level of trip generation is safety. The MaineDOT map viewer was checked for any nearby high crash locations on Portland Street and none were identified. Additionally, the MaineDOT map viewer (as well as Google Earth) shows the posted speed limit to be 55 mph in this area. Based on this, Sewall recommends a minimum of 550' of sight distance be provided from the drive. It should be confirmed that the available driveway sight distance meets this criteria and that there is no landscaping or signage located, or planned to be located, in the driveway sight triangle that could potentially block sight distance in the future.

At the June 18 Planning Board meeting, the Berwick Planning Board asked about potential wastewater. The applicant said he uses an aeroponic system that results in zero wastewater. The Board voted the application complete by vote of 3-0.

At the August 6th Planning Board meeting _____.

Findings of Fact

1. Conformance with the Comprehensive Plan: *All proposed conditional uses and site plans shall conform to the Comprehensive Plan of the Town of Berwick and with the provisions of all pertinent federal, state and local codes, ordinances, and regulations.*

The application conforms to the Comprehensive Plan because it is a permitted commercial use within the RC/I Zone and it meets all pertinent federal, state, local codes, ordinances and regulations.

2. Preserve and enhance the landscape: *The landscape shall be preserved in its natural state insofar as practicable by minimizing tree removal, disturbance of soil, retaining existing vegetation during construction. After construction is complete, landscape shall be designed and planted that will define, soften or screen the appearance of off street parking areas from the right of way and abutting properties and/or structures in order to enhance the physical design of the building(s) or site, and to minimize the encroachment of the proposed use on the neighboring land uses.*

No trees are proposed to be taken down. The existing parking area is proposed to be softened by 4 Bonfire Super Maples and 8 Wintercreeper shrubs.

3. Relationship of the proposed buildings to the environment: *Proposed structures shall be related harmoniously to the terrain and to the existing buildings in the vicinity which have a visual relationship to the proposed buildings. Special attention shall be paid to the bulk, location and height of the building(s) and such natural features such as slope, soil type and drainage ways.*

This standard has been met. No new buildings are proposed to be constructed.

4. Vehicular access: *The proposed site layout shall provide for safe access and egress from public and private roads by providing adequate location, numbers and controls of access points including site distances, turning lanes, traffic signalization when required by existing and projected traffic flow on municipal road systems.*

A traffic study has been submitted with the application and the recommendation is to maintain a minimum of undisturbed 550' of sight distance.

5. Parking and circulation: *The layout and design of all vehicular and pedestrian circulation, including walkways, interior drives, and parking areas shall provide for safe general interior circulation, separation of pedestrian and vehicular traffic, service traffic, loading areas, and arrangements and use of parking areas.*

The parking area is remaining the same from the previous use.

6. Surface water drainage: *Adequate provision shall be made for surface drainage so that removal of surface waters will not adversely affect neighboring properties, downstream conditions, soil erosion or the public storm drainage system. Whenever possible, on-site absorption of unpolluted run-off waters shall be utilized to permit groundwater recharge on the site.*

No additional impervious surface is being proposed. A bioretention cell is proposed to be constructed behind the existing building.

7. Existing utilities: *The development shall not impose an unreasonable burden on sewers, sanitary and storm drains, water lines or other public utilities.*

This standard has been met. No unreasonable burdens have been identified.

8. Advertising features: *The size, location, design, lighting and materials of all exterior signs and outdoor advertising structures or features shall not detract from the design of proposed buildings and structures and the surrounding properties.*

No signage has been proposed with this application. Any proposed signage shall meet the sign ordinance standards found in section 7.12 of the zoning ordinance.

9. Special features of the development: *Exposed storage areas, exposed machinery installation, service areas, truck loading areas, utility buildings and similar structures shall have sufficient setback and screening to provide an audio/visual buffer to minimize their adverse impact on other land uses within the development area and surrounding properties.*

Not Applicable

10. Exterior lighting: *All exterior lighting shall be designed to minimize adverse impact on neighboring properties.*

A LED flood light is proposed for behind the building.

11. Emergency vehicle access: *Provisions shall be made for providing and maintaining convenient and safe emergency vehicle access to all buildings and structures.*

The access remains the same from the previous use. A Knox Box will be on site for Fire Department access in case of an emergency.

12. Municipal services: *The development will not have an unreasonable adverse impact on the municipal services including municipal road systems, fire department, police department, solid waste program, sewer treatment plant, school, open spaces, recreational programs and facilities, and other municipal service and facilities.*

No unreasonable adverse impacts on municipal services have been identified.

13. Will not result in water or air pollution: *In making this determination, it shall at a minimum consider: The elevation of the land above sea level and its relationship to the floodplains, the nature of soils and subsoils and their ability to adequately support waste disposal; the slope of the land and its attest on effluents; and the applicable state and local health and water resources regulations.*

The proposed cultivation system using an aeroponic technique and will not produce wastewater. This standard has been met.

14. Has sufficient water available for the reasonable foreseeable needs of the development (*this is usually considered to be ten years approximately*).

This standard has been met.

15. Will not cause an unreasonable burden on an existing water supply, *if a municipal or community water supply is to be utilized.*

The site is serviced by an on-site well. This standard has been met.

16. Will not cause soil erosion or reduction in the capacity of the land to hold water *so that dangerous or unhealthy conditions may result.*

No conditions on the site will be altered. A bioretention cell will increase the capacity of the property to hold water.

17. Will provide for adequate sewerage waste disposal.

The existing septic system will be used and it was set up for 20 employees at the time. This standard has been met.

18. Will not have adverse effects on the scenic or natural beauty of the area, aesthetics, or rare and irreplaceable natural areas.

This standard has been met.

19. The developer has adequate financial and technical capacity to meet the above stated standards.

The above standards will not add a significant financial or technical burden. The applicant will have adequate capacity to meet the above standards.

20. Whenever situated in whole or in part within 250 feet of any pond, lake or river, will not adversely affect the quality of such body of water or affect the shoreline of such body of water, based on the standards outlined in Section 9.8.I.1.j.

This standard does not apply because the site is not located within 250 feet any type of water body.

21. Low Impact Design: *Each applicant is required to submit a statement to the Planning Board documenting proposed Low Impact Design (LID) for the site, which will help to reduce storm water volumes and help to enhance storm water quality. LID includes, but is not limited to, green roofs, rain gardens, tree wells, infiltration basins and permeable pavement.*

A bioretention cell will be constructed behind an existing building to reduce storm water volumes and enhance storm water quality.

I, David Andreesen, certify that I am Chair of the Planning Board of the Town of Berwick, Maine, a Planning Board established pursuant to Maine State Statute (30-A § 4401) and I further certify that this decision was approved by the Planning Board at its meeting of August 6, 2020.

No Waivers

Findings of Fact

Conditions of Approval

Application Approved

David Andreesen, Planning Board Chair

Date



**PLANNING BOARD MEMORANDUM
TOWN OF BERWICK, PLANNING DEPARTMENT**

TO: BERWICK PLANNING BOARD; JENIFER MCCABE
FROM: JAMES BELLISSIMO, PLANNER
SUBJECT: BERWICK SOLAR, LLC – SITE PLAN REVIEW AMEDMENT
DATE: JULY 28, 2020
CC:

Les Bodwell has requested an amendment to a previously approved Site Plan. The approved Site Plan showed the array on two lots: Lot R066-6 and R066-6A.

Lot R-66 6 is now proposed to be merged with lot R-66A (please see plan on next page). A title company has required Mr. Bodwell to get this change approved by the Planning Board before his lease is finalized with Berwick Solar, LLC.



**PLANNING BOARD MEMORANDUM
TOWN OF BERWICK, PLANNING DEPARTMENT**

TO: BERWICK PLANNING BOARD; JENIFER MCCABE
FROM: JAMES BELLISSIMO, PLANNER
SUBJECT: 357 PORTLAND STREET – KIND FARMS – SITE PLAN
AMENDMENT & CONDITIONAL USE APPLICATION
DATE: JULY 29, 2020
CC:

Paul Venuti has requested a Site Plan expansion and a Conditional Use Application for a Marijuana Caregiver Retail Store & An Adult Use Cultivation Facility & Adult Use Manufacturing Facility at 357 Portland Street.

Mr. Venuti has proposed to construct a 20,000 ft² Adult Use Cultivation Facility with a Phase II expansion of 5,200 ft² on lot 12-2. A detailed odor control plan has been submitted for the cultivation facility. There will be a maximum of 20 employees for the cultivation building and the parking area will have 22 spaces. The building will be sprinkled. A new septic system is proposed to the west of the building, a design will be submitted during final site plan review.

On lot 12-1, Mr. Venuti has proposed to construct a 2,140 ft² Marijuana Storefront. The new storefront will match the style of the existing building. 29 parking spaces are provided for the two stores which meets the Land Use Ordinance minimum of 23. A new DOT entrance permit is required. According to Mr. Aleva an expected total of 137 daily trips is expected with 22 during the peak hour.

5,458 ft² of wetland will be impacted and as a result a NRPA Tier 1 Wetlands Permit is required. A Class A Soil Survey Report has been included with the application. The Low Impact Design features on site include: roof dripline filters, a grassed underdrained soil filter and a vegetated forest buffer.

Both Police & Fire Departments have been contacted. The applicant's correspondence with the Fire Department is included in the packet.

The applicant has requested the follow waivers and have included a justification for each:

Land Use Section 7.5 (Landscaping), reads:
7.5. The landscape shall be preserved in its natural state insofar as practical by minimizing tree removal and grade changes in keeping with the general appearance of neighboring developed areas. Landscaping shall be designed to soften, screen, or enhance the physical design of structures and parking areas to avoid the encroachment of the proposed use on abutting land uses. All parking lots shall be landscaped along the property boundaries with shrubbery, trees and other landscape materials.

Land Use Section 7.8 (Off-Street Parking and Loading), item 5 reads:
7.8.5. Off-street parking and loading spaces for non-residential uses, where not enclosed within a building, shall be effectively screened from view by continuous landscaped area not less than six feet in height, unless waived by the Planning Board for expressed reasons, along exterior lot lines adjacent to residential properties and all public roads, except that driveways shall be kept open to provide visibility for entering and leaving. No off-street parking and loading shall be permitted within the front setback or any setback adjoining a public street, except as specifically authorized in this ordinance.

Proposed Justification:
It is our intention to keep the existing trees in the rear of the property to be used as natural screening. The tree line will be cut back to the southern property line and reduced from the front of the property to provide security through visibility around the building area. The remaining trees will stay outside of the developed areas.

The proposed parking stalls are parallel to Portland Street to direct headlight glare away from the roadway. The stalls are more than 80 ft from the property line and 140 ft from the edge of Portland Street.

The intent of this waiver is to provide better visibility for potential security reasons on the property.

Next Steps

1. Deliberate on the waivers
 - a. Landscaping (9.8.2.I.1.b)
 - b. Off-Street Parking 7.8.5
2. Determine application completeness
 - a. Set Public Hearing
 - i. Suggested Date: August 20th



**CIVIL
CONSULTANTS**

P. O. Box 100
South Berwick
Maine
03908
207-384-2550
FAX 384-2112

EMAIL
DELIVERED

Transmittal

TOWN OF BERWICK
PLANNING DEPARTMENT

Date: May 29, 2020
Job No. 1728702
Attention James Bellissimo

We are sending you attached prints other
 shop drawings copy of letter specifications under separate
 plans work sheets change order cover (via)

<i>copies</i>	<i>date</i>	<i>pages</i>	<i>description</i>
1	05/2020	-	SITE PLAN REVIEW SUBMISSION FOR PAPER BIRCH PROPERTY, LLC - 357 & 359 PORTLAND STREET, MAP R70 LOT 12-1 & 12-2
1	05/2020	-	STORMWATER MANAGEMENT PLAN
	-	-	

These are transmitted as checked below:

for approval for your use as requested for review & comment
 submit copies for distribution for your information prints returned after loan to us

Remarks: Please find a site plan submission for the proposed Paper Birch Property, LLC development at 357 & 359 Portland Street, Berwick, ME. Please schedule this project for the next available planning board for discussion. Let me know how many copies are required. I am available to meet and discuss at your convenience.

Copies: Client, Project file

Signed:

Geoff



Town of Berwick

Where Tradition Meets Tomorrow

11 Sullivan Street, Berwick, Maine 03901

Phone: (207) 698-1101 Fax: (207) 698-5181

Website: www.berwickmaine.org

APPLICATION: CONDITIONAL USE PERMIT/SITE PLAN REVIEW

PLANNING BOARD REVIEW FEES <i>(All Fees are Non-Refundable)</i>		<input type="checkbox"/> \$500.00 Conditional Use Review <input checked="" type="checkbox"/> \$1,000.00* Site Plan Review <i>* Site Plan Review requiring more than 10 hours of staff time will be billed at \$80/hour.</i>		Site Plan Review† Please check any that apply: <input checked="" type="checkbox"/> Construction of 3,000 or more ft ² <input checked="" type="checkbox"/> Installment of 5,000 ft ² or more impervious surfaces. <input type="checkbox"/> Mobile Home Park <input type="checkbox"/> Extraction Industry <input type="checkbox"/> Multi-Family <input type="checkbox"/> None of the above			
PROPERTY DESCRIPTION	Parcel ID	Map: R-70	Lot: 12-1 12-2	Zoning District: RC/I	Total Land Area: 4.942 AC.	Part of a Subdivision (Y/N)	N
	Physical Address	357 & 359 PORTLAND STREET BERWICK, MAINE 03901				Aquifer Protection (Y/N)	N
						Shoreland Protection (Y/N)	N
						Resource Protection (Y/N)	N
						Special Flood Hazard Area (Y/N)	N
APPLICANT OR REPRESENTATIVE INFORMATION	Name	GEOFFREY R. ALEVA, P.E.		Mailing Address	293 MAIN STREET SOUTH BERWICK, ME 03908		
	Phone	(207) 384-2550		Email Address	GEOFF@CIVCON.COM		
PROJECT DESCRIPTION	Existing Use: LOT 12-1 CONTAINS THE PREVIOUSLY APPROVED 2,240 SF MEDICAL MARIJUANA RETAIL STORE WITH ASSOCIATED PARKING. LOT 12-2 IS CURRENTLY VACANT AND CONSISTS OF MOSTLY TREES AND WETLANDS, WITH SOME GRASS ADJACENT TO ROUTE 4.						
	Project Name: PAPER BIRCH PROPERTY, LLC SITE PLAN - 357 & 359 PORTLAND STREET						
	Proposed Use: LOT 12-1 WILL HAVE AN ADDITIONAL 2,140 SF ADULT USE MARIJUANA STOREFRONT. LOT 12-2 WILL HAVE A NEW 20,000 SF MEDICAL MARIJUANA PRODUCTION FACILITY WITH ASSOCIATED PARKING. PHASE 2 OF THE PROJECT WILL CREATE A 5,200 SF BUILDING ADDITIONAL TO LOT 12-2.						
	Waiver(s) Requested: ORDINANCE SECTIONS 7.5 & 7.8.5						

Planning Board meetings are the 1st and 3rd Thursday of each month at 6:30pm.

This application must be submitted at least **two weeks** in advance of the Planning Board meeting. On-going applications have a **one-week** submittal requirement. Please e-mail a complete application to planning@berwickmaine.org, submit the application fee and eight copies to the Planning Department with the requirements outlined on the other side of this application.

A Public Hearing and a site walk when necessary will be scheduled when the Planning Board finds the application complete. All expenses must be paid before a Certificate of Occupancy will be granted through the Code Enforcement Office. A performance guarantee may be required by the Planning Board.

CERTIFICATION. To the best of my knowledge, all information submitted with this application is true and correct.



 Signature of Applicant

5/29/20

 Date

Submitted	Waiver Request	Conditional Use Application Requirements
<input checked="" type="checkbox"/>	N/A	List of Abutters located within 200 feet including tax map and lot number. Information can be found in the Assessing Database or GIS maps at www.berwickmaine.org
<input checked="" type="checkbox"/>	N/A	Right, Title and Interest to the Property: Copy of Deed, Purchase & Sale Agreement or subdivision approval.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Site Plan to include requirements in Section 9.8(F) of the Land Use Ordinance. Including: <input checked="" type="checkbox"/> Proposed buildings with room layout <input checked="" type="checkbox"/> Approximate boundaries of the parcel <input checked="" type="checkbox"/> Parking Plan <input checked="" type="checkbox"/> Traffic circulation with proposed exists and entrances <input checked="" type="checkbox"/> Lighting <input checked="" type="checkbox"/> Landscaping.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Written narrative describing proposed use including: <input checked="" type="checkbox"/> Total floor area <input checked="" type="checkbox"/> Ground coverage <input checked="" type="checkbox"/> Location of each proposed building <input checked="" type="checkbox"/> Setbacks to property line <input checked="" type="checkbox"/> Business Hours of Operation <input checked="" type="checkbox"/> Number of Employees <input checked="" type="checkbox"/> Materials to be Used Refuse/Garbage Disposal <input checked="" type="checkbox"/> Noise <input checked="" type="checkbox"/> Existing restrictions or easements on the site
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> External Plumbing Permit or permission letter to enter municipal water and sewer lines. OR on-site soils investigation report by licensed site evaluator.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Written statement documenting proposed Low Impact Design (LID) for the site to reduce storm water volumes. LID includes, but is not limited to: green roofs, rain gardens, tree wells, infiltration basins, and permeable pavement.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Materials to satisfy Section of 9.8.I.1 a through s as they apply to Conditional Use Review.

Submitted	Waiver Request	Site Plan Approval Requirements [†] These requirements shall be met when the application meets any of the criterion of Section 9.8.E in the Land Use Ordinance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Map or maps prepared at a scale of not less than 1" to 40'
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Perimeter survey of parcel certified by registered land surveyor Which meets all requirements of 9.8. criterion 2.b.i
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Topography indicating contours at intervals of not more than two feet in elevation unless otherwise specified by the Planning Board.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Existing and proposed locations and dimensions of any utility lines, sewer lines, water lines, easements, drainage ways, public or private ways
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location, ground floor area and elevations of buildings and other structures on site
<input checked="" type="checkbox"/>	<input type="checkbox"/>	On-site soils investigation which meets all requirements of 9.8.2.b.iv
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of on-site pedestrian and vehicular access ways, parking areas, loading and unloading facilities, design of ingress and egress of vehicles to and from the site on to public streets and curb and sidewalk lines
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscape plan showing location, type and approximate size of plantings and location and dimensions of all fencing and screening
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A written statement that meets all 11 requirements of 9.8.F.2.c
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Materials to satisfy Section of 9.8.I.1 a through s as they apply to Site Plan Review.

From: [Paul Venuti](#)
To: Daniel.Cajazzo@civcon.com; [Geoff Aleva](#)
Subject: Authorization
Date: Tuesday, December 19, 2017 10:13:13 AM

To Whom It May Concern,

I Paul Venuti authorize Civil Consultants to act as my agent for all town and state applications.

Thank You,

Paul Venuti
3 Apgar Lane
York, ME 03909
415-515-3500



Paul Venuti
C/O Opco LLC dba Kind Farms Reserve
357 Portland Street
Berwick, ME 03901

James Bellissimo
Berwick Town Planning
11 Sullivan Street
Berwick, ME 03901

10 May 2020

Dear James,

This letter is in reference to the proposed cultivation facility at 359 Portland Street. We are using proceeds from the existing storefront at 357 Portland Street to construct the proposed building at 359.

Thank You,

Paul Venuti

From: Paul Venuti <paulvenuti@gmail.com>
Sent: Wednesday, May 20, 2020 2:35 PM
To: Geoff Aleva
Subject: Fwd: 357 Portland Street Berwick

Geoff,

Below is the email thread that I had with both Lee Jay and James about the 1000-foot perimeter (and Lee Jay's approval). This is in reference to your conversation with James this morning. Sorry the thread is not chronological.

Between this and the paperwork that I submitted to you earlier do you feel I need to gather anything additional besides maybe the letter from the lawyer?

- Paul

Begin forwarded message:

From: James Bellissimo <jbellino@berwickmaine.org>
Subject: RE: 357 Portland Street Berwick
Date: July 1, 2019 at 10:40:31 AM EDT
To: Lee Jay Feldman <ljfeldman@smpdc.org>, 'Paper Birch' <paperbirchproperty@gmail.com>

Thanks for the clarification Lee Jay!

From: Lee Jay Feldman <ljfeldman@smpdc.org>
Sent: Friday, June 28, 2019 7:37 AM
To: 'Paper Birch' <paperbirchproperty@gmail.com>
Cc: James Bellissimo <jbellino@berwickmaine.org>
Subject: RE: 357 Portland Street Berwick

Paul,

I concur that this is in regards to other facilities Not your own. So some other entity cannot locate within 1000 feet of YOUR operation

Lee Jay

Lee Jay Feldman
Director of Planning
Saco Island, 110 Main Street
Suite 1400
Saco, ME 04072
Tel.(207) 571-7065

SMPDC is subject to statutes relating to public records.

E-mail sent or received by employees are subject to these laws.

Senders and receivers of SMPDC e-mail should presume that messages are subject to release.



From: Paper Birch [<mailto:paperbirchproperty@gmail.com>]
Sent: Thursday, June 27, 2019 7:33 PM
To: Lee Jay Feldman <ljfeldman@smpdc.org>
Subject: Re: 357 Portland Street Berwick

Hi Lee Jay,

In reading over section 8.25.3 there's something a little ambiguous about the language and I'm having an issue ensuring that it says what I think it does.

8.25.3 - It states that a Medical Marijuana Production Facilities and Dispensaries cannot be within 1,000 feet of:

- Other Marijuana Production Facilities – as measured from the nearest portion of the exiting or pending center or store's building to the nearest portion of the proposed business's building, via straight line measurement.

Just so I can be perfectly clear, this means that someone can't put anything up within 1000 feet of my store, but that I could still put up my own production facility even if it was within 1000 feet of my own store. In other words someone else can't, but I can?

Apologize for asking again. I know this 1000 foot perimeter is what the town used in lieu of restricting the number of facilities. It just reads funny and I really need to be sure.

Thank you so much,

- Paul

On Jun 25, 2019, at 7:55 AM, Lee Jay Feldman <ljfeldman@smpdc.org> wrote:

Good Morning Paul,

From what I can tell you are in the RC/I zone. In the RC/I zone Medical Marijuana Production Facilities are a Conditional Use. You would need to come back before the Planning Board for approvals. There is nothing that I see at the local level that would not allow that use on the same property as the Store Front unless the state prohibits it. Understand that at this time the use is Medical only There are no Adult use rules in place at this time. You would also have to

make sure you can meet all of the Performance Standards found in 8.25 of the zoning ordinance.

I hope this answers your question.

Lee Jay

Lee Jay Feldman
Director of Planning
Saco Island, 110 Main Street
Suite 1400
Saco, ME 04072
Tel.(207) 571-7065

SMPDC is subject to statutes relating to public records.

E-mail sent or received by employees are subject to these laws.

Senders and receivers of SMPDC e-mail should presume that messages are subject to release.

<image001.jpg>

From: Paper Birch [<mailto:paperbirchproperty@gmail.com>]

Sent: Monday, June 24, 2019 4:19 PM

To: Lee Jay Feldman <ljfeldman@smpdc.org>

Subject: 357 Portland Street Berwick

Hi Lee Jay,

I just had a nice meeting with James B. (he's been so helpful to me for the past couple years), and we were discussing a scenario that I'd like to run by you to assure that we're within Land Use Allowances.

If I purchased the lot next to me (Map R-70 lot 12-2), and combine them, and wanted to put a production facility, am I able to under the current land use ordinances? I spoke with James awhile back and we discussed building a cultivation facility next to the retail store. Ultimately everyone involved thought we should stick with just the storefront so we axed the plans.

I *may* have an opportunity to purchase the land next to me, but would only do so if I was able to combine the land (paper birch would own both), and put the production facility on the new lot (12-2). Production could include a testing facility, but its something that we'd have to speak with investors before deciding upon.

I know that there is precedent within the town: Tricann has a dispensary and production facility (kitchen), and Dan S. on school street has five (?) warehouses on his property, so I *think* we could be okay but really wanted to check with the experts which led me to James, and ultimately to you.

Thanks so much Lee Jay,

- Paul Venuti

357 & 359 Portland Street – Paper Birch Property, LLC

SITE PLAN REVIEW APPLICATION

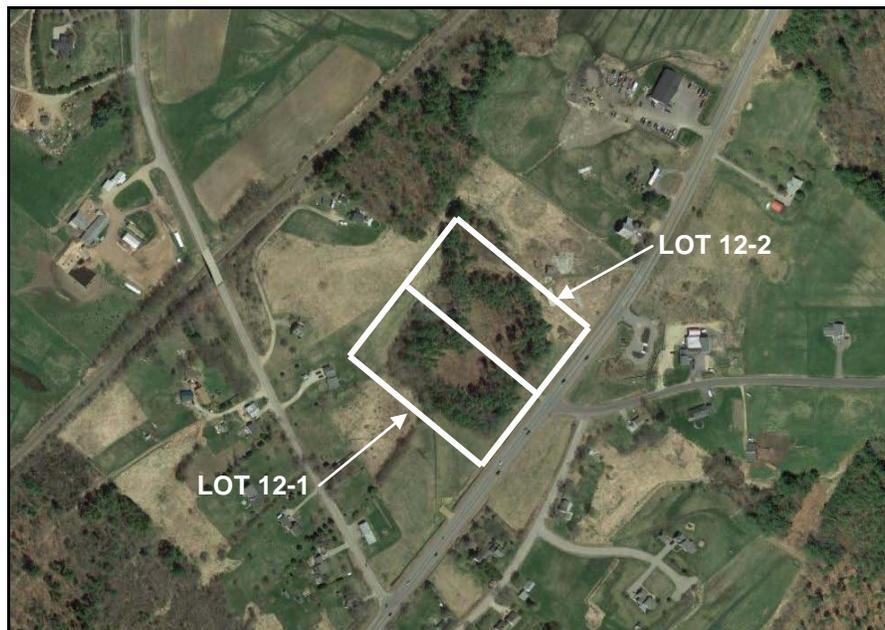
PROJECT NARRATIVE

The intent of this project is to construct a new 20,000 SF medical marijuana production facility constructed on the parcel located at 359 Portland Street in Berwick, ME as part of a two phase development. Phase two will include the construction of a 5,200 SF addition, making the total building footprint 25,200 SF. A new 2,140 SF adult use marijuana storefront will also be constructed on the existing developed parcel located at 357 Portland Street.

The parcel located at 357 Portland Street is a 2.531 acre lot known as Map R-70, Lot 12-1 on the Town of Berwick Tax Map system. The parcel at 259 Portland Street is a 2.411 acre lot is known as Map R-70 Lot 12-2. Both lots are situated in the Rural Commercial/Industrial District (RC/I) zone. The parcels are owned by the same entity Paper Birch Property, LLC. The new buildings will meet the 50 foot front setbacks and the 25 foot side and rear setbacks.

Lot 12-1 contains an existing 2,240 SF medical marijuana storefront with associated parking and drainage facilities. There is an existing shared access driveway that straddles the property line between the lots. Lot 12-2 is currently undeveloped woodlands with wetlands at the front and rear of the property.

There will be 2,569 SF of new building area on Lot 12-1. After phase 2 of development, there will be 37,222 SF of impervious area on Lot 12-2 which includes the 25,200 SF proposed building and 12,022 SF of onsite parking and access from Portland Street. The total disturbance created as a result of this development is approximately 123,158 SF. This qualifies the project for a full Site Plan Review per the Town of Berwick Land Use Ordinance due to the construction of a building greater than 3,000 SF and the installment of more than 5,000 SF of impervious surface.



Pre-development Aerial Image of Site 2018



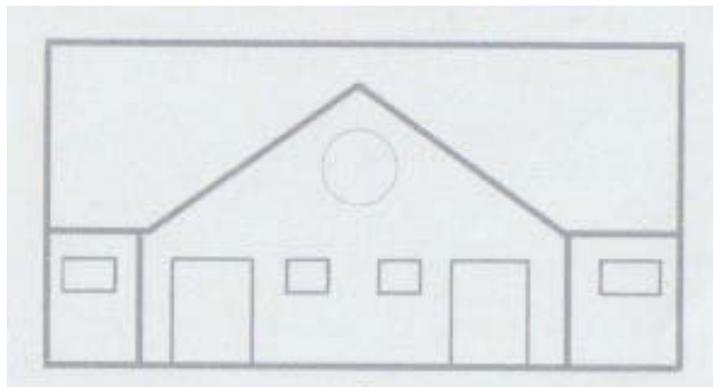
Proposed Building:

Lot 12-1:

As the Town of Berwick does not allow for a medical and adult use marijuana storefront in one structure, the proposed 2,140 SF adult use storefront has been located 25 feet to the west of the existing medical retail building. The new building will match the style of the existing building, as seen in the images below. The building will have 1,000 SF accessible to the public. There will be no noise or odor as a result of the development on Lot 12-1.



Lot 12-1 - Existing Building Front Elevation



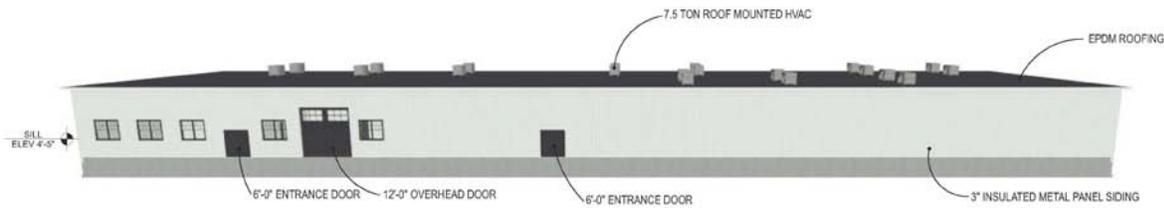
Lot 12-1 - Proposed Building Front Elevation

Per section 7.8.C.3.i of the Berwick Land Use Ordinance, retail uses require one parking space for every 150 SF of floor space. Industrial uses must provide one parking space per employee on the maximum working shift. With 5 employees and 1,000 SF of public space, the new building will require an additional 12 parking spaces. The existing medical storefront required 11 parking spaces, for a total of 23 spaces required. The existing development contains 29 parking spaces, which exceeds the Town requirements. The new building will be connected to the existing septic system.

Lot 12-2:

Phase 1 of the project consists of the construction of a 20,000 SF medical marijuana production facility. The building will be a pre-engineered building shown in the image below. Phase 2 consists of the construction of a 5,200 SF building addition. The floor layout has been included in this submission. The building will be one story in height. There will be no public access to the building. It is assumed that there will be a maximum of 20 employees. A commercial kitchen will be included in the building. Garbage will be disposed of within the building. All lights will be down lit and shielded to reduce light directed towards abutters. There will be no noise created as a result of this development. Odors produced by the

production facility have been addressed in the odor control plan included in this submission. After discussion with the fire chief, the building will be protected by an automatic sprinkler system.



Lot 12-2 - Proposed Building Front Elevation

Per section 7.8.C.3.i of the Berwick Land Use Ordinance, industrial uses require one parking space for every employee on the maximum working shift. As there will be a maximum of 20 employees, the site is designed to provide a minimum of 20 parking spaces. The proposed site layout for Lot 12-2 includes 22 parking spaces, which exceeds the Town requirements.

The construction of the proposed building will require both a new private well and a new private septic system. The septic system will be designed by Civil Consultants. The design will be submitted during final site plan review. The proposed septic location is shown to the west of the proposed building.

The site had previously approved a DOT entrance permit for shared commercial and residential use (#26694). Since the use of the residential property (Lot 12-2) is being altered, a new entrance permit will be obtained from the DOT. This permit will be provided to the town once approved by the DOT.

Per section 7.17 of the Berwick Land Use Ordinance, developments that create one or more acres of disturbed area shall meet the storm water management provisions specified in Chapters 500 and 502 of the Maine Department of Environmental Protection Stormwater Management rules.

Paper Birch Property, LLC owns both the locus parcels (Lot 12-1 & Lot 12-2) with the shared access driveway. The combined impervious area of the two developments must be taken into account when determining which MDEP requirements be met. The total impervious area will exceed one acre but remain less than three acres. The basic and general standards in Chapter 500 Section 4(A) thru 4(C) must be met.

MDEP Section 4(B) includes the erosion and sedimentation control practices, inspection and maintenance, and housekeeping standards. Section 4(C) requires the development provide pollutant removal or treatment. This will be performed using Low Impact Design (LID) measures including roof dripline filters, a grassed underdrained soil filter and a vegetated forest buffer. The design meets both the treatment and runoff standards per MDEP. In addition to the stormwater design narrative, an Erosion and Sedimentation Control Plan and a Stormwater Inspection and Maintenance Plan have been provided as part of this submission.

Onsite wetlands will need to be impacted as part of the site development. The total wetland impact between the two developments will be approximately 5,458 SF. This exceeds the 4,300 SF allowable wetland impact and will require a permit through the MDEP. Since the total wetland impact is less than 14,999 SF, a Natural Resources Protection Act (NRPA) Tier 1 Wetlands Permit will be required. An application for the permit will be submitted shortly to the MDEP. A copy of the approval will be submitted to the Town upon DEP approval.



CIVIL CONSULTANTS MEMORANDUM

TO: Town of Berwick Planning Office

FROM: Geoff Aleva, PE – Vice President

**SUBJECT: Project Summary – Town of Berwick Ordinance
Section 9.8.F**

DATE: 05/29/2020

PROJECT: 17-287.02 – PAPER BIRCH PROPERTY, LLC

As part of the site plan review process, the following memorandum has been prepared to address Section 9.8.F of the Berwick Land Use Ordinance.

REQUIREMENTS	APPLICANT'S RESPONSE
9.8.F.1 Application for Conditional Use Review. Plans for conditional use review need not be drawn to scale, but should be legible and adequate for presentation purposes. The conditional use review application shall include as a minimum:	
a. Name and address of the applicant or his/her authorized agent and name of proposed development in which the applicant has title or interest; a deed for the property	<i>Applicant: Paper Birch Property, LLC P.O. Box 426 Portland, ME 04112 Agent: Geoff Aleva, PE CIVIL CONSULTANTS PO Box 100 South Berwick, ME 03908</i>
b. Municipal tax maps and lot numbers and names and addresses of abutting landowners	<i>Tax Map R-70, Lot 12-1 & Lot 12-2</i>
c. Total floor area, ground coverage and location of each proposed building; setbacks to property lines;	<i>Lot 12-1: Proposed 2,140 sf recreational storefront, total new impervious area of 2,569 sf. Minimum 27.7 ft setback to side property line. Lot 12-2: Phase 1 consists of the construction of a 20,000 sf production building with 22 parking spaces. Phase 2 will construct a 5,200 sf building addition, for a total new impervious area of 37,222 sf. Minimum 36.7 ft setback to side property line The total disturbance will be 123,158 sf. See site plan for additional info.</i>
d. Approximate boundaries of the parcel	<i>See boundary plan provided.</i>
e. If on-site sewage disposal is proposed, then an on-site soils investigation report by a licensed site evaluator shall be provided	<i>Test pits gathered by Joseph Noel on January 21, 2013. See provided test pit info. Additional test pits are to be completed.</i>
f. If public water and/or sewer are to be	<i>Private water and septic</i>



	used, a statement from the water and/or sewer district or utility as to the availability of public water and/or sewer;	
g.	Existing and proposed entrances/exits from the property	<i>Lot 12-2 is undeveloped except for shared driveway with Lot 12-1. An application for a new entrance permit will be provided to the Town once approval has been received from the MDOT. See proposed conditions provided on plan L1.</i>
h.	A parking plan shall also be provided	<i>Provided on Sheet L1. Also see project narrative for more detailed description.</i>
i.	Any existing restrictions or easements on the site	<i>See deeds provided for driveway easement information.</i>
j.	A brief written narrative shall be provided on what type of business is proposed, hours of operation, number of employees, materials being used, waste disposal, etc	<i>See attached.</i>
9.8.F.2.b A map or maps prepared at a scale of not less than one inch to 40 feet and shall include:		<i>Provided on plans.</i>
i.	Perimeter survey of the parcel made and certified by a registered land surveyor depicting reference points, showing true north point, graphic scale, corners of the parcel and date of survey and total acreage. The perimeter survey shall be recorded at the York County Registry of Deeds after Planning Board approval but prior to the issuance of the land use permit. Areas within 200 feet of the proposed development site shall be included	<i>Provided on boundary plan entitled "Subdivision Plan, Owners of Record James III & Dianne C. Dean, Portland Street – Route 4, Berwick, Maine" dated January 24, 2013, prepared by Trittech Engineering Corporation.</i>
ii.	Existing and proposed locations and dimensions of any utility lines, sewer lines, water lines, easements, drainage ways, public or private rights of way	<i>Existing Lot 12-2 is undeveloped with the exception of a portion of the shared driveway access. See plan sheet L1 for existing and proposed utility locations.</i>
iii.	Location, ground floor area and elevations of buildings and other structures on the site	<i>Location and area provided on plan Sheet L1. See buildings plans provided as part of this submission for floor plans and elevations. Pre-engineered building plans for Lot 12-2 have been prepared by Global Pre-Engineered Solutions LLC, dated 05/04/20.</i>
iv.	If the site is not to be served by a public sewer line, then an on-site soils investigation report by a Department of Human Services licensed site evaluator shall be provided. The report shall contain the types of soil, location of test	<i>New private septic proposed. On site soils gathered by Joseph Noel on January 21, 2013. See provided test pit info. The existing septic system will be expanded for Lot 12-1. A new septic system will be designed for Lot 12-2.</i>



	pits, and proposed location and design of the best practical subsurface disposal system for the site, all of which must meet the standards set forth in the Maine State Plumbing Code	
v.	Location and dimensions of on-site pedestrian and vehicular access ways, parking areas, loading and unloading facilities, design of ingress and egress of vehicles to and from the site on to public streets and curb and sidewalk lines	<i>Provided on plan sheet L1.</i>
vi.	Landscape plan showing location, type and approximate size of plantings and location and dimensions of all fencing and screening	<i>See waiver request.</i>
vii.	Topography indicating contours at intervals of not more than two feet in elevation unless otherwise specified by the Planning Board	<i>Provided on plans, see sheet L1.</i>
9.8.F.2.c A written statement by the applicant that shall consist of:		
i.	A description of the proposed uses to be located on the site, including quantity and type of building construction if any;	<i>See attached project narrative.</i>
ii.	Total floor area and ground coverage of each proposed building and structure and percentage of lot covered by each building or structure;	<i>Provided on plans and in project narrative. See sheet L1.</i>
iii.	Method of solid waste disposal;	<i>All refuse/trash will be collected inside and removed from site.</i>
iv.	Erosion and sedimentation control plan prepared in accordance with Article 7.15 if required;	<i>Provided on plan sheet L3. Also refer to the Stormwater Management Plan prepared for the DEP and provided to the Town.</i>
v.	Copies of letters to the town manager, selectmen, Planning Board, road commissioner/public works director, fire chief, police chief, etc. notifying them of the proposed development;	<i>See attached.</i>
vi.	Stormwater management plan prepared in accordance with Article 7.17 if required;	<i>Refer to the Stormwater Management Plan prepared for the DEP and provided to the Town.</i>



vii.	Statement of financial capacity which should include the names and sources of the financing parties including banks, government agencies, private corporations, partnerships and limited partnerships and whether these sources of financing are for construction loans or long-term mortgages or both	<i>See provided statement of financial capacity.</i>
viii.	The applicant's evaluation of the availability and suitability of off-site public facilities including sewer, water, and streets	<i>Not applicable.</i>
ix.	A statement from the fire chief as to the availability of fire hydrants and/or fire ponds, or provisions of fire protection services.	<i>See attached letter provided to the Fire Department. Any input that is received will be incorporated into the plan.</i>
x.	If public streets are proposed, a statement from the town engineer that the proposed road or street construction will meet town specifications	<i>Not applicable.</i>
xi.	An estimate of the date when construction will start and when the development will be completed	<i>Site work is expected to begin in the Fall of 2020, with a completion date of Spring 2021 (dependent on permit approvals.)</i>

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CIVIL CONSULTANTS MEMORANDUM

TO: Town of Berwick Planning Office

FROM: Geoff Aleva, PE – Vice President

**SUBJECT: Project Summary – Town of Berwick Ordinance
Section 9.8.I.1**

DATE: 05/29/2020

PROJECT: 17-287.02 – PAPER BIRCH PROPERTY, LLC

As part of the site plan review process, the following memorandum has been prepared to address Section 9.8.I.1 of the Berwick Land Use Ordinance.

REQUIREMENTS	APPLICANT'S RESPONSE
<p>9.8.I.1 Performance Standards for Conditional Use and Site Plan Review The following standards are to be used by the Planning Board in judging applications for site plan review and conditional use applications and shall serve as minimum requirements for approval of the application. The site plan shall be approved, unless in the judgment of the Planning Board the applicant is not able to reasonably meet any of these standards. In all circumstances the burden for proof shall be on the applicant and such burden of proof shall include the production of evidence necessary for the Planning Board to review the application.</p>	
<p>a. Conformance with Comprehensive Plan: All proposed conditional uses and site plans shall conform to the Comprehensive Plan of the Town of Berwick and with the provisions of all pertinent federal, state, and local codes, ordinances, and regulations</p>	<p><i>The proposed use conforms to the Town of Berwick's Comprehensive Plan.</i></p>
<p>b. Preserve and enhance the landscape: The landscape shall be preserved in its natural state insofar as practicable by minimizing tree removal, disturbance of soil, retaining existing vegetation during construction. After construction is complete, landscape shall be designed and planted that will define, soften or screen the appearance of off street parking areas from the right of way and abutting properties and/or structures in order to enhance the physical design of the building(s) or site, and to minimize the encroachment of the proposed use on the neighboring land uses.</p>	<p><i>The development will limit disturbance of existing vegetation where possible. All disturbed areas will be re-vegetated with new grass/landscaping. The project meets ordinance requirements for lot coverage. Supplemental landscaping will be installed to screen parking onsite.</i></p>



<p>c. Relationship of the proposed buildings to the environment: Proposed structures shall be related harmoniously to the terrain and to the existing buildings in the vicinity which have a visual relationship to the proposed buildings. Special attention shall be paid to the bulk, location and height of the building(s) and such natural features such as slope, soil type and drainage ways.</p>	<p><i>Building styles to match previously approved building on Lot 12-1.</i></p>
<p>d. Vehicular access: The proposed site layout shall provide for safe access and egress from public and private roads by providing adequate location, numbers and controls of access points including site distances, turning lanes, traffic signalization when required by existing and projected traffic flow on municipal road systems.</p>	<p><i>Vehicular access shown on plan sheet L1. A shared driveway permit #26694 was previously approved by the Maine DOT for mixed retail and residential use. A new permit has been applied for based on the new commercial use. A copy of the approved entrance permit will be submitted to the Town.</i></p>
<p>e. Parking and circulation: The layout and design of all vehicular and pedestrian circulation, including walkways, interior drives, and parking areas shall provide for safe general interior circulation, separation of pedestrian and vehicular traffic, service traffic, loading areas, and arrangements and use of parking areas.</p>	<p><i>Provided on plans sheet L1.</i></p>
<p>f. Surface water drainage: Adequate provision shall be made for surface drainage so that removal of surface waters will not adversely affect neighboring properties, downstream conditions, soil erosion or the public storm drainage system. Whenever possible, on-site absorption of unpolluted run-off waters shall be utilized to permit groundwater recharge on the site.</p>	<p><i>Stormwater has been designed to meet basic and general standards of MDEP Chapter 500. See drainage report provided as part of this submission.</i></p>
<p>g. Existing utilities: The development shall not impose an unreasonable burden on sewers, sanitary and storm drains, water lines or other public utilities.</p>	<p><i>The proposed development on Lot 12-1 will utilize existing on site utilities through the expansion of the existing septic system. The well will be relocated to account for new stormwater measures. The proposed development on Lot 12-2 will utilize a new private well and septic system.</i></p>
<p>h. Advertising features: The size, location, design, lighting and materials of all exterior signs and outdoor advertising structures or features shall not detract from the design of proposed buildings and structures and the surrounding properties</p>	<p><i>All signs will meet the requirements per section 7.13 (Signs) of the Town of Berwick Land Use Ordinance.</i></p>
<p>i. Special features of the development: Exposed storage areas, exposed machinery installation, service areas, truck loading areas, utility</p>	<p><i>The truck loading areas proposed will be screened from all abutting properties except for Lot 12-1. The loading area will be inside an enclosed fence line between</i></p>



buildings and similar structures shall have sufficient setback and screening to provide an audio/visual buffer to minimize their adverse impact on other land uses within the development area and surrounding properties.	<i>the buildings for security purposes.</i>
j. Exterior lighting: All exterior lighting shall be designed to minimize adverse impact on neighboring properties.	<i>All exterior lights to be down lit and shielded to reduce glare to abutting properties. See Note 13 on sheet L1.</i>
k. Emergency vehicle access: Provisions shall be made for providing and maintaining convenient and safe emergency vehicle access to all buildings and structures.	<i>See attached letter from the Berwick Fire Chief which allows for no fire lane across the back of the property. Another letter has been sent to the Berwick Fire Department to review the proposed site plan. A copy of the letter has been included as part of this submission. Their response is awaited.</i>
l. Municipal services: The development will not have an unreasonable adverse impact on the municipal services including municipal road systems, fire department, police department, solid waste program, sewer treatment plant, school, open spaces, recreational programs and facilities, and other municipal service and facilities	<i>The proposed development on Lot 12-2 will utilize a private well and private septic system. The agriculture use will not impact schools or open spaces. Letters have been sent to the Fire and Police Chiefs, as well as the Director of Public Works. Their comments are awaited and will be incorporated into the site design.</i>
m. Will not result in water or air pollution: In making this determination, it shall at a minimum consider: The elevation of the land above sea level and its relationship to the flood plains, the nature of soils and subsoils and their ability to adequately support waste disposal; the slope of the land and its attest on effluents; and the applicable state and local health and water resources regulations.	<i>Stormwater has been designed to meet basic and general standards of MDEP Chapter 500. See drainage report provided as part of this submission. The agriculture building will capture irrigation water in holding tanks for proper disposal. There will be no air pollution as a result of this development. See attached detailed odor control plan for the grow facility.</i>
n. Has sufficient water available for the reasonable foreseeable needs of the development (this is usually considered to be ten years approximately).	<i>Private well is proposed for the project.</i>
o. Will provide for adequate sewerage waste disposal.	<i>Private septic system to be designed.</i>
p. Will not have adverse affects on the scenic or natural beauty of the area, aesthetics, or rare and irreplaceable natural areas.	<i>The existing vegetation will be maintained to the greatest extent possible. A buffer will remain between the development and the abutting lots. The lot is in the RC/I zone.</i>
q. The developer has adequate financial and technical capacity to meet the above stated standards.	<i>See attached statement of financial capacity.</i>
r. Whenever situated in whole or in part within 250 feet of any pond, lake or river, will not adversely affect the quality of such body of water or affect the shoreline of such body of water, based on the standards outlined in Section 9.8.I.1.j.	<i>Not within 250 feet of pond, lake or river.</i>



<p>s. Low Impact Design: Each applicant is required to submit a statement to the Planning Board documenting proposed Low Impact Design (LID) for the site, which will help to reduce storm water volumes and help to enhance storm water quality. LID includes, but is not limited to green roofs, rain gardens, tree wells, infiltration basins, and permeable pavement otherwise specified by the Planning Board</p>	<p><i>Stormwater has been designed to meet basic and general standards of MDEP Chapter 500. See the project narrative and drainage report provided as part of this submission.</i></p>
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CIVIL CONSULTANTS MEMORANDUM

TO: Town of Berwick Planning Office

FROM: Geoff Aleva, PE – Vice President

**SUBJECT: Project Summary – Town of Berwick Ordinance
Section 8.25**

DATE: 05/29/2020

PROJECT: 17-287.02 – PAPER BIRCH PROPERTY, LLC

As part of the site plan review process, the following memorandum has been prepared to address Section 8.25 of the Berwick Land Use Ordinance, performance standards for Medical Marijuana.

REQUIREMENTS	APPLICANT'S RESPONSE
8.25.1. Purpose: The purpose of this section of the ordinance is to ensure that all cultivation, processing, storage, and distribution of medical marijuana does not have an adverse impact on the health, safety, and general welfare of the residents of the Town of Berwick, ME, while still allowing for treatment and alleviation of a qualifying patient's debilitating medical condition or symptoms associated with the qualifying patient's debilitating medical condition.	
8.25.2. Exemptions: As an accessory use, Medical Marijuana Home Production shall be allowed in any qualifying patient's residence or any medical marijuana caregiver's primary year-round residence in every base zone and overlay zone.	<i>N/A – Medical marijuana will not be grown within a residence.</i>
8.25.3. Location: Medical Marijuana Cooperatives and Medical Marijuana Production Facilities are allowed in the R3 Zone only on properties which have frontage on Route 9 or 4. Medical Marijuana Production Facilities and Dispensaries cannot be within 1,000 feet of:	<i>Properties are located in the RC/I zone and front along Route 4. This project is an allowed expansion of an approved facility.</i>
Any school – as measured from the nearest property line of the land used for the school to the nearest portion of the proposed business's building, via straight line measurement	<i>The lots are not located within 1,000 ft of any school. This project is an allowed expansion of an approved facility.</i>
Drug or Alcohol Treatment Facilities – as measured from the nearest property line of the land used for the treatment facility to the nearest portion of the proposed business's building, via straight line measurement.	<i>The lots are not located within 1,000 ft of any drug or alcohol treatment facilities. This project is an allowed expansion of an approved facility.</i>



Child Care Centers – as measured from the nearest property line of the land used for child care purposes to the nearest portion of the proposed business’s building, via straight line measurement.	<i>The lots are not located within 1,000 ft of any child care centers. This project is an allowed expansion of an approved facility.</i>
Other Marijuana Production Facilities – as measured from the nearest portion of the existing or pending center or store’s building to the nearest portion of the proposed business’s building, via straight line measurement.	<i>The lots are not located within 1,000 ft of any other Marijuana Production Facility. This project is an allowed expansion of an approved facility.</i>
8.25.4. Odor Control All Marijuana Production Facilities and Dispensaries must submit an odor control plan with the conditional use application.	<i>See attached odor control plan.</i>
A. Odor Control Plans shall consist of the following:	<i>See attached odor control plan.</i>
1. Specific Odor-emitting activity(ies) – This section should describe the odor emitting activities or processes (e.g., cultivation) that take place at the facility, the source(s) (e.g., budding plants) of those odors, and the location(s) from which they are emitted (e.g., flowering room)	<i>See attached odor control plan.</i>
2. Odor Mitigation Practices – For each odor-emitting source/process outlined in Section 1 of the odor control plan, specify the administrative and engineering controls the facility implements or will implement to control odors.	<i>See attached odor control plan.</i>
The best control technology for marijuana cultivation facilities is carbon filtration.	<i>Noted in the odor control plan.</i>
8.25.5. Security	
A. All growing of medical marijuana within a commercial production facility shall occur inside and only within a completely enclosed structure. This does not apply to home growing of medical marijuana.	<i>All growing operations will occur wholly within the proposed production facility.</i>
B. Prior to granting approval, the Planning and/or Code Enforcement Department shall receive a written statement from the Berwick Chief of Police or designee that security measures are acceptable and also consistent with State requirements.	<i>See attached letter provided to the Police Chief. Any input that is received will be incorporated into the plan. The applicant has worked with the PD on this project. All work will be interior to the building.</i>
8.25.6 Performance Standards	
A. Signage and advertising. All signage and advertising for any facility responsible for the	<i>All signs will comply with the Berwick land Use Ordinance.</i>



<p>cultivation, manufacturing, sale or distribution of marijuana shall comply with all applicable provisions of the Land Use Ordinances.</p>	
<p>B. Cultivation. If marijuana and/or products containing marijuana are sold on the same site, the cultivation area shall be no greater than 50% of the total floor area of the building.</p>	<p><i>The production facility will be located in a different building than the storefront. The cultivation use is separated from the retail areas of the project.</i></p>
<p>C. Consumption - Pursuant Maine LR 2395 section 1501 subsection 2, marijuana in the Town of Berwick may only be consumed in a private residence or on private property. Such private property must not generally be accessible to the public and the consumption of marijuana or marijuana products must be explicitly permitted by the property owner. All other consumption limitations in Maine LR 2395 Section 1501 Subsection 2 shall apply in the Town of Berwick.</p>	<p><i>Consumption of marijuana will be prohibited from all premises.</i></p>
<p>D. Visibility of activities. All activities of dispensaries, cultivation facilities, processing facilities and marijuana establishments shall be conducted indoors.</p>	<p><i>No activities regarding the production or sale of marijuana will be conducted outdoors.</i></p>

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CIVIL CONSULTANTS MEMORANDUM

TO: Town of Berwick

FROM: Geoffrey R. Aleva, PE – Sr. Project Engineer

SUBJECT: ODOR CONTROL PLAN REQUIREMENTS

DATE: MAY 2020

PROJECT: 359 PORTLAND STREET – SITE PLAN REVIEW

The following information is to be utilized for the Odor Control Plan for the proposed medical marijuana production facility at 359 Portland Street, Berwick. This information provides a basis for the minimum requirements for treatment of exhaust air and controlling potential odor at the facility. This plan shall be incorporated into the conditional use and site plan approval and reference shall be made to the requirements indicated on the approved site plan. See odor control specific notes. All tenants for the facility shall follow this plan and provide their own plan supplements during the building permit and certificate of occupancy process.

The Town of Berwick has specific requirements for odor control and they are specified in Land Use Ordinance, Article VIII Section 8.25.4.

Facility Floor Plan – A floor plan has been provided for this odor control plan however, tenants of facility will customize layout to their preferred methodology so the intent of this document is to show the minimum requirements for odor mitigation rather than the true layout of the facility. The tenants will provide detailed floor plans with their individual building permit applications. Those plans will also indicate odor producing locations and measure to control such odors.

PROJECT OWNER INFORMATION/ EMERGENCY CONTACT:

Paper Birch Property Medical Marijuana Facility
359 Portland Street Berwick, ME 03901
Paul Venuti, 415-515-3500
paperbirchproperty@gmail.com

At the direction of the Berwick Police Department, individual tenants shall provide contact information and unit numbers for record keeping.

ODOR PRODUCING PROCESSES:

Odor Relevancy/Location of the Sources: In the windowless cultivation facility odors can potentially escape from either the exterior doors or from an untreated ventilation system.

In addition to entry/exit doors, and ventilation system, odors may be produced in areas where the medicine is grown (vegetation area), where buds are grown (flowering area), or the processing



area (packaging). All areas that have the potential for an odor during production shall have systems capable of treating exhaust air through a proper filter system.

ODOR CONTROL REQUIREMENTS:

Odor Mitigation Practices – Based upon industry-specific best control technologies and best management practices.

At the time of this document the best odor control technology for marijuana cultivation facilities is carbon filtration.

Tenants will be required to use the odor mitigation technologies described in this memorandum.

Tenants in good standing will not be required to upgrade odor control plans or equipment unless receiving complaints from Town of Berwick Code Enforcement Office.

Exterior and Interior Doors:

- All doors shall have weather-stripping seals and secure locking hardware. All doors to the exterior shall have self closers.
- Administrative Controls – Properly train staff on isolation of odor emitting activities, i.e. closing interior doors when agriculture process is producing odor.
- Engineering Controls - Isolating odor-emitting activities from other areas of the buildings/outside through closing interior doors.

Ventilation System:

- Administrative Controls – Properly train staff on use of HVAC and Carbon Scrubbing Filtration Controls.
- Engineering Controls – Carbon Scrubbing - Regularly perform maintenance on carbon scrubbing and HVAC filters.

Vegetation Areas:

- Administrative Controls – Properly train staff on use of carbon-scrubbing equipment and the requirements for operation.
- Engineering Controls – Proper use of interior fans, exhaust fans and carbon scrubbing equipment to ensure proper odor mitigation of exhaust air. Perform maintenance at specified intervals.

Flowering Areas:

- Administrative Controls – Properly train staff on use of carbon-scrubbing equipment and the requirements for operation.
- Engineering Controls – Proper use of interior fans, exhaust fans and carbon scrubbing equipment to ensure proper odor mitigation of exhaust air. Perform maintenance at specified intervals.

Processing / Packaging Area

- Administrative Controls – Properly train staff on use of carbon-scrubbing equipment and the requirements for operation.
- Engineering Controls – Proper use of interior fans, exhaust fans and carbon scrubbing equipment to ensure proper odor mitigation of exhaust air. Perform maintenance at specified intervals.



ODOR CONTROL MAINTENANCE PLAN

The following information is the minimum maintenance requirement regarding the efficient and optimal performance of the odor mitigation system. The tenant shall keep on site and provide the Town of Berwick Code Enforcement Office, at their request, product documentation regarding the individual system and maintenance intervals.

- Carbon Filters must be changed at the minimum of every 6 months (industry standard). Filters shall be sized based on the room area and desired air exchanges per hour. Design information shall be presented to the Town Code Office.
- Performed maintenance tracking, documentation of malfunctions, and changing of carbon filters (or equivalent), shall be recorded by the tenant and kept available in the event of inspection.
- Maintenance plan shall also include records of purchases and replacement carbon filters.

CARBON FILTRATION:

- Carbon filtering works by scrubbing the air and removing odors by a process of neutralization. In these systems activated carbon absorbs the smells and other impurities from air that is pushed through the filter. With a carbon filter as part of the overall exhaust system air is pulled from the desired area by an exhaust fan, and forced through the carbon filter. The filter removes smells from the air prior to discharge through an exhaust to the exterior of the building.
- A carbon filtration systematic lineage: Odor producing area >Fan>Carbon Filter or Scrubber>Exhaust
- Mechanical ventilation must be set up in a manner that directs flow to the induction of the carbon scrubber.
- Number of mechanical ventilation devices will be dictated by size of individual space and amount of plants producing odor. Vented air must be treated through the filtration system prior to discharge to the building exterior.
- Carbon filters shall be sized to properly cover the entire circumference of exhaust vent as to not allow odor to escape.
- To maintain system efficiency match CFM rating between mechanical ventilation and carbon filter. CFM rating on filter shall be the same or slightly higher than rating than the exhaust fan.
- Filter must be attached to vent in a stable, secure manner.
- Follow proper maintenance carbon filtering system procedures to ensure to maintain efficiency and effectiveness of system.



LIST OF ABUTTERS

Venuti Site Plan
357 & 359 Portland Street (Route 4)
Berwick ME, 03901
Map R-70, Lot 12-1 & 12-2

MAP	LOT	NAME & MAILING ADDRESS
R-70	12-2 (locus)	PAPER BIRCH PROPERTY, LLC P.O. BOX 426 PORTLAND, ME 04112
R-70	12-1	PAPER BIRCH PROPERTY, LLC C/O PAUL VENUTI 3 APGAR LANE YORK, ME 03909
R-70	12	RICE, DWAYNE & SANDRA 38 HOOPER SANDS RD SOUTH BERWICK, ME 03908
R-70	13	AMERGIAN, RICHARD & KATHERINE 5 REGINA RD PORTSMOUTH, NH 03801
R-70	14	THE BJORK FAMILY REVOCABLE TRUST C/O BJORK, JOHN & AMANDA, TRUSTEES 33 GUINEA RD BERWICK, ME 03901
R-70	16-1	NORTHEAST CREDIT UNION ATTN: ACCOUNTING PO BOX 1240 PORTSMOUTH, NH 03802
R-70	21	CHANDLER, GARY & ELAINE 13 CIRCUIT ROAD BERWICK, ME 03901
R-70	9-1	BLUNT, ROBIN E. 736 N JAY ST GRIFFITH, IN 46319
R-70	9-2	DOLLEY, BRIAN & KRISTIN 355 BLACKBERRY HILL ROAD BERWICK, ME 03901
R-70	9-3	YANDELL, SHERMAN O. PO BOX 562 WELS, ME 04090

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**CIVIL
CONSULTANTS**

P.O. Box 100 South Berwick, Maine 03908 207-384-2550

QUITCLAIM DEED
(Maine Statutory Short Form)

No Transfer Tax

KNOW ALL BY THESE PRESENTS, that we, **JELAL JONES** and **PAUL VENUTI**, individually, for consideration paid, GRANT to **PAPER BIRCH PROPERTY, LLC**, a Maine limited liability company whose mailing address is P.O. Box 426, Portland, ME 04112-0426 with QUITCLAIM COVENANTS, all of our right, title, and interest in certain real estate located in the Town of Berwick, County of York and State of Maine, which is more particularly described in Exhibit A attached hereto and made a part hereof.

This conveyance is made SUBJECT, HOWEVER, to real estate taxes which are not yet due and payable, which, by acceptance hereof, Grantee assumes and agrees to pay.

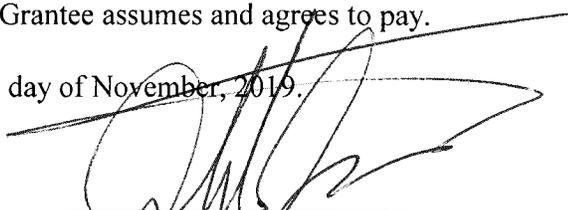
WITNESS our hands and seals this 26th day of November, 2019.



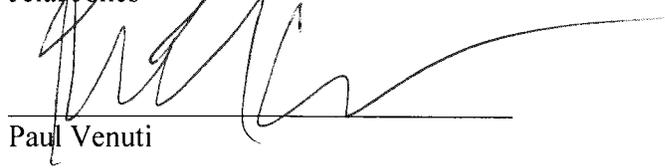
Witness



Witness



Jelal Jones



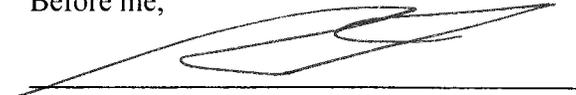
Paul Venuti

STATE OF MAINE
County of York, SS.

November 26, 2019

Then personally appeared the above-named Jelal Jones and Paul Venuti and acknowledged the foregoing instrument to be their free acts and deeds.

Before me,



David C. Johnson, Attorney-at-Law
Maine Bar No. 005895

EXHIBIT A
Legal Description

Lot 12-2 – Portland Street, Berwick, Maine

A certain lot or parcel of land situated on the northerly side of Route 4 in the Town of Berwick, County of York and State of Maine and being bounded and described as follows:

Beginning on the northerly side of Route 4 at a rebar found at the southeasterly corner of Lot 12-1 as referenced in a certain Subdivision Plan prepared by TriTech Engineering Corporation for James III & Dianne C. Dean, Portland Street – Route #4, Berwick, Maine, January 24, 2013, and recorded on March 28, 2013, in the York County Registry of Deeds in Plan Book 360, Page 4 (the "Plan").

Thence turning and running N 26°-57'-48" E along said Lot 12-1, a distance of 498.66 feet to an iron pipe found at the southeast corner of land now or formerly of Donald and Catherine Heath;

Thence turning and running N 61°-58'-57" E, a distance of 210.44 feet along said Heath land and the remains of a barbed wire fence, and the southeast corner of land now or formerly of Mark L. Conant and the southwesterly sideline of land now or formerly of the David and Cindy Doucette Living Trust;

Thence continuing along the same course N 61°-58'-57" E along said Heath land a distance of 3.32 feet to the remains of a barbed wire fence and the southeast corner of land now or formerly of Mark L. Conant and the southwesterly sideline of land now or formerly of the David and Cindy Doucette Living Trust;

Thence running S 26°-57'-48" E along said Doucette Trust land a distance of 498.66 feet to a rebar with cap set and the northerly sideline of Route 4;

Thence running along the northerly sideline of Route 4, S 65°-55'-43" W, a distance of 214.00 feet to a rebar with cap set and point of beginning.

Containing 2.411 acres.

The above description is derived the Plan and is meaning and intending to describe Lot 12-2 on said Plan; also meaning and intending to describe a portion of the premises conveyed to Paul Venuti by deed from Dwayne S. Rice and Sandra L. Rice, as joint tenants by deed dated July 18, 2019 and recorded in the York County Registry of Deeds in Book 17998, Page 840. This deed is intended to unify the interests of the Grantor in the Grantee herein described.

The portion of the premises described herein and outlined on the Plan as "Proposed Private 30' Wide Common Driveway Easement" is subject to an easement for ingress and egress and the placement of utilities for the perpetual benefit of the owners of Lot 12-1 as described on the Plan, their heirs and assigns forever.

WARRANTY DEED
(Maine Statutory Short Form)

KNOW ALL BY THESE PRESENTS, that we, **DWAYNE RICE AND SANDRA RICE**, individuals, for consideration paid, GRANT to **PAUL VENUTI**, whose mailing address is c/o Perkins Thompson, P.A., PO Box 426, Portland, ME 04112, with WARRANTY COVENANTS, certain real estate located in the Town of Berwick, County of York and State of Maine, which is more particularly described in Exhibit A attached hereto and made a part hereof.

This conveyance is made SUBJECT, HOWEVER, to real estate taxes which are not yet due and payable, which, by acceptance hereof, Grantee assumes and agrees to pay.

WITNESS our hands and seals this 18 day of July, 2019.



Witness



Dwayne Rice



Witness



Sandra Rice

STATE OF MAINE
County of York, SS.

July 18, 2019

Then personally appeared the above-named Dwayne Rice and Sandra Rice and acknowledged the foregoing instrument to be their free act and deed.

Before me,



~~Notary Public~~/Maine Attorney-at-Law

Printed Name: David C. Johnson

My Commission Expires: Attorney-at-Law

DAVID C. JOHNSON
ATTORNEY AT LAW

Maine R.E. Transfer Tax Paid

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Thence turning and running N 61°-58'-57" E, a distance of 210.44 feet along said Heath land and the remains of a barbed wire fence, and the southeast corner of land now or formerly of Mark L. Conant and the southwesterly sideline of land now or formerly of the David and Cindy Doucette Living Trust;

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Thence running along the northerly sideline of Route 4, S 65'-55'-43" W, a distance of 214.00 feet to a rebar with cap set and point of beginning.

Containing 2.411 acres.

The above description is derived the Plan and is meaning and intending to describe Lot 12-2 on said Plan, also meaning and intending to describe a portion of the premises conveyed to Dwayne S. Rice and Sandra L. Rice, as joint tenants, by deed from Schoolhouse Meadow, LLC dated September 24, 2014 and recorded in the York County Registry of Deeds at Book 16896, Page 337.

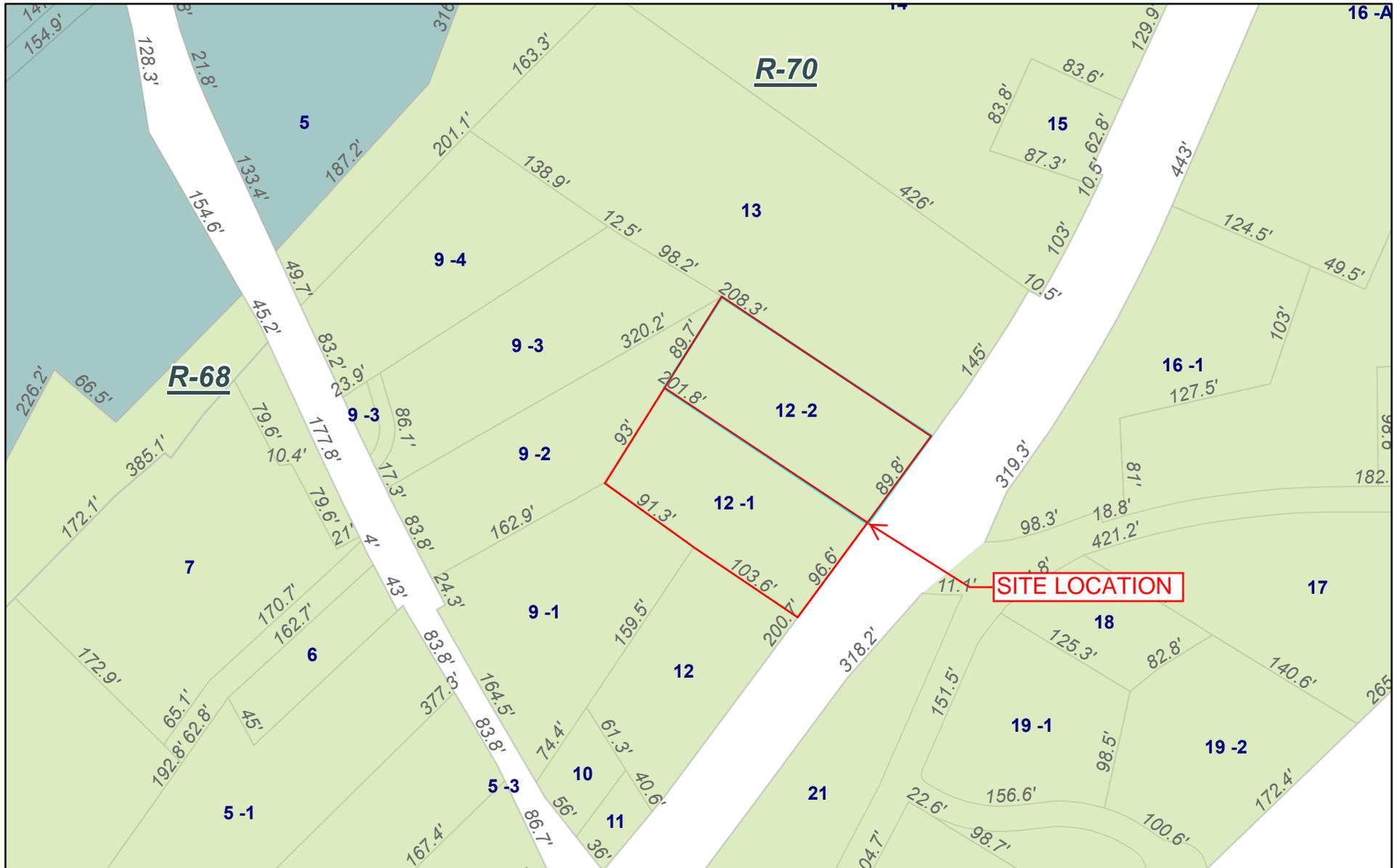
The portion of the premises described herein and outlined on the Plan as "Proposed Private 30' Wide Common Driveway Easement" is subject to an easement for ingress and egress and the placement of utilities for the perpetual benefit of the owners of Lot 12-1 as described on the Plan, their heirs and assigns forever.



<i>Google Earth Image Berwick, Maine</i>		<i>PREPARED FOR:</i>	<i>Paper Birch Property, LLC P.O. Box 426 Portland, ME 04112</i>
<i>JOB NO: 1728702</i>	<i>NTS</i>	<i>DATE: May 2020</i>	

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ArcGIS Web Map



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2018 Map Index

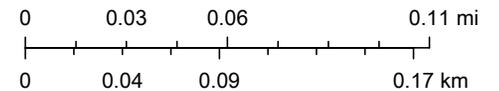
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 2018 Revised Parcels

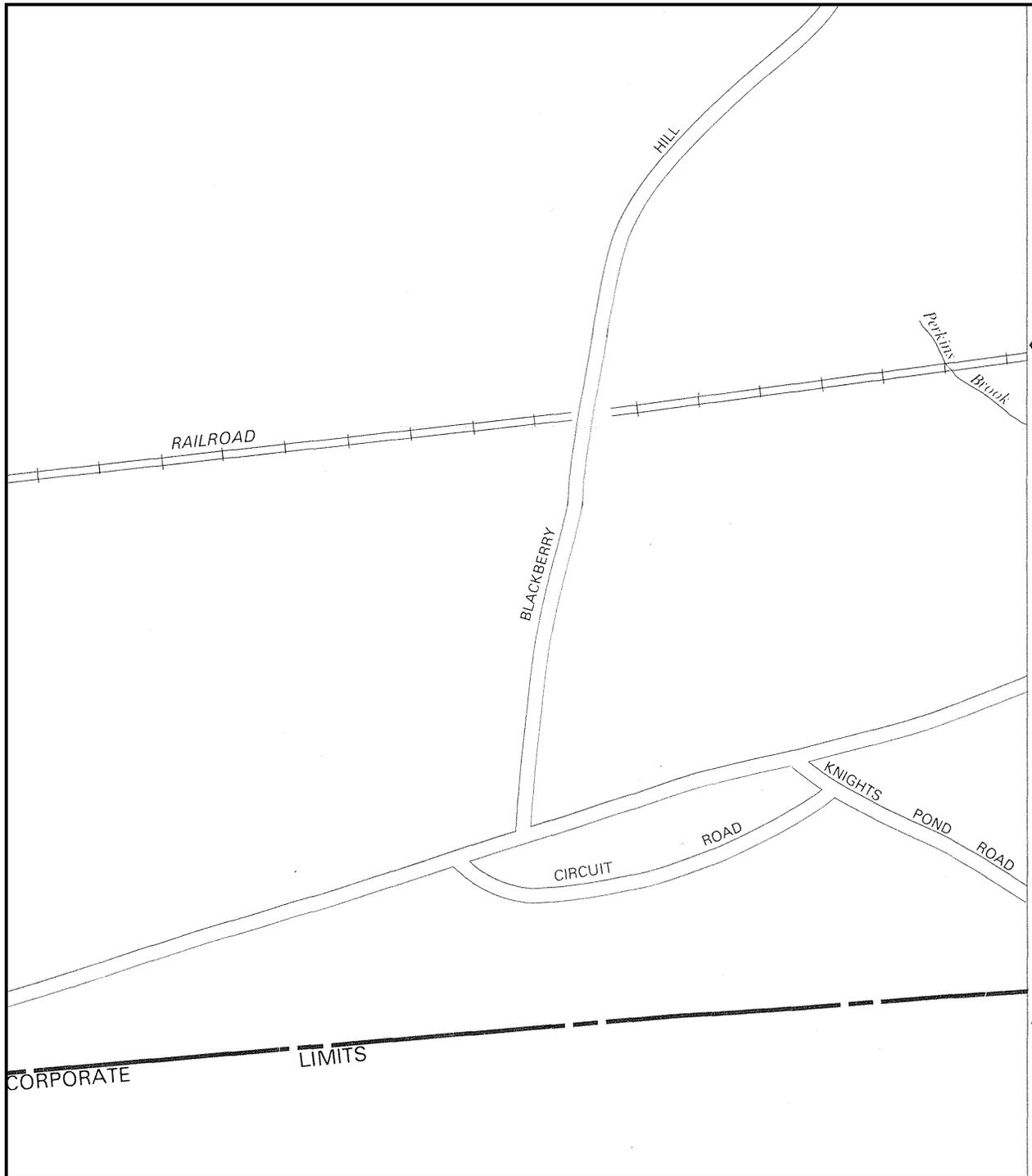
 2018 Revised Parcel Boundaries

1:4,514

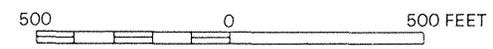


Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user

Web AppBuilder for ArcGIS
Esri, HERE |



APPROXIMATE SCALE

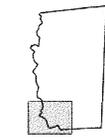


NATIONAL FLOOD INSURANCE PROGRAM

**FIRM
FLOOD INSURANCE RATE MAP**

TOWN OF
**BERWICK,
MAINE**
YORK COUNTY

PANEL 8 OF 10
(SEE MAP INDEX FOR PANELS NOT PRINTED)



PANEL LOCATION

COMMUNITY-PANEL NUMBER

230144 0008 B

EFFECTIVE DATE:
AUGUST 5, 1991



Federal Emergency Management Agency

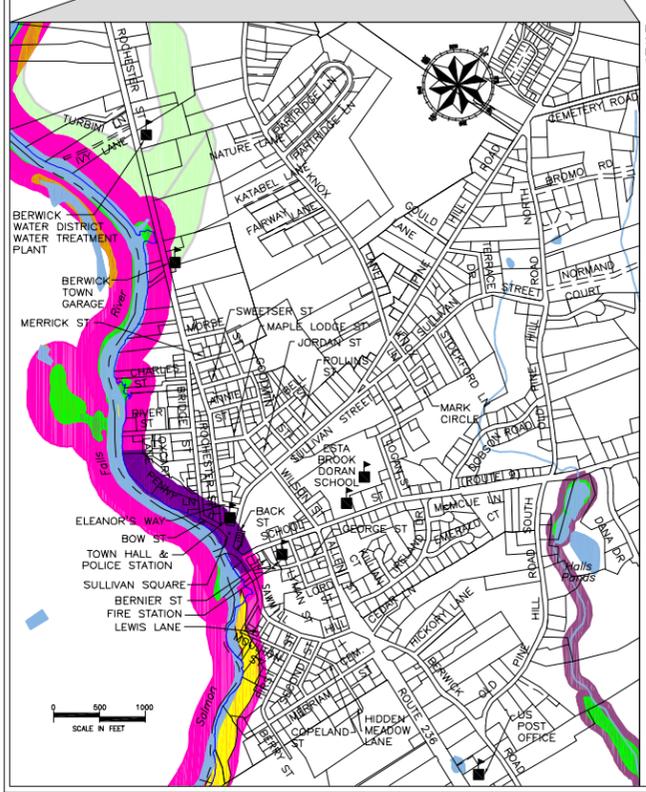
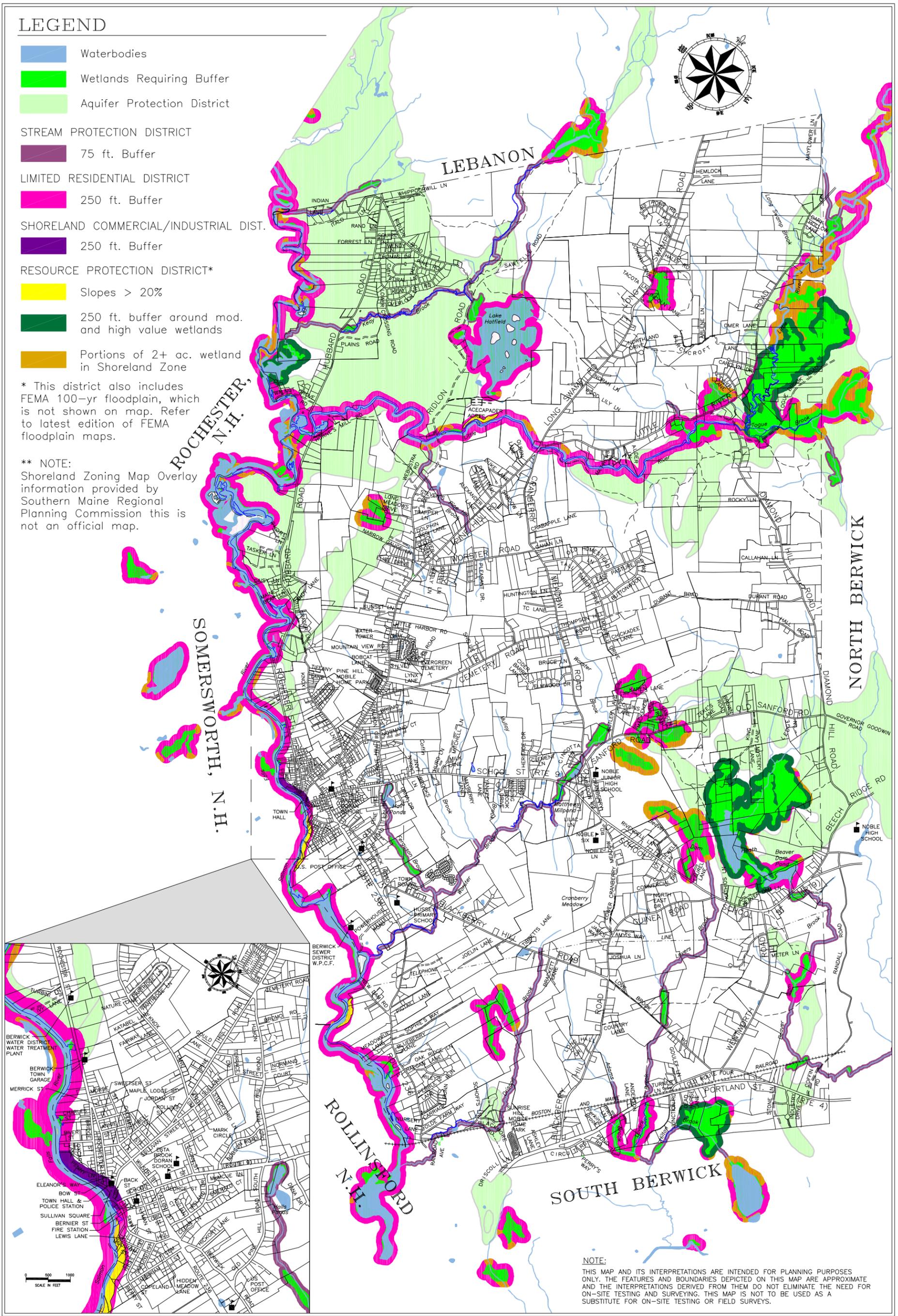
This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

LEGEND

- Waterbodies
- Wetlands Requiring Buffer
- Aquifer Protection District
- STREAM PROTECTION DISTRICT**
- 75 ft. Buffer
- LIMITED RESIDENTIAL DISTRICT**
- 250 ft. Buffer
- SHORELAND COMMERCIAL/INDUSTRIAL DIST.**
- 250 ft. Buffer
- RESOURCE PROTECTION DISTRICT***
- Slopes > 20%
- 250 ft. buffer around mod. and high value wetlands
- Portions of 2+ ac. wetland in Shoreland Zone

* This district also includes FEMA 100-yr floodplain, which is not shown on map. Refer to latest edition of FEMA floodplain maps.

** NOTE: Shoreland Zoning Map Overlay information provided by Southern Maine Regional Planning Commission this is not an official map.



NOTE:
THIS MAP AND ITS INTERPRETATIONS ARE INTENDED FOR PLANNING PURPOSES ONLY. THE FEATURES AND BOUNDARIES DEPICTED ON THIS MAP ARE APPROXIMATE AND THE INTERPRETATIONS DERIVED FROM THEM DO NOT ELIMINATE THE NEED FOR ON-SITE TESTING AND SURVEYING. THIS MAP IS NOT TO BE USED AS A SUBSTITUTE FOR ON-SITE TESTING OR FIELD SURVEYS.

SHORELAND ZONING MAP OVERLAY**

TOWN OF BERWICK

MAINE

REVISED: APRIL 1, 2014
 2000 0 2000 4000
 SCALE: 1 INCH = 4000 FT.

- LEGEND:**
- PAVED ROAD
 - UNIMPROVED ROAD
 - PIONEER ROAD
 - TELEPHONE
 - RAILROAD

Assessment of Traffic Generation

The owner of the property at 357 & 359 Portland Street in Berwick, ME (Map 70, Lot 12-1 & 12-2) is proposing to expand the business to include an adult use marijuana storefront and a medical marijuana production facility. The adult use marijuana storefront will be 2,140 SF and have 1,000 SF of retail space. The building will be located on the developed Lot 12-1, adjacent to the existing medical marijuana storefront.

The medical production facility will be located on the undeveloped Lot 12-2 and will be completed in two phases. Phase 1 consists of the construction of a 20,000 SF pre-engineered building with associated parking facilities. Phase 2 will include a 5,200 SF building addition, for a total footprint of 25,200 SF. This would be a commercial use. The Maine Department of Transportation (MDOT) had previously approved a shared driveway permit (#26694) at this location for a mixed use retail and single family residence (on the vacant lot).

The existing 2,240 SF medical marijuana storefront on Lot 12-1 contains 800 SF of retail space. The construction of this project was completed in 2019. The owner of lot 12-1 has since purchased the adjacent Lot 12-2 with the intention of constructing the aforementioned 25,200 SF medical production facility. The proposed expansion of use requires an update to the MDOT driveway/entrance permit for mixed use retail and commercial.

While the proposed use is expected to generate a larger volume of traffic, the new building on Lot 12-2 is closed to the public and will only produce an increase in traffic proportional to the number of proposed employees. The proposed adult use marijuana storefront on Lot 12-1 will have 1,000 SF of public access, plus the traffic generation from a maximum of 5 additional employees. The following information is provided as an estimate based on the Institute of Traffic Engineer – ITE Trip Generation Manual, 9th Edition.

Existing Development:

The previous project was to create a 2,240 SF medical marijuana storefront with 800 SF of retail space. There is no specific ITE Land Use Code for Medical Marijuana Dispensary. Land use category Special Retail Center (826) was used to estimate the traffic volume instead. The public retail area was used to determine the traffic generation.

Following this above scenario would result in the following:

ITE Land Use Code 826 – Special Retail Center (800 SF)

Daily Trip Ends Weekday/1,000 SF	44.32 ave	(range 21.30-64.21)
Peak Hour AM Trip Ends Weekday/1,000 SF	6.84 ave	(range 5.33-14.08)
Peak Hour PM Trip Ends Weekday/1,000 SF	5.02 ave	(range 4.59-6.18)
Daily Trip Ends Saturday/1,000 SF	42.04 ave	(range 22.57-54.47)
Daily Trip Ends Sunday/1,000 SF	20.43 ave	(range 6.96-32.82)

Based upon the above, the highest average day figure would be the Daily Trip Ends Weekday rate of 44.32 trip ends – or – $(800 \text{ SF}/1,000 \text{ SF}) \times 44.32 = 35.46$ say **36 trip ends for the day**

Based upon the above, the highest peak hour figure would be the Peak Hour AM Trip Ends rate of 6.84 trip ends in the peak hour – or – $(800 \text{ SF}/1,000 \text{ SF}) \times 6.84 = 5.47$ say **6 trip ends in the peak hour**. *It is anticipated that the peak travel will occur in the afternoon.*

Proposed Development:

As stated above, the proposed project is to create a 2,140 SF adult use marijuana storefront on Lot 12-1 with a maximum of 5 employees and 1,000 SF of retail space. The traffic generation from the medical marijuana storefront will be similar to the existing use, so the Land use category Special Retail Center (826) was used to estimate the traffic volume.

A 25,200 SF medical marijuana production facility will be constructed on Lot 12-2 with no public access. This means all increases to traffic will be as a result of the 20 max employees entering and exiting the site. As there is no ITE Land Use Code for Marijuana Grow House, Land use category Research and Development Center (760) was used to estimate the traffic volume instead. This mimics the agriculture use and takes into account the increase in traffic due to employees only.

Following this above scenario would result in the following:

ITE Land Use Code 826 – Special Retail Center (1,000 SF)

Daily Trip Ends Weekday/1,000 SF	44.32 ave	(range 21.30-64.21)
Peak Hour AM Trip Ends Weekday/1,000 SF	6.84 ave	(range 5.33-14.08)
Peak Hour PM Trip Ends Weekday/1,000 SF	5.02 ave	(range 4.59-6.18)
Daily Trip Ends Saturday/1,000 SF	42.04 ave	(range 22.57-54.47)
Daily Trip Ends Sunday/1,000 SF	20.43 ave	(range 6.96-32.82)

Based upon the above, the highest average day figure would be the Daily Trip Ends Weekday rate of 44.32 trip ends – or – $(1,000 \text{ SF}/1,000 \text{ SF}) \times 44.32 = 44.32$ say **45 trip ends for the day**

Based upon the above, the highest peak hour figure would be the Peak Hour AM Trip Ends rate of 6.84 trip ends in the peak hour – or – $(1,000 \text{ SF}/1,000 \text{ SF}) \times 6.84 = 6.84$ say **7 trip ends in the peak hour**. *It is anticipated that the peak travel will occur in the afternoon.*

ITE Land Use Code 760 – Research and Development Center (20 Employees)

Daily Trip Ends Weekday/Employee	2.77 ave	(range 0.96-10.63)
Peak Hour AM Trip Ends Weekday/ Employee	0.43 ave	(range 0.20-1.39)
Peak Hour PM Trip Ends Weekday/ Employee	0.41 ave	(range 0.18-1.39)
Daily Trip Ends Saturday/ Employee	0.57 ave	(range 0.03-2.97)
Daily Trip Ends Sunday/ Employee	0.07 ave	(range 0.01-0.56)

Based upon the above, the highest average day figure would be the Daily Trip Ends Weekday rate of 2.77 trip ends – or – $(20 \text{ Employees}) \times 2.77 = 55.4$ say **56 trip ends for the day**

Based upon the above, the highest peak hour figure would be the Peak Hour AM Trip Ends rate of 0.43 trip ends in the peak hour – or – $(20 \text{ Employees}) \times 0.43 = 8.6$ say **9 trip ends in the peak hour**.

Conclusion:

The previously approved medical marijuana retail building on Lot 12-1 was expected to generate 36 daily trip ends and 6 trip ends during the peak hour.

The proposed adult use retail storefront on Lot 12-1 will produce an additional 45 daily trip ends and 7 trip ends during the peak hour. The proposed commercial use on Lot 12-2 will only produce an increase in traffic proportional to the number of employees, as there will be no public access. Based on a similar ITE Land Use, 20 employees would result in an additional 56 trip ends for the day and 9 trip ends during the peak hour.

The traffic generation for the two lots as described above results in a total of 137 daily trip ends and 22 trip ends during the peak hour. Both the total vehicle trips ends/day and the peak hour trip generation rates are below the threshold needed for a full traffic study. It is our opinion that the traffic generated by this site will not adversely impact traffic on adjacent roadways.

J:\aaa\2017\1728702\TOWNREVIEW\SITEPLANREVIEW\20200528_TrafficGenerationAssessment.doc





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P.O. Box 100

293 Main Street

South Berwick

Maine

03908

207-384-2550

May 29, 2020

Via Email

Dennis Plante, Fire Chief
Berwick Fire Department
10 School Street
Berwick, Maine 03901

**RE: Paper Birch Property, LLC
357 & 359 Portland Street, Berwick, ME
Map 70 Lot 12-1 & 12-2**

Dear Chief Plante:

Paul Venuti is proposing to develop a 2,140 SF adult use marijuana dispensary adjacent to the existing medical storefront at 357 Portland Street. Additionally, he's proposing a two phase development at 359 Portland Street. Phase 1 consists of a new 20,000 SF medical marijuana production facility with associated parking. Phase 2 will create a 5,200 SF building addition.

Lot 12-2 contains undisturbed woodlands and wetlands, and is considered entirely undeveloped except for the small portion of shared driveway at the front of the property. The property will be serviced by a new private well and septic system. The building will be protected with an automatic fire alarm and sprinkler. A Knox box will be located on the building at your recommended location.

In accordance with Section 9.8.F.2.c.v of the Berwick Land Use Ordinance we are requesting your review and comments. We have provided a set of plans for your review.

Please feel free to contact us with any questions. If you would like to meet and discuss I am available at your convenience.

Respectfully yours,
CIVIL CONSULTANTS

Geoffrey R. Aleva, P.E.
Vice President

Enclosures: Sheet L1, Arch. Renderings, USGS location, Tax Map

J:\aaa\2017\1728702\Town Review\Review Letters\Fire Chief\20200529_1728702-FireChiefLetter.docx

ent: Dennis Plante <dplante@berwickfire.org>
Thursday, January 9, 2020 3:12 PM
To: geoff@civcon.com
ub ect: RE: 359 PORTLAND (1728702)

I will agree with that. We do need a Knox box placed on the building. I think the other building was required to have one as well.

From: geoff@civcon.com <geoff@civcon.com>
Sent: Thursday, January 9, 2020 1:38 PM
To: Dennis Plante <dplante@berwickfire.org>
Subject: RE: 359 PORTLAND (1728702)

Chief,

Attached is a reduced copy of the proposed development. We will be submitting the planning board once we get the architectural renderings completed.

The building will be a secure growing facility with NO public access. The occupancy load for this agricultural building will be low. Access doors will be placed on the parking side of the building for security reasons. This project will require State Fire Marshal review for life safety and for the sprinkler system.

I reviewed the 2018 NFPA 1 Chapter 18 for building access. Since the building will be sprinkled (NFPA 13) the maximum dimension from the fire access road (parking lot) to portions of the building is 450 ft (18.2.3.2.2.1). It is my opinion that this project does not require a rear access road around the back of the building. The main paved parking area provides proper access to the building.

Please review and let me know if you have any additional questions or comments.

Thank you for your time today.

Geoff

Geoffrey R. Aleva, PE
Vice President
Sr. Project Structural / Civil Engineer
CIVIL CONSULTANTS
PO Box 100 / 293 Main Street
South Berwick, Maine 03908
ph: 207-384-2550
fx: 207-384-2112
mobile: 603-781-1402

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From: geoff@civcon.com <geoff@civcon.com>
Sent: Wednesday, January 8, 2020 10:46 AM

To: 'Dennis Plante' <dplante@berwickfire.org>

Subject: RE: 359 PORTLAND (1728702)

That should work. See you tomorrow.

Geoff Aleva
CIVIL CONSULTANTS

From: Dennis Plante <dplante@berwickfire.org>

Sent: Wednesday, January 8, 2020 10:31 AM

To: geoff@civcon.com

Subject: RE: 359 PORTLAND (1728702)

How about 1pm Tomorrow ?

From: geoff@civcon.com <geoff@civcon.com>

Sent: Tuesday, January 7, 2020 2:51 PM

To: Dennis Plante <dplante@berwickfire.org>

Subject: 359 PORTLAND (1728702)

Chief,

We are working on the site design for a new building next to the marijuana store on Route 4 on the adjacent lot. The new building will be a commercial marijuana growing building. It is being developed by the same group.

The building will be alarmed and sprinkled.

I would like to schedule a time to visit and bring the plan over for you to review.

What works best for you. Thanks for your time.

Geoff

Geoffrey R. Aleva, PE
Vice President
Sr. Project Structural / Civil Engineer
CIVIL CONSULTANTS
PO Box 100 / 293 Main Street
South Berwick, Maine 03908
ph: 207-384-2550
fx: 207-384-2112
mobile: 603-781-1402

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P.O. Box 100

293 Main Street

South Berwick

Maine

03908

207-384-2550

May 27, 2020

Via Email

Timothy Towne, Chief of Police
Berwick Police Department
P.O. Box 644
20 Wilson Street
Berwick, Maine 03901

**RE: Paper Birch Property LLC
357 & 359 Portland Street, Berwick, ME
Map 70 Lot 12-1 & 12-2**

Chief Towne:

Paul Venuti is proposing to develop a 2,140 SF adult use marijuana dispensary adjacent to the existing medical storefront at 357 Portland Street. Additionally, he's proposing a two phase development at 359 Portland Street. Phase 1 consists of a new 20,000 SF medical marijuana production facility with associated parking. Phase 2 will create a 5,200 SF building addition.

Lot 12-2 contains undisturbed woodlands and wetlands, and is considered entirely undeveloped except for the small portion of shared driveway at the front of the property. The property will be serviced by a new private well and septic system.

In accordance with Section 9.8.F.2.c.v of the Berwick Land Use Ordinance we are requesting your review and comments. We have provided a set of plans for your review.

Please feel free to contact us with any questions. If you would like to meet and discuss I am available at your convenience.

Respectfully yours,
CIVIL CONSULTANTS

Geoffrey R. Aleva, P.E.
Vice President

Enclosures: Sheets L1, Arch. Renderings, USGS location, Tax Map

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P.O. Box 100

293 Main Street

South Berwick

Maine

03908

207-384-2550

May 29, 2020

Via Email

Dave Andreesen – Chairman
Berwick Planning Board
11 Sullivan Street
Berwick, ME 03901

**RE: Paper Birch Property, LLC
357 & 359 Portland Street, Berwick, ME
Map 70 Lot 12-1 & 12-2**

Dear Mr. Andreesen:

Paul Venuti is proposing to develop a 2,140 SF adult use marijuana dispensary adjacent to the existing medical storefront at 357 Portland Street. Additionally, he's proposing a two phase development at 359 Portland Street. Phase 1 consists of a new 20,000 SF medical marijuana production facility with associated parking. Phase 2 will create a 5,200 SF building addition.

Lot 12-2 contains undisturbed woodlands and wetlands, and is considered entirely undeveloped except for the small portion of shared driveway at the front of the property. The property will be serviced by a new private well and septic system. The building will be protected with an automatic fire alarm and sprinkler.

In accordance with Section 9.8.F.2.c.v of the Berwick Land Use Ordinance we are requesting your review and comments. We have provided a set of plans for your review.

Please feel free to contact us with any questions. If you would like to meet and discuss I am available at your convenience.

Respectfully yours,
CIVIL CONSULTANTS

Geoffrey Aleva, P.E.
Vice President

Enclosures: Sheet L1, Arch. Renderings, Tax Map

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P.O. Box 100

293 Main Street

South Berwick

Maine

03908

207-384-2550

May 29, 2020

Via Email

Thomas Wright – Chairman
Berwick Board of Selectmen
11 Sullivan Street
Berwick, ME 03901

**RE: Paper Birch Property, LLC
357 & 359 Portland Street, Berwick, ME
Map 70 Lot 12-1 & 12-2**

Dear Mr. Wright:

Paul Venuti is proposing to develop a 2,140 SF adult use marijuana dispensary adjacent to the existing medical storefront at 357 Portland Street. Additionally, he's proposing a two phase development at 359 Portland Street. Phase 1 consists of a new 20,000 SF medical marijuana production facility with associated parking. Phase 2 will create a 5,200 SF building addition.

Lot 12-2 contains undisturbed woodlands and wetlands, and is considered entirely undeveloped except for the small portion of shared driveway at the front of the property. The property will be serviced by a new private well and septic system. The building will be protected with an automatic fire alarm and sprinkler.

In accordance with Section 9.8.F.2.c.v of the Berwick Land Use Ordinance we are requesting your review and comments. We have provided a set of plans for your review.

Please feel free to contact us with any questions. If you would like to meet and discuss I am available at your convenience.

Respectfully yours,
CIVIL CONSULTANTS

Geoffrey Aleva, P.E.
Vice President

Enclosures: Sheet L1, Arch. Renderings, Tax Map

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293 Main Street

South Berwick

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03908

207-384-2550

May 29, 2020

Via Email

Stephen Eldridge
Berwick Town Manager
11 Sullivan Street
Berwick, ME 03901

**RE: Paper Birch Property, LLC
357 & 359 Portland Street, Berwick, ME
Map 70 Lot 12-1 & 12-2**

Dear Mr. Eldridge:

Paul Venuti is proposing to develop a 2,140 SF adult use marijuana dispensary adjacent to the existing medical storefront at 357 Portland Street. Additionally, he's proposing a two phase development at 359 Portland Street. Phase 1 consists of a new 20,000 SF medical marijuana production facility with associated parking. Phase 2 will create a 5,200 SF building addition.

Lot 12-2 contains undisturbed woodlands and wetlands, and is considered entirely undeveloped except for the small portion of shared driveway at the front of the property. The property will be serviced by a new private well and septic system. The building will be protected with an automatic fire alarm and sprinkler.

In accordance with Section 9.8.F.2.c.v of the Berwick Land Use Ordinance we are requesting your review and comments. We have provided a set of plans for your review.

Please feel free to contact us with any questions. If you would like to meet and discuss I am available at your convenience.

Respectfully yours,
CIVIL CONSULTANTS

Geoffrey Aleva, P.E.
Vice President

Enclosures: Sheet L1, Arch. Renderings, Tax Map

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293 Main Street

South Berwick

Maine

03908

207-384-2550

May 29, 2020

Via Email

Robert Perschy – Foreman
Public Works Department
11 Sullivan Street
Berwick, ME 03901

**RE: Paper Birch Property, LLC
357 & 359 Portland Street, Berwick, ME
Map 70 Lot 12-1 & 12-2**

Dear Mr. Perschy:

Paul Venuti is proposing to develop a 2,140 SF adult use marijuana dispensary adjacent to the existing medical storefront at 357 Portland Street. Additionally, he's proposing a two phase development at 359 Portland Street. Phase 1 consists of a new 20,000 SF medical marijuana production facility with associated parking. Phase 2 will create a 5,200 SF building addition.

Lot 12-2 contains undisturbed woodlands and wetlands, and is considered entirely undeveloped except for the small portion of shared driveway at the front of the property. The property will be serviced by a new private well and septic system. The building will be protected with an automatic fire alarm and sprinkler.

In accordance with Section 9.8.F.2.c.v of the Berwick Land Use Ordinance we are requesting your review and comments. We have provided a site plan along with a traffic impact memorandum. The traffic generation is not expected to exceed the requirement for a full traffic study. A revised MDOT entrance permit has been submitted.

Please feel free to contact us with any questions. If you would like to meet and discuss I am available at your convenience.

Respectfully yours,
CIVIL CONSULTANTS

Geoffrey Aleva, P.E.
Vice President

Enclosures: Sheet L1, Arch. Renderings, Traffic Impact Memo, Tax Map
J:\aaa\2017\1728702\Town Review\ReviewLetters\PublicWorks\20200529-1728702-PublicWorksLetter.docx



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P.O. Box 100

293 Main Street

South Berwick

Maine

03908

207-384-2550

May 29, 2020

Via Email

Kirk Mohney
State Historic Preservation Officer
Maine Historic Preservation Commission
State House Station #65
Augusta, Maine 04333

**RE: Paper Birch Property, LLC
357 & 359 Portland Street, Berwick, ME
Map 70 Lot 12-1 & 12-2**

Dear Mr. Mohney:

Enclosed please find a site plan, USGS location map, parcel map and GIS map in reference to the above project. Civil Consultants is submitting an application for a site plan at 357 & 359 Portland Street in Berwick, ME on behalf of Paul Venuti. The project is to create an adult use marijuana store on the existing developed lot at 357 Portland Street, and a new medical marijuana grow facility on the existing undeveloped lot at 359 Portland Street. Your review and comments are requested.

Please review this project and advise us as to whether or not there are any historic areas located on expanded areas of this site.

Should you have any questions or comments, please call at your convenience.

Respectfully yours,
CIVIL CONSULTANTS

Geoffrey R. Aleva, P.E.
Vice President

Enclosures: Sheet L1, USGS location, Parcel Map, Aerial Image



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P.O. Box 100
293 Main Street
South Berwick
Maine
03908
207-384-2550

May 28, 2020

Via Email

Tony Fontaine– Permit Field Specialist
MaineDOT
51 Pleasant Hill Road
Scarborough, ME 04070-0358

**RE: Paper Birch Property, LLC
357 & 359 Portland Street, Berwick, ME
Map 70 Lot 12-1 & 12-2**

Dear Mr. Fontaine:

Attached is an application for an updated MDOT Entrance Permit. Paper Birch Property, LLC is proposing to expand the facility and construct a 2,140 SF adult use marijuana storefront (1,000 sf open to the public) adjacent to the existing medical storefront at 357 Portland Street. Additionally, construct a 25,200 SF medical marijuana cultivation facility at 359 Portland Street, on the next lot sharing the driveway.

An MDOT entrance permit (#26694) has been previously approved for the shared driveway on site. The change to a proposed commercial/industrial use requires the approval of a new MDOT entrance permit. The driveway has already been constructed and will not require any physical modifications.

An Assessment of Traffic Generation has been included in this application. The assessment includes the existing and proposed traffic generated from Lot 12-1 (storefront), with the addition of traffic from a maximum of 20 employees on Lot 12-2(cultivation). The total vehicle trip ends per day comes to 137, while the peak hour trip generation is 22. Both of these values are less than the requirement for a full traffic study.

The previously approved Entrance Permit allowed for a reduction in the Mobility Arterial sight distances from 990 ft to 802 ft in the northerly direction. We request that this waiver be included in the new Entrance Permit approval.

Respectfully yours,
CIVIL CONSULTANTS

Geoffrey Aleva, P.E.
Vice President

Enclosures: Plan Sheets, Traffic Assessment, Previous DOT Approval

J:\aaa\2017\1728702\DOT-PERMIT\NEW ENTRANCE PERMIT\SECTIONS\20200528-1728702-MDOT Memo.docx

JOSEPH W. NOEL
P.O. BOX 174
SOUTH BERWICK, MAINE 03908
(207) 384-5587

CERTIFIED SOIL SCIENTIST * WETLAND SCIENTIST * LICENSED SITE EVALUATOR

January 31, 2013

Mr. Douglas J. LaRosa
Tritech Engineering Corporation
755 Central Avenue
Dover, New Hampshire 03820

RE: Wetland Delineation, Dean Property, Tax Map R70 Lot 12, Portland Street
Berwick, Maine, JWN #12-125

Dear Doug:

In December of 2012, I examined the above referenced parcel in Berwick, Maine. The purpose of the site visit was to identify and flag the wetland boundaries.

To determine the wetland boundary, the methodology described in the U.S. Army Corps of Engineers document *Corps of Engineers Wetlands Delineation Manual* (1987) along with the required *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region*, (Version 2) were used. Wetlands were identified based on soils, vegetation, and hydrology. Except in special cases, all three factors (hydric soils, hydrophytic vegetation, and wetland hydrology) must be present for an area to classify as wetland. A predominance of wetland and upland vegetation was determined from visual estimates in the vegetative layers (herbaceous, shrub, sapling, and tree layers). Plant species indicator status was based on the U.S. Army Corps of Engineers publication *National Plant List* (2012).

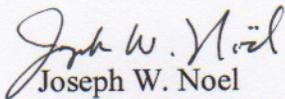
Shallow soil observations were made using a Montana sharpshooter shovel and Dutch auger to assess soil morphological features and to examine for wetland hydrology. Hydric soil determinations were conducted in accordance with the United States Department of Agriculture, Natural Resources Conservation Service document *Field Indicators of Hydric Soils in the United States, Version 7.0* (2010) along with the manual *Field Indicators for Identifying Hydric Soils in New England* (Version 3, April 2004).

The site was delineated with sequentially numbered pink flagging and pink wire flags along the wetland boundary (A1-4, B1-23, C1-5, D1-8, E1-17, & F1-9). These flags were survey located by Tritech Engineering Corporation and placed on the project plans.

It is important to note that statements in this report concerning wetlands apply to the site as of the time that this investigation was made. Subsequent changes in wetland regulations or boundary interpretations may require updating the wetland services.

I hope this information is sufficient for your planning purposes at this time. Please feel free to call with any questions or if you are in need of additional information.

Sincerely,



Joseph W. Noel
Maine Certified Soil Scientist #209
Wetland Scientist

SOIL PROFILE/CLASSIFICATION INFORMATION

Project Name:

Applicant Name:

Project Location (municipality)

JAMES & DIANNE DEAN

PORTLAND ROAD - BERWICK, MAINE

Observation Hole 1 Test Pit Boring

3 * Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
VERY FINE	FRIABLE	DARK YELLOWISH BROWN	NONE
FINE		OLIVE	COMMON
SANDY			DISTINCT
LOAM	FIRM	OLIVE GRAY	COMMON PROMINENT

Soil Classification: 8 Profile, E Condition
 Slope: ~2 %
 Limiting Factor: 7 "

Ground Water
 Restrictive Layer
 Bedrock
 Pit Depth

Observation Hole 2 Test Pit Boring

2 * Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
FINE SANDY	FRIABLE	DARK YELLOWISH	NONE
LOAM		BROWN	COMMON
SANDY		LIGHT OLIVE	DISTINCT
LOAM	FIRM	BROWN	

Soil Classification: 3 Profile, C Condition
 Slope: ~2 %
 Limiting Factor: 15 "

Ground Water
 Restrictive Layer
 Bedrock
 Pit Depth

Backhoe excavated test pits were conducted on January 21, 2013.

Observation Hole 3 Test Pit Boring

2 * Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
FINE SANDY	FRIABLE	DARK BROWN	NONE
LOAM		DARK YELLOWISH BROWN	
SANDY		YELLOWISH	COMMON
LOAM	FIRM	BROWN	DISTINCT

Soil Classification: 3 Profile, C Condition
 Slope: ~6 %
 Limiting Factor: 18 "

Ground Water
 Restrictive Layer
 Bedrock
 Pit Depth

Observation Hole 4 Test Pit Boring

2 * Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
FINE SANDY	FRIABLE	DARK BROWN	NONE
LOAM		DARK YELLOWISH BROWN	
		LIGHT OLIVE	COMMON
	FIRM	BROWN	DISTINCT

Soil Classification: 3 Profile, C Condition
 Slope: ~5 %
 Limiting Factor: 23 "

Ground Water
 Restrictive Layer
 Bedrock
 Pit Depth

Josh W. Nail
 Signature

221 209
 SE # SS#

1/23/13
 Date

CLASS A HIGH INTENSITY SOIL SURVEY

FOR

**JAMES & DIANNE DEAN
TAX MAP R70 LOT 12
PORTLAND STREET (ROUTE 4)
BERWICK, MAINE**

PREPARED FOR:

**TRITECH ENGINEERING CORPORATION
755 CENTRAL AVENUE
DOVER, NEW HAMPSHIRE 03820**

PREPARED BY:

**JOSEPH W. NOEL
P.O. BOX 174
SOUTH BERWICK, MAINE 03908**

**JANUARY 24, 2013
JWN #12-125**

JOSEPH W. NOEL
P.O. BOX 174
SOUTH BERWICK, MAINE 03908
(207) 384-5587

CERTIFIED SOIL SCIENTIST * WETLAND SCIENTIST * LICENSED SITE EVALUATOR

INTRODUCTION

PURPOSE

This report and the attached high intensity soil survey map were prepared to aid in the design of a three lot subdivision. The site consists of 7.25 acres situated on Portland Street (Route 4). The wetlands were delineated in December of 2012 (refer to wetland delineation letter for details).

The tract consists of a regularly maintained cut field on the western side of the parcel that contained both wetlands and uplands with small fringes of forested upland and wetland plant communities. The eastern side is dominated by a white pine stand with both wetlands and uplands.

SOIL SURVEY METHODS

Fieldwork was conducted in January of 2013 (test pits and soil mapping). Soil mapping procedures followed Maine Association of Professional Soil Scientists (MAPSS) guidelines (revised, March 2009). Six backhoe excavated test pits were conducted on January 21, 2013. The backhoe excavated test pit information was used for the dual purpose of "proving out" suitable areas for wastewater disposal and for generating the high intensity soil survey. Additional soil observations, which were solely for mapping purposes, were done using a Montana sharpshooter shovel and Dutch auger (no official test pits were conducted). The backhoe excavated test pits have been survey located by Trittech Engineering Corporation and placed on the project plans.

SOIL SURVEY CLASS

Soil surveys are divided into four levels or classes. For this project, a Class A (high intensity) level map was created. Characteristics of Class A maps include the following:

1. Map units will not contain dissimilar limiting individual inclusions larger than one-eighth acre. Dissimilar limiting inclusions may total more than one-eighth acre per map unit delineation, in the aggregate, if not contiguous.
2. Scale of 1 inch equals 100 feet or larger.
3. Ground control – base line and test pits for which detailed data is recorded are accurately located under the direction of a registered land surveyor or qualified professional engineer.
4. Base map with 2-foot contour lines with ground survey, or aerial survey with ground control.

SOIL MAP UNIT DESCRIPTIONS

Below are brief descriptions for each of the soil map units found on the site. A detailed summary chart of the map units' physical characteristics is attached.

- 1) Map Symbol: Co
Soil Series: Colonel

The Colonel series consist of deep, somewhat poorly drained soils formed in dense glacial till. These soils are in moderately low landscape positions adjacent to the wetlands and down slope from the Skerry soils. Typically, the topsoil is dark brown fine sandy loam, the subsoil is dark yellowish brown sandy loam, and the compact substratum is also sandy loam. The seasonal high water table is perched on the firm substratum and is less than 16 inches from the soil surface.

Soil Limitations

Colonel soils have moderate limitations for driveway and building construction. Only those areas with a seasonal high water table greater than 9 inches are suitable for wastewater disposal (outside of shoreland zone). These limitations can be overcome by intercepting and diverting water upslope of the project area, using coarse fill to raise foundation floors and driveways, and footing drains around the buildings.

- 2) Map Symbol: Rd (PD)
Soil Series: Roundabout (poorly drained)

The Roundabout series consist of deep poorly drained soils formed in lacustrine and marine deposits. These soils are found in wetland swales. Typically, the topsoil is very dark grayish brown very fine sandy loam, the subsoil is olive gray very fine sandy loam, and the substratum is firm stratified olive brown very firm fine sandy loam to silt loam. The seasonal high water table is less than 7 inches. Inclusions of the Scantic soils make up 10 percent of this mapping unit.

Soil Limitations

These soils have severe limitations to site development, primarily in terms of wetness and frost action. These soils are unsuitable for septic systems and should be avoided as much as possible for development. These soils are usually contained within the wetlands and their use is governed by local, state, and federal wetland regulations.

- 3) Map Symbol: Rd (SWPD)
Soil Series: Roundabout (somewhat poorly drained)

The Roundabout series consist of deep somewhat poorly drained soils formed in lacustrine and marine deposits. These soils are found in low-lying areas adjacent to the wetland areas. Typically, the topsoil is very dark grayish brown very fine sandy loam, the subsoil is olive

very fine sandy loam, and the substratum is firm stratified olive brown very firm fine sandy loam to silt loam. The seasonal high water table is between 7 and 16 inches. Inclusions of the Colonel soils make up 10 percent of this mapping unit.

Soil Limitations

These soils have severe limitations to site development, primarily in terms of wetness and frost action. These soils are typically unsuitable for septic systems and should be avoided as much as possible for development.

- 4) Map Symbol: Sk
Soil Series: Skerry

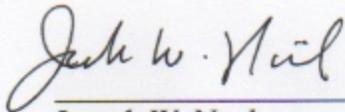
The Skerry series consist of deep, moderately well drained soil formed in dense glacial till. It is found on small drumlin shaped knolls. Typically, the surface horizon is a dark brown fine sandy loam 10 inches thick. The subsoil is 8 inches of a dark yellowish brown sandy loam. The substratum is a light olive brown sandy loam that is firm and restrictive in nature. Inclusions of the somewhat poorly drained Colonel soils make up 15 percent of these mapping units.

Soil Limitations

Skerry soils have moderate limitations for septic systems and for driveways and building construction that can be overcome by intercepting and diverting water upslope of the project area; by using fill to raise septic systems, foundation floors, and roads; and by footing drains around buildings.

SOIL MAP LIMITATIONS

The quality of the soil map produced is affected by the accuracy of the topographic information and the quality of ground control provided. Inaccuracies or deficiencies in the base map may be unknowingly reflected in the soil survey, particularly in the boundary line placement between soil map units. It also important to realize that this map was designed for the use in planning for a three lot subdivision and that it may not be adequate for other uses.



Joseph W. Noel
Maine Certified Soil Scientist #209
Wetland Scientist

SUMMARY OF MAP UNIT PHYSICAL CHARACTERISTICS

MAP SYMBOL	SOIL SERIES	DRAINAGE CLASS	HYDRIC SOIL	HYDRO-LOGIC GROUP	SLOPE CLASS	GEOLOGIC ORIGIN	TEXTURES	DEPTH TO BED-ROCK	MINERAL RESTRICTIVE HORIZON	LANDFORM	LANDSCAPE POSITION	FLOOD HAZARD
Co	Colonel	Somewhat poorly drained	No	C	A 0-3%	Till	Stony sandy loam	>40"	Yes	Gentle side slopes	Inter-mediate	None
Rd (PD)	Roundabout	Poorly drained	Yes	C	A, B 0-8%	Lacustrine marine	Silt loam	>40"	Yes	Subtle drainage way wetland	Low	None
Rd (SWPD)	Roundabout	Somewhat poorly drained	No	C	A, B 0-8%	Lacustrine marine	Silt loam	>40"	Yes	Subtle swales	Low	None
Sk	Skerry	Moderately well drained	No	C	B 3-8%	Till	Sandy loam	>40"	Yes	Till knolls	High to Inter-mediate	None

CIVIL CONSULTANTS MEMORANDUM

TO: Town of Berwick – Planning Board

FROM: Geoffrey R. Aleva, PE – Sr. Project Engineer

SUBJECT: Waiver Request Sections 7.5 and 7.8.5

DATE: MAY 29, 2020

**PROJECT: 1728702 – Site Plan Review Application for 357 & 359
Portland Street/Map R-70, Lot 12-1 & Lot 12-2**

We are requesting a waiver from the landscaping requirement for shielding of parking at non residential uses.

Land Use Section 7.5 (Landscaping), reads:

7.5. The landscape shall be preserved in its natural state insofar as practical by minimizing tree removal and grade changes in keeping with the general appearance of neighboring developed areas. Landscaping shall be designed to soften, screen, or enhance the physical design of structures and parking areas to avoid the encroachment of the proposed use on abutting land uses. All parking lots shall be landscaped along the property boundaries with shrubbery, trees and other landscape materials.

Land Use Section 7.8 (Off-Street Parking and Loading), item 5 reads:

7.8.5. Off-street parking and loading spaces for non-residential uses, where not enclosed within a building, shall be effectively screened from view by continuous landscaped area not less than six feet in height, unless waived by the Planning Board for expressed reasons, along exterior lot lines adjacent to residential properties and all public roads, except that driveways shall be kept open to provide visibility for entering and leaving. No off-street parking and loading shall be permitted within the front setback or any setback adjoining a public street, except as specifically authorized in this ordinance.

Proposed Justification:

It is our intention to keep the existing trees in the rear of the property to be used as natural screening. The tree line will be cut back to the southern property line and reduced from the front of the property to provide security through visibility around the building area. The remaining trees will stay outside of the developed areas.

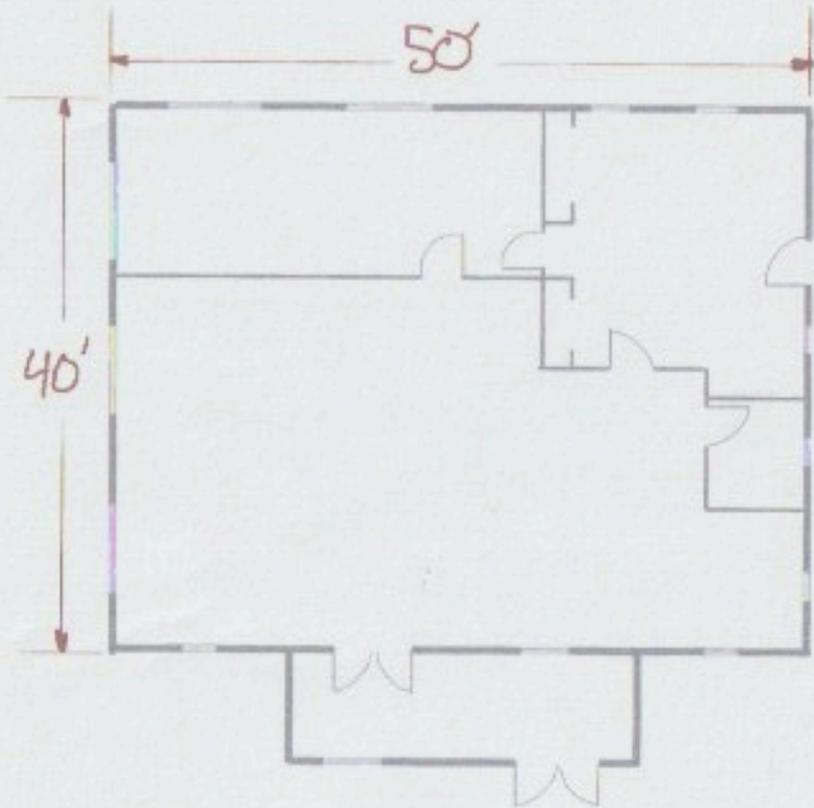
The proposed parking stalls are parallel to Portland Street to direct headlight glare away from the roadway. The stalls are more than 80 ft from the property line and 140 ft from the edge of Portland Street.

The intent of this waiver is to provide better visibility for potential security reasons on the property.

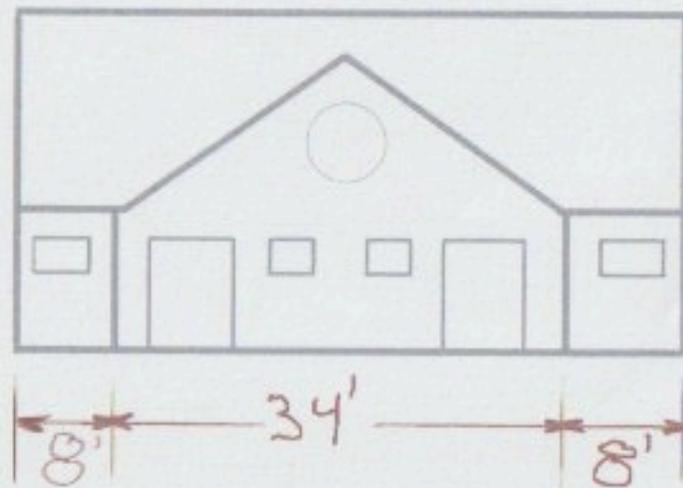
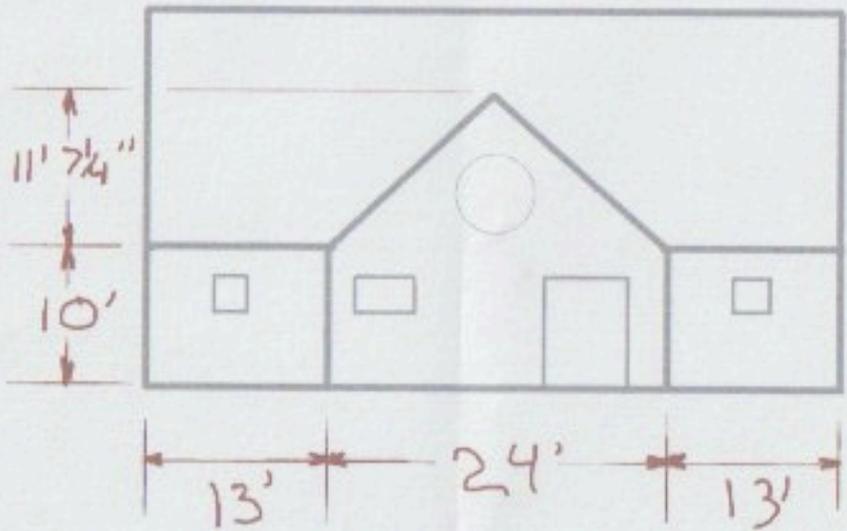
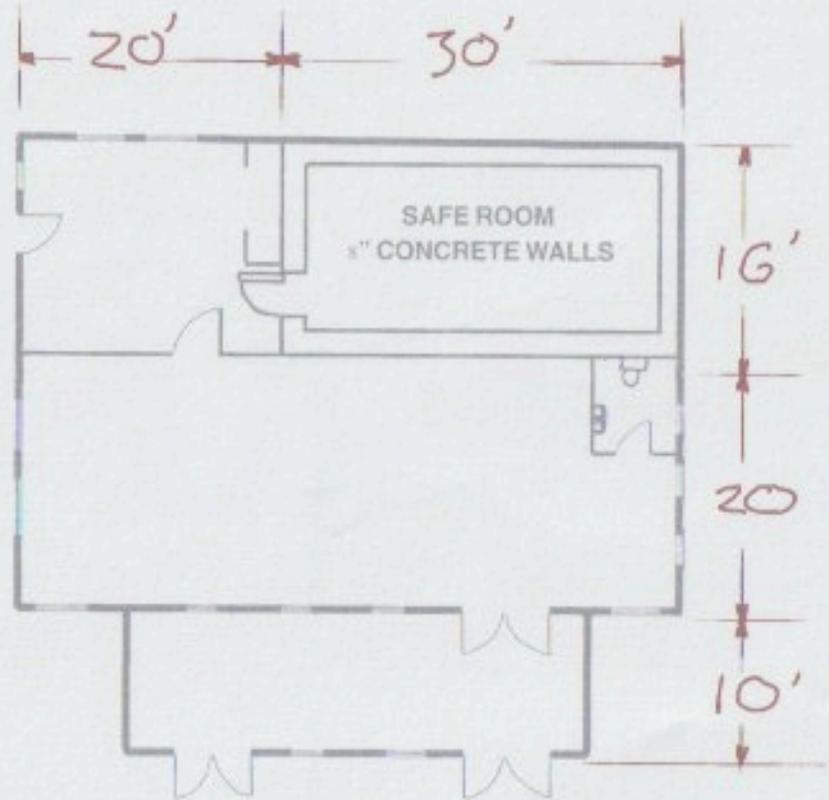
J:\aaa\2017\1728702\TOWN REVIEW\SITE PLAN REVIEW\20200529- WAIVER REQUESTS.docx



EXISTING BLDG



PROPOSED BLDG



PROJECT INFORMATION



GLOBAL PRE-ENGINEERED SOLUTIONS

SINGLE STORY SLAB ON GRADE COMMERCIAL BUILDING
 STEEL & CONCRETE STRUCTURE
 STEEL PARTITIONS WITH LINER PANEL

BUILDING INFORMATION

BUILDING AREA: 20,000SQFT
 BUILDING STORIES: 1
 BUILDING HEIGHT: 22'
 ROOF PITCH: .250 / 12

CHAPTER 3 (2015 IBC) - OCCUPANCY TYPE

STORAGE (S-1) USE GROUP

CHAPTER 5 - BUILDING HEIGHTS AND AREAS

SPACE IS WITHIN ALLOWABLE HEIGHT AND AREA

CHAPTER 6 - CONSTRUCTION

BUSINESS USE : TYPE 3B WAREHOUSE & STORAGE

CHAPTER 8 - INTERIOR FINISHES

INTERIOR FINISHES PROVIDED CLASS A & B

CHAPTER 9 - FIRE PROTECTION SYSTEMS

SMOKE/FLAME DETECTORS: HARD WIRED PROVIDED

ALARM SYSTEM: ADDRESSABLE

CHAPTER 10 - MEANS OF EGRESS

WAREHOUSE AREA 20,000GSF / 300GSF = 66 OCCUPANTS

TOTAL OCCUPANCY = 66 OCCUPANTS

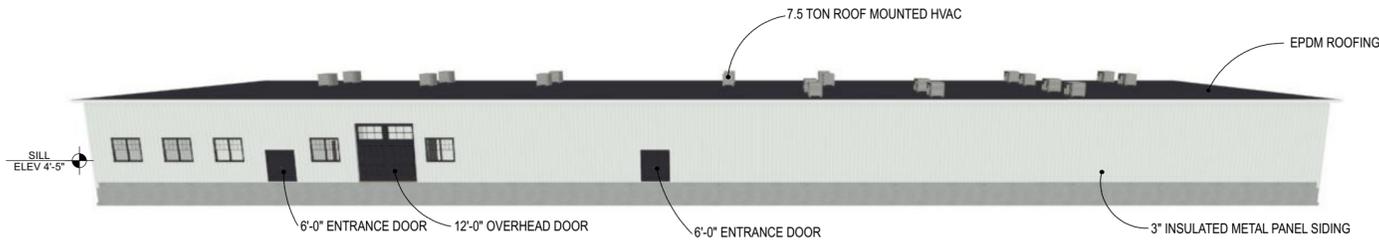
CHAPTER 11 - ACCESSIBILITY

BUILDING CONFORMS TO CHAPTER 11

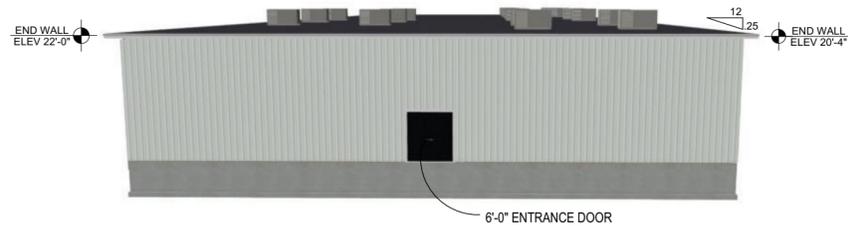
CHAPTER 29 PLUMBING SYSTEMS

(2) UNISEX BATHROOMS PROVIDED

1 MOP SINK IS PROVIDED



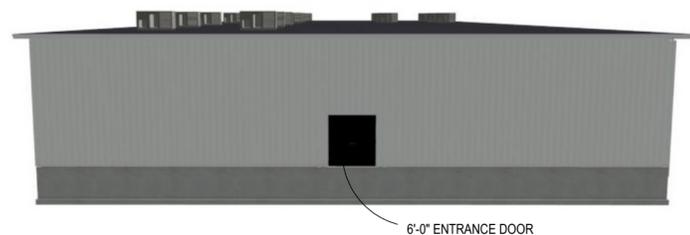
1 PORTLAND STREET ELEVATION



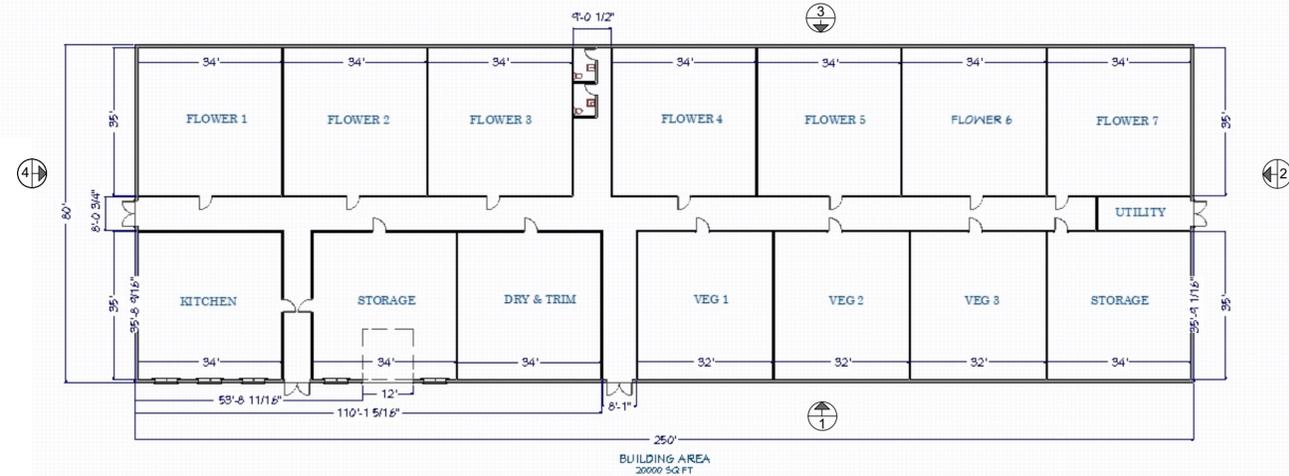
2 NORTH EAST FACING ELEVATION



3 REAR FACING ELEVATION



4 SOUTH WEST FACING ELEVATION



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
PRELIMINARY DESIGN

PROJECT DESCRIPTION:
 KIND FARMS RESERVE
 357 PORTLAND ST
 BERWICK, ME 03901

DRAWINGS PROVIDED BY:
 GLOBAL PRE-ENGINEERED SOLUTIONS LLC

DATE:
 5/4/20

SCALE:

SHEET:

PA1

N

TRITECH
ENGINEERING CORPORATION

MAP R-70
LOT 9-3
MARK L. CONANT
P.O. BOX 22102
PORTSMOUTH, N.H.
YCRD 15166-440

MAP R-70
LOT 9-2
DONALD & CATHERINE HEATH
355 BLACKBERRY HILL ROAD
BERWICK, MAINE
YCRD 1441-19

MAP R-70
LOT 13
DAVID & CINDY DOUCETTE LIVING TRUST
P.O. BOX 694
BERWICK, MAINE
YCRD 14980-524

MAP R-70
LOT 12-2
105,003 sq.ft.
2.411 acres

MAP R-70
LOT 9-1
ROBIN E. BLUNT
361 BLACKBERRY HILL ROAD
BERWICK, MAINE
YCRD 15742-214

MAP R-70
LOT 12-1
110,265 sq.ft.
2.531 acres

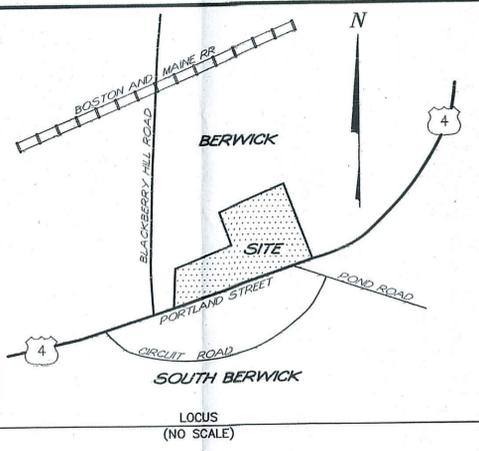
MAP R-70
LOT 12
103,636 sq.ft.
2.379 acres

MAP R-70
LOT 10
CARLTON CLARK
365 BLACKBERRY HILL ROAD
BERWICK, MAINE
YCRD 15743-345

MAP R-70
LOT 11
FREDERICK & RUTH DUNN
4 CIRCUIT ROAD
BERWICK, MAINE
YCRD 15102-423

MAP R-70
LOT 16-1
NORTHEAST CREDIT UNION
P.O. BOX 1240
PORTSMOUTH, N.H.
YCRD 15533-652

MAP R-70
LOT 21
LINDA B. MARKEY
13 CIRCUIT ROAD
BERWICK, MAINE
YCRD 16097-296



NOTES

- 1. INTENT: TO SUBDIVIDE TAX MAP R-70 LOT 12 INTO 3 LOTS.
2. CURRENT OWNER: JAMES III & DIANNE C. DEAN
3. TOTAL LOT AREA: 318,903 SQ.FT. = 7.321 ACRES.
4. TAX MAP R70 LOT 12.
5. PROJECT DEED REFERENCE: BOOK 1972 PAGE 659
6. ZONING: RC/1
7. BASIS OF BEARING: DETERMINED MAGNETICALLY IN MAY 2010.
8. THE RAW UNADJUSTED CLOSURE OF OUR RANDOM POINT TRAVERSE WAS GREATER THAN 1 PART IN 80,000 AND WAS ACCOMPLISHED USING A LEICA TC 703 TOTAL STATION, DURING THE MONTH OF JANUARY, 2013.
9. LOTS TO BE SERVICED BY ON-SITE SEPTICS SYSTEMS & INDIVIDUAL WELLS.
10. NO PORTION OF MAP R70 LOT 12 IS LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD (ZONE AE) FIRM PANEL NO. 230144 0008 B, DATED AUG. 5, 1991.
11. IN DECEMBER 2012, JOSEPH NOEL, MAINE CERTIFIED SOIL SCIENTIST #209, CONDUCTED AN ON SITE DELINEATION OF THE SUBJECT PARCEL. WETLANDS UNDER STATE AND FEDERAL JURISDICTION WERE IDENTIFIED BASED ON THE "CORPUS" OF ENGINEERS WETLANDS DELINEATION MANUAL (DEPT. OF THE ARMY 1987), EXCEPT IN SPECIAL CIRCUMSTANCES THESE CRITERIA REQUIRE THAT INDICATORS OF HYDRIC SOILS, HYDROPHYTIC VEGETATION AND WETLAND HYDROLOGY ALL BE PRESENT FOR AN AREA TO BE CONSIDERED A WETLAND.
12. PROJECT PLAN REFERENCE: MAINE STATE HIGHWAY COMMISSION RIGHT OF WAY MAP STATE HIGHWAY "4" BERWICK, YORK COUNTY JANUARY 1967 YCRD BOOK 52 PAGES 21 & 22
13. PLAN OF LAND WENTWORTH & MARILYN BRACKETT 5 CIRCUIT ROAD BERWICK, MAINE ROARING BROOK CONSULTANTS 9-15-95 YCRD BOOK 231 PAGE 15
14. AMENDED PLAN GRANT'S SETTLEMENT BLACKBERRY HILL ROAD BERWICK, MAINE CIVIL CONSULTANTS 6-1-95 YCRD BOOK 224 PAGE 20
15. RIGHT-OF-WAY AND TRACK MAP BOSTON AND MAINE RR OPERATED BY THE BOSTON AND MAINE RR JUNE 30, 1914 OFFICE OF VALUATION ENGINEER
16. PARCEL IS SUBJECT TO DRAINAGE AND SLOPE RIGHTS TO THE STATE OF MAINE AS DESCRIBED IN COMMISSIONER "NOTICE OF LAYOUT AND TAKING" RECORDED IN YCRD BOOK 1777 PAGE 111.
17. MAINE DEPARTMENT OF TRANSPORTATION DRIVEWAY/ENTRANCE PERMIT NUMBERS: 16 FT WIDE COMMON DRIVE: #12673, AND 24 FT WIDE: #12668.

CONDITIONS OF SUBDIVISION APPROVAL

- I. THE PROPOSED COMMON ACCESS WAY SHALL NOT BEAR PHONETIC RESEMBLANCE TO ANY PRE-EXISTING STREET NAME IN THE TOWN OF BERWICK.
III. THE PRIVATE DRIVEWAY BETWEEN LOTS 12-1 AND 12-2 SHALL HAVE A "PRIVATE MAINTENANCE" AGREEMENT WHICH SHALL BE RECORDED AT THE TIME OF THE SALE OF THE FIRST LOT
IV. WAIVER: ON FEBRUARY 7, 2013, THE TOWN OF BERWICK PLANNING BOARD GRANTED A WAIVER TO THE SUBDIVISION REGULATIONS, SECTION 6.34.24 & 25 REQUIRING A STORMWATER MANAGEMENT REPORT AND AN EROSION AND SEDIMENT CONTROL PLAN.
V. EROSION AND SEDIMENT CONTROL SHALL BE IMPLEMENTED DURING LOT DEVELOPMENT AND SHALL COMPLY WITH MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION STORMWATER MANAGEMENT RULES, CHAPTER 500, APPENDIX "A".

YORK ss REGISTRY OF DEEDS RECEIVED 26 2013 AT 3 H 18 M P.M. AND RECORDED IN BOOK 360 PAGE 4 ATTEST: Claude Dubois Deputy REGISTER

CERTIFICATION: I HEREBY CERTIFY THAT THIS SURVEY IS A STANDARD BOUNDARY SURVEY THAT CONFORMS TO THE MAINE BOARD OF REGISTRATION FOR LAND SURVEYOR STANDARDS, CATEGORY 1, CONDITION 1, WITH THE FOLLOWING EXCEPTIONS - SECTION 10, A. 3. b. (no written description); and A. 3. d. (no written report).

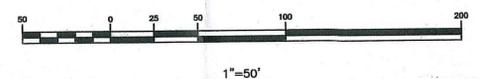
Kevin McInerney

LEGEND

- REBAR W/CAP SET
GRANITE BOUND FOUND
CONCRETE BOUND FOUND
WELL
UTILITY POLE
BUILDING SETBACK LINE
WIRE FENCE
REMNANT BARBED WIRE
STONEWALL
TREELINE
OVERHEAD ELECTRICAL LINE
TEST PIT

APPROVED FOR RECORD BERWICK PLANNING BOARD

3/21/13
3/21/13
3-21-13



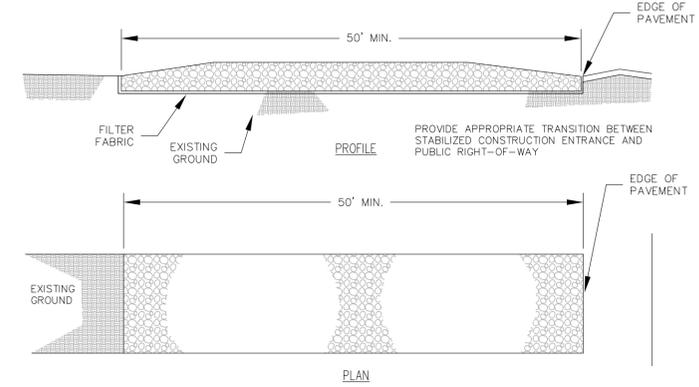
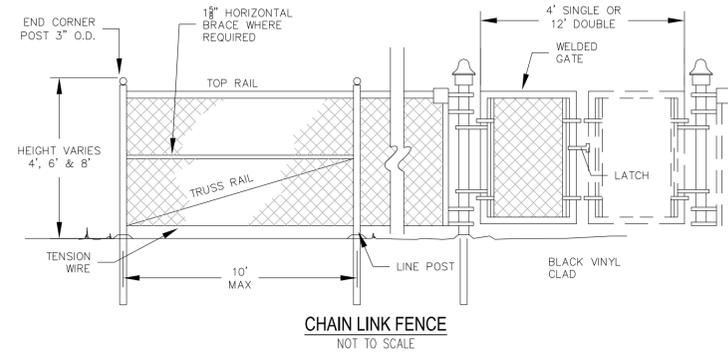
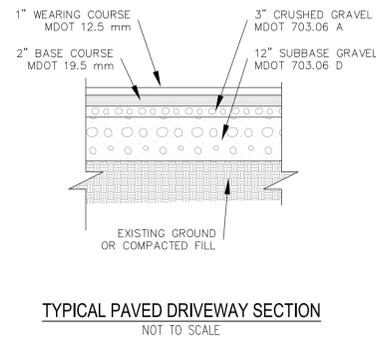
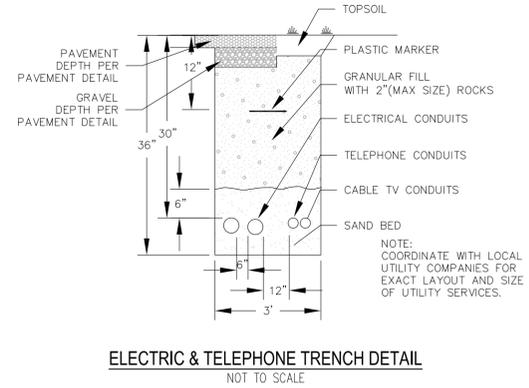
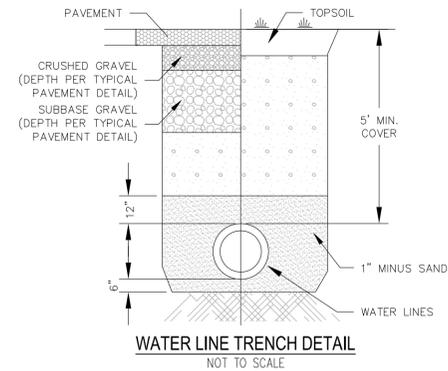
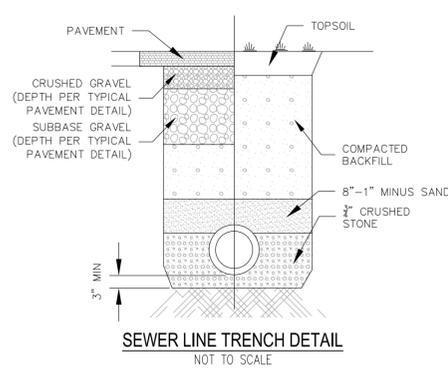
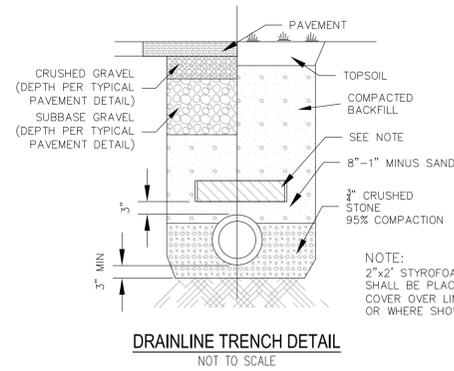
TRITECH ENGINEERING CORPORATION

Table with columns: REVISIONS, DATE, DESCRIPTION, GENERAL REVISIONS, REVISIONS PER CONDITIONS OF APPROVAL

Professional seal for Kevin M. McInerney, State of Maine, Professional Surveyor No. 10055.

SUBDIVISION PLAN OWNERS OF RECORD JAMES III & DIANNE C. DEAN PORTLAND STREET - ROUTE #4 BERWICK, MAINE JANUARY 24, 2013 JOB No. 1248 SCALE: 1" = 50'

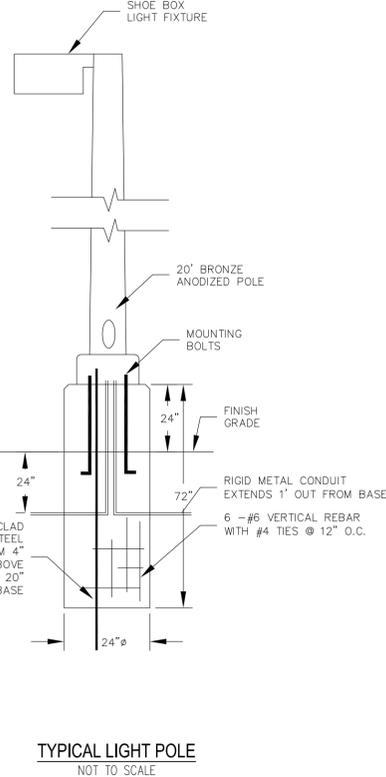
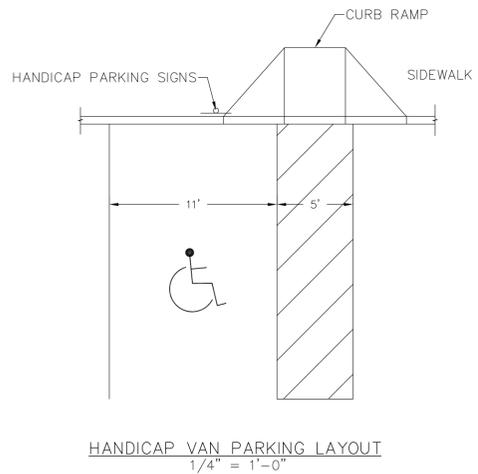
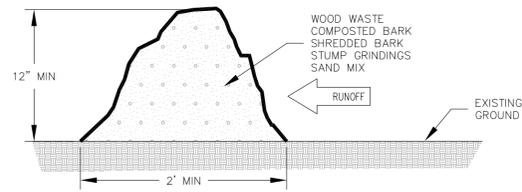
SHEET NO. S-1



CONSTRUCTION SPECIFICATIONS

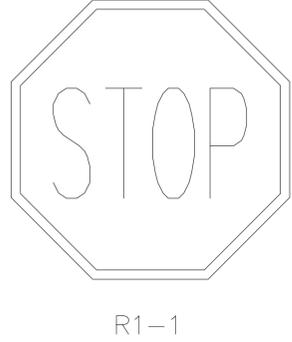
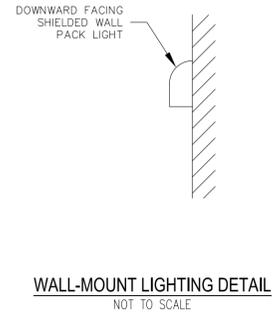
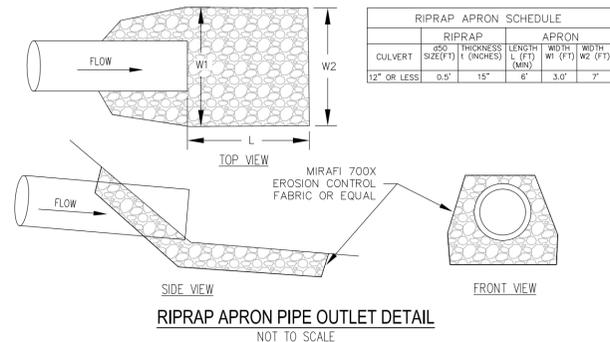
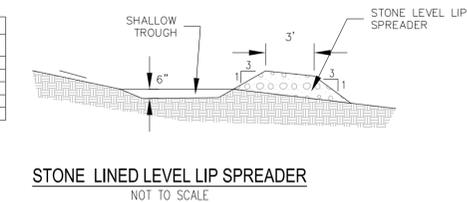
1. STONE SIZE - AASHTO DESIGNATION M43, SIZE NO 2 (2-1/2" TO 1-1/2"). USE CRUSHED STONE.
2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATER COURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS.
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED, ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

- NOTES:**
1. THIS BERM MAY BE USED IN PLACE OF FILTER FENCE WHERE APPLICABLE. THE MIXTURE OF THE BERM MATERIAL NEEDS TO BE A WELL-GRADE BLEND OF ORGANIC & MINERAL SUBSTANCE CONFORMING TO THE FOLLOWING STANDARDS:
 ORGANIC MATTER CONTENT: BETWEEN 80% AND 100%
 MOISTURE CONTENT: 30%-60%
 PH: BETWEEN 5.0 AND 8.0
 PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 5" SCREEN AND A MINIMUM OF 70% MAXIMUM OF 85% PASSING A 0.75" SCREEN.
 LARGE PORTION OF SILTS, CLAYS OR FINE SANDS ARE NOT ACCEPTABLE MIX
 2. THE BERM SHALL BE PLACED ALONG A RELATIVELY LEVEL CONTOUR WHEREVER POSSIBLE. THE EXISTING SURFACE MUST BE SCOURED AND THE MIXTURE KEYED IN LIKE ANY OTHER SEDIMENT CONTROL MEASURE.



BERM STONE SIZE	
SIEVE SIZE	# BY WEIGHT
12"	100
6"	84-100
3"	68-83
1"	42-55
#4	8-12

STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE



ISSUED FOR PERMIT N.F.C

5/29/2020

CIVIL CONSULTANTS
CIVIL CONSULTANTS
 Engineers
 Planners
 Surveyors
 P.O. Box 100
 South Berwick
 Maine
 03908
 207-384-2550
 www.civcon.com

NO.	REVISIONS	INT.	DATE

RECORD OWNER: PAPER BRCH PROPERTY, LLC
 OWNER ADDRESS: P.O. BOX 426, PORTLAND, ME 04112

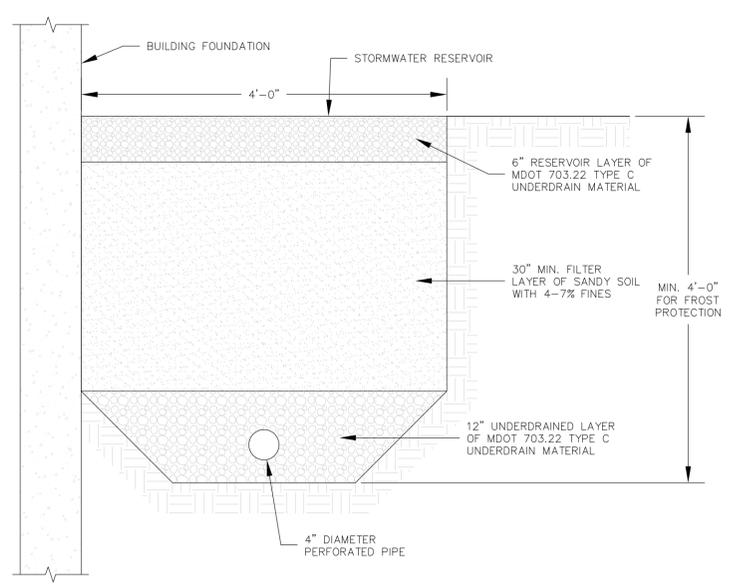
SITE PLAN DETAILS
357 & 359 PORTLAND STREET
BERWICK, MAINE

PREPARED FOR:
PAUL VENUITI
 P.O. BOX 426, PORTLAND, ME 04112

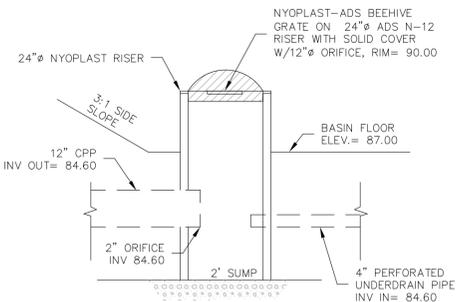
DATE: 05/29/2020
 DRAWN BY: DRC
 CHECKED BY: GRA
 APPROVED BY: GRA

DETAILS
 PROJECT NO: 17-287.02

L2
 SHEET: 2 OF 5



ROOF DRIPLINE FILTER SECTION
NOT TO SCALE



OVERFLOW STRUCTURE DETAIL
NOT TO SCALE

CONSTRUCTION SEQUENCE:

THE GENERAL SEQUENCE OF EVENTS FOR THE DEVELOPMENT OF THE SITE WILL BE AS FOLLOWS:

1. PRIOR TO COMMENCING ANY OPERATION ON THE SITE:
 - A. A PRE-CONSTRUCTION MEETING SHALL BE REQUIRED.
 - B. INSTALL TEMPORARY PERIMETER EROSION CONTROL DEVICES (SILT FENCES AND OR HAY BALE BARRIER) AS INDICATED.
2. CLEAR AND GRUB SITE AS REQUIRED.
3. CONSTRUCT DETENTION PONDS AND STORMWATER CONTROL STRUCTURES PRIOR TO ROUGH GRADING OF THE SITE. NOTE THAT ADEQUATE SEDIMENTATION CONTROL SHALL BE EMPLOYED TO PROTECT THE DETENTION PONDS UNTIL STABILIZATION.
4. ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
5. UTILITY AND PARKING LOT CONSTRUCTION SHALL PROCEED IN CONJUNCTION WITH SITE DEVELOPMENT. ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
6. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. AFTER GRASS HAS BEEN ESTABLISHED ON DISTURBED AREAS, CLEAN, REPAIR AND RESEED AS REQUIRED.
7. INSTALL SURFACE PAVEMENT AFTER ALL RECEIVING DITCHES, SWALES AND PONDS ARE SUFFICIENTLY STABILIZED.
8. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE TOWN STANDARDS. INSPECTION SHALL BE REQUIRED DURING CONSTRUCTION.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED
- A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED
- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
- OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED

NOTE THAT THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL DISTURBED AREA EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED. THE MAXIMUM LENGTH OF TIME THAT AN AREA MAY BE LEFT UNSTABILIZED IS 60 DAYS.

ISSUED FOR PERMIT N.F.C

5/29/2020

CIVIL CONSULTANTS
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NO.	REVISIONS	INT.	DATE

RECORD OWNER:
PAPER BRICH PROPERTY, LLC
OWNER ADDRESS:
P.O. BOX 426
PORTLAND, ME 04112

SITE PLAN DETAILS
357 & 359 PORTLAND STREET
BERWICK, MAINE

PREPARED FOR:
PAUL VENUITI
P.O. BOX 426, PORTLAND, ME 04112
CLIENT ADDRESS:

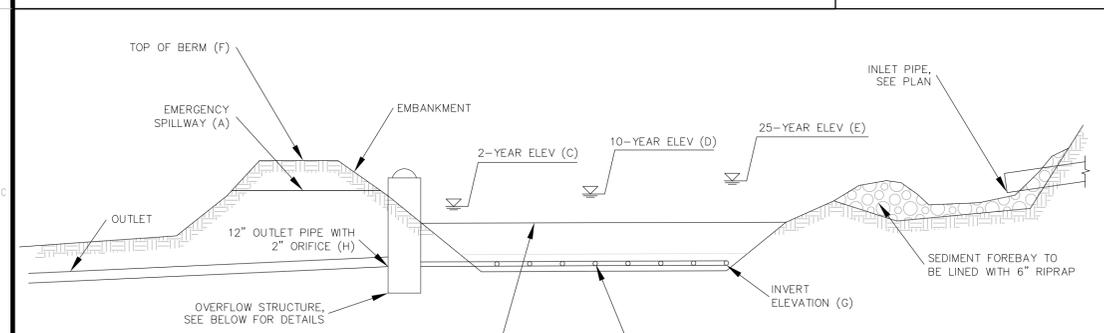
DATE: 05/29/2020
DRAWN BY: DRC
CHECKED BY: GRA
APPROVED BY: GRA

CONSTRUCTION DETAILS

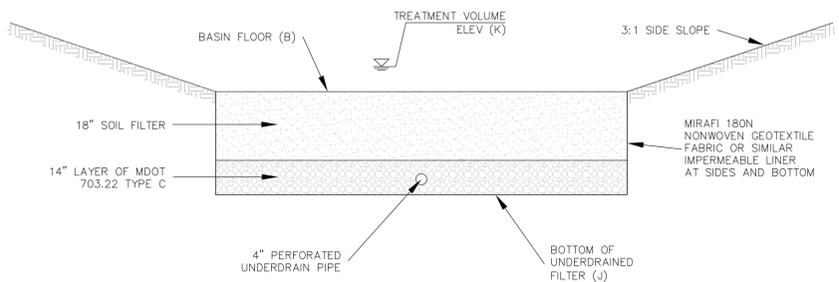
PROJECT NO: 17-287.02

L3

SHEET: 3 OF 5



ITEM	ELEVATION
A	90.50
B	87.00
C	88.35
D	89.58
E	90.12
F	92.50
G	84.83
H	84.60
J	84.33
K (PH1)	88.10
K (PH2)	88.05



GRASSED UNDERDRAINED SOIL FILTER DETAIL
NOT TO SCALE

MAINTENANCE PROCEDURES

THE FOLLOWING PROCEDURES WILL BE FOLLOWED FOR INITIAL AND LONG TERM MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES AT THIS SITE. NOTE: FOR THE PURPOSES OF THESE PROCEDURES, A MAJOR STORM IS ANY STORM THAT RESULTS IN 1/2" OF RUNOFF IN A 24 HOUR PERIOD. INSPECTION OF ALL EROSION CONTROL MEASURES WILL BE PERFORMED ON A WEEKLY BASIS AND AFTER MAJOR STORMS.

MAINTENANCE LOG

THE RESPONSIBLE PARTY SHALL ESTABLISH A MAINTENANCE LOG/PLAN FOR USE IN RECORDING MAINTENANCE ACTIVITIES. AS A MINIMUM, THE LOG SHALL INCLUDE THE DATE(S) OF ACTIVITIES, WHO PERFORMED THE DUTIES, WHAT WAS DONE (E.G. LOOKED AT DETENTION BERMS, CLEANED DROP INLETS, ETC.), THE RESULTS OF THE ACTIVITY (I.E. ALL STRUCTURES WERE IN GOOD SHAPE, OR, POND #10 NEEDS TO BE REPAIRED). IF ANY ITEM NEEDS TO BE REPAIRED, A FOLLOW-UP ENTRY SHALL SHOW THE DATE THAT REPAIRS WERE COMPLETED.

DETENTION BASINS & FILTRATION BASINS (INITIAL AND LONG TERM)

MAINTENANCE IS NECESSARY IF DETENTION BASINS ARE TO CONTINUE TO FUNCTION AS ORIGINALLY DESIGNED. THE RESPONSIBLE PARTY SHALL DESIGNATE AN INDIVIDUAL (OR COMPANY) TO MAINTAIN THE STRUCTURES AND THE BASIN AREA.

THE FOLLOWING MAINTENANCE SCHEDULE ARE ITEMS WHICH SHOULD BE CONSIDERED IN FORMULATING A MAINTENANCE PLAN:

- EMBANKMENT – EMBANKMENTS SHOULD BE INSPECTED ANNUALLY TO DETERMINE IF RODENT BURROWS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
- VEGETATION – THE VEGETATED AREAS OF STRUCTURES SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. LIME AND FERTILIZER SHOULD BE APPLIED AS NECESSARY AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHOULD BE KEPT OFF THE EMBANKMENT AND EMERGENCY SPILLWAY AREAS.
- INLETS – PIPE INLETS AND SPILLWAY STRUCTURES SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHOULD BE REMOVED. IF PIPES ARE COATED, THE COATING SHOULD BE CHECKED AND REPAIRED AS NECESSARY.
- OUTLETS – PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. EROSION TAKING PLACE THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
- SEDIMENT – SEDIMENT SHOULD BE CONTINUALLY CHECKED IN THE BASIN. WHEN SEDIMENT ACCUMULATES TO THE PREDETERMINED DESIGN ELEVATION, THEN THE SEDIMENT SHOULD BE REMOVED AND PROPERLY DISPOSED OF.
- SAFETY INSPECTIONS – ALL BERMS OVER 2' IN HEIGHT SHALL BE INSPECTED BY A QUALIFIED PROFESSIONAL ENGINEER EVERY 5 YEARS. THE DESIGNATED INDIVIDUAL SHOULD ALSO MAKE INSPECTIONS AFTER EVERY MAJOR STORM EVENT.
- DRAWDOWN (FILTRATION ONLY) – FILTRATION BMPs SUCH AS GRAVEL WETLANDS, SAND FILTERS AND BIORETENTION BASINS SHALL BE INSPECTED AFTER ALL STORM EVENTS TO ENSURE THAT PONDED WATER IS NOT PRESENT AFTER 48 HOURS. IF THE DRAWDOWN EXCEEDS 48 HOURS BED WILL REQUIRE REPLACEMENT AND REPLANTING.

LAND GRADING AND SLOPE STABILIZATION (INITIAL)

ALL SLOPES SHOULD BE CHECKED PERIODICALLY TO SEE THAT VEGETATION IS IN GOOD CONDITION. ANY RILLS OR DAMAGE FROM EROSION AND ANIMAL BURROWING SHOULD BE REPAIRED IMMEDIATELY TO AVOID FURTHER DAMAGE. IF SEEPS DEVELOP ON THE SLOPES, THE AREA SHOULD BE EVALUATED TO DETERMINE IF THE SEEP WILL CAUSE AN UNSTABLE CONDITION. SUBSURFACE DRAINS OR GRAVEL MULCHING MAY BE REQUIRED TO SOLVE SEEP PROBLEMS. DIVERSIONS, BERMS, AND WATERWAYS IN THE LAND GRADING AREA SHOULD BE CHECKED TO SEE THAT THEY ARE FUNCTIONING PROPERLY. PROBLEMS FOUND DURING THE INSPECTIONS SHOULD BE REPAIRED. AREAS REQUIRING RE-VEGETATION SHOULD BE REPAIRED. SLOPES AND ASSOCIATED PRACTICES UTILIZING VEGETATION SHOULD BE LIMED AND FERTILIZED AS NECESSARY TO KEEP THE VEGETATION HEALTHY. ENCROACHMENT OF UNDESIRABLE VEGETATION SUCH AS WEEDS AND WOODY GROWTH THAT IS NOT PLANNED SHOULD BE CONTROLLED TO AVOID PROBLEMS OF BANK STABILITY IN THE FUTURE.

OUTLET PROTECTION

OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

ROCK RIPRAP (INITIAL & LONG TERM)

ROCK RIPRAP SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY BEFORE FURTHER DAMAGE CAN TAKE PLACE. WOODY VEGETATION SHOULD BE REMOVED FROM THE ROCK RIPRAP ANNUALLY BECAUSE TREE ROOTS WILL EVENTUALLY DISLODGE THE ROCK RIPRAP. IF THE RIPRAP IS ON A CHANNEL BANK, THE STREAM SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT BARS THAT MAY CHANGE FLOW PATTERNS WHICH COULD DAMAGE OR DISPLACE THE RIPRAP. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE RIPRAP.

STORM DRAIN INLET PROTECTION

ALL STRUCTURES SHALL BE INSPECTED AFTER SIGNIFICANT RAIN EVENTS AND REPAIRED AS NEEDED.

SEDIMENT SHALL BE REMOVED AND THE STORMDRAIN SEDIMENT BARRIER RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.

STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

ALL CATCHBASINS AND STORMDRAIN INLETS SHALL BE CLEANED AT THE END OF CONSTRUCTION AND AFTER THE SITE HAS BEEN FULLY STABILIZED.

STRAW OR HAY BALE BARRIER, SILT FENCE AND FILTER BERM

HAY BALE BARRIERS, SILT FENCES AND FILTER BERMS SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OF THE EDGES OF THE BARRIER, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE BARRIER.

FILTER BERMS SHOULD BE RESHAPED AS NEEDED.

SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHOULD BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

TEMPORARY CHECK DAMS

REGULAR INSPECTIONS MUST BE MADE TO ENSURE THAT THE CENTER OF THE CHECK DAM IS LOWER THAN THE EDGES. EROSION CAUSED BY HIGH FLOWS AROUND THE EDGES OF THE CHECK DAM MUST BE CORRECTED. IF EVIDENCE OF SILTATION IN THE WATER IS APPARENT DOWNSTREAM OF THE CHECK DAM, THE CHECK DAM MUST BE INSPECTED AND ADJUSTED.

CHECK DAMS MUST BE CHECKED FOR SEDIMENT ACCUMULATION AFTER EACH SIGNIFICANT RAINFALL. SEDIMENT MUST BE REMOVED WHEN IT REACHES ONE HALF THE ORIGINAL HEIGHT OF BEFORE.

IF IT POSSIBLE, LEAVE THE CHECK DAM IN PLACE PERMANENTLY. ANOTHER OPTION IS TO SPREAD STONE OR HAY ALONG THE DITCH INVERT TO PROVIDE ADDITIONAL PROTECTION. IN TEMPORARY DITCHES AND SWALES, CHECK DAMS MUST BE REMOVED WHEN A PERMANENT LINING HAS BEEN ESTABLISHED. CHECK DAMS MUST BE REMOVED FROM A GRASS-LINED DITCH WAIT UNTIL THE GRASS HAS MATURED TO PROTECT THE DITCH OR SWALE. THE AREA BENEATH THE CHECK DAM MUST BE SEEDED AND MULCHED AFTER THEY ARE REMOVED.

STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD)

THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHALL BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL AND REDISTRIBUTED ON SITE IN A STABLE MANNER. THE ENTRANCE SHOULD THEN BE RECONSTRUCTED. THE CONTRACTOR SHALL SWEEP OR WASH PAVEMENT AT EXITS, WHICH HAVE EXPERIENCED MUD-TRACKING ONTO THE PAVEMENT OR TRAVELED WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES OR WATERWAYS.

CULVERTS

UNDERGROUND CULVERTS MUST BE MAINTAINED BY KEEPING INLETS, TRASH GUARDS, AND COLLECTION BOXES AND STRUCTURES CLEAN AND FREE OF MATERIALS THAT CAN REDUCE THE FLOW. ALL LEAKS SHALL BE REPAIRED TO ENSURE PROPER FUNCTIONING OF THE CULVERT. ANIMAL GUARDS MUST BE INSPECTED AND MAINTAINED IN PROPER WORKING ORDER.

ROAD DITCH TURN OUT

AFTER CONSTRUCTION, DITCH TURNOUTS NEED TO BE CAREFULLY INSPECTED FOR ANY SIGNS OF CHANNELIZATION AND REPAIRED. IT WILL BE NECESSARY TO REMOVE SEDIMENT FROM THE DITCH TURNOUT TRENCH WHEN THE SWALE IS FULL AND THE STRUCTURE IS NO LONGER FUNCTIONING PROPERLY.

VEGETATED SWALE

TIMELY MAINTENANCE IS IMPORTANT TO KEEP THE VEGETATION IN THE SWALE IN GOOD CONDITION. MOWING SHOULD BE DONE FREQUENTLY ENOUGH TO KEEP THE VEGETATION IN VIGOROUS CONDITION AND TO CONTROL ENCROACHMENT OF WEEDS AND WOODY VEGETATION, HOWEVER IT SHOULD NOT BE MOWED TOO CLOSELY SO AS TO REDUCE THE FILTERING EFFECT. FERTILIZE ON AN "AS NEEDED" BASIS TO KEEP THE GRASS HEALTHY. OVER FERTILIZATION CAN RESULT IN THE SWALE BECOMING A SOURCE OF POLLUTION.

THE SWALE SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE THE CONDITION OF THE SWALE, RILLS AND DAMAGED AREAS SHOULD BE PROMPTLY REPAIRED AND RE-VEGETATED AS NECESSARY TO PREVENT FURTHER DETERIORATION.

PROJECT MAINTENANCE ITEMS: THE DEVICES THAT WILL REQUIRE MAINTENANCE FOR THIS PROJECT ARE: GRAVEL WETLAND, OUTLET PROTECTION, ROCK RIPRAP, STABILIZED CONSTRUCTION ENTRANCE, CULVERT AND VEGETATED SWALE.

OVERWINTER CONSTRUCTION

THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15. IF THE CONSTRUCTION OR SITE IS NOT STABILIZED BY NOVEMBER 15, GRAVEL BASE, 75% MATURE VEGETATION COVER OR RIPRAP BY NOVEMBER 15 THEN THE SITE NEEDS TO BE PROTECTED WITH OVER WINTER STABILIZATION. AN AREA CONSIDERED OPEN IS ANY AREA NOT STABILIZED WITH PAVEMENT, VEGETATION, MULCHING, EROSION CONTROL MATS, RIPRAP OR GRAVEL BASE ON A ROAD.

WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDER TAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. ALL AREA SHALL BE CONSIDERED TO BE DENUDED UNTIL THE SUBGRADE GRAVEL IS INSTALLED IN ROADWAY AREAS OR THE AREAS OF FUTURE LOAM AND SEED HAVE BEEN LOAMED, SEEDED AND MULCHED. A COVER OF EROSION CONTROL MIX PERFORMS THE BEST.

ANY ADDED MEASURES, WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION, MUST BE INSTALLED. THESE MAY BE DEPENDENT UPON SITE CONDITIONS, THE ACTUAL SITE SIZE AND WEATHER CONDITIONS.

TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION, CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED.

1. NATURAL RESOURCES PROTECTION

AREAS WITHIN 100 FEET FROM ANY NATURAL RESOURCES, IF NOT STABILIZED WITH A MINIMUM OF 75% MATURE VEGETATION CATCH, SHALL BE MULCHED BY DECEMBER 1 AND ANCHORED WITH PLASTIC NETTING OR PROTECTED WITH AN EROSION CONTROL COVER.

DURING WINTER CONSTRUCTION, A DOUBLE ROW OF SEDIMENT BARRIERS (I.E. SILT FENCE BACKED WITH HAY BALES OR EROSION CONTROL MIX) WILL BE PLACED BETWEEN ANY NATURAL RESOURCE AND THE DISTURBED AREA. PROJECTS CROSSING THE NATURAL RESOURCE SHALL BE PROTECTED A MINIMUM DISTANCE OF 100 FEET ON EITHER SIDE FROM THE RESOURCE. EXISTING PROJECTS NOT STABILIZED BY DECEMBER 1 SHALL BE PROTECTED WITH THE SECOND LINE OF SEDIMENT BARRIER TO ENSURE FUNCTIONALITY DURING THE SPRING THAW AND RAINS.

2. SEDIMENT BARRIERS

DURING FROZEN CONDITIONS, SEDIMENT BARRIERS MAY CONSIST OF EROSION CONTROL MIX BERMS OR ANY STRAW OR HAY MATS. BARRIERS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF HAY BALES AND SEDIMENT SILT FENCES.

3. MULCHING

ALL AREA SHALL BE CONSIDERED TO BE DENUDED UNTIL SEEDED AND MULCHED. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 150 LB. PER 1,000 SQUARE FEET OR 3 TONS/ACRE (TWICE THE NORMAL ACCEPTED RATE OF 75 LBS./1,000 S.F. OR 1.5 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. EROSION CONTROL MIX MUST BE APPLIED WITH A MINIMUM 4 INCH THICKNESS.

MULCH SHALL NOT BE SPREAD ON TOP OF SNOW. THE SNOW WILL BE REMOVED DOWN TO A ONE INCH DEPTH OR LESS PRIOR TO APPLICATION.

AFTER EACH DAY OF FINAL GRADING, THE AREA WILL BE PROPERLY STABILIZED WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MATTING.

AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED OR ADEQUATELY ANCHORED SO THAT GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH.

BETWEEN THE DATES OF NOVEMBER 1 AND APRIL 15, ALL MULCH SHALL BE ANCHORED BY EITHER MULCH NETTING, ASPHALT EMULSION CHEMICAL, TRACK OR WOOD CELLULOSE FIBER. THE COVER BE CONSIDERED SUFFICIENT WHEN THE GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH.

AFTER NOVEMBER 1ST, MULCH AND ANCHORING OF ALL EXPOSED SOIL SHALL OCCUR AT THE END OF EACH FINAL GRADING WORKDAY.

4. SOIL STOCKPILES

STOCKPILES OF SOIL OR SUBSOIL MUST BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A FOUR-INCH LAYER OF EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND REESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. ANY SOIL STOCKPILE WILL NOT BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100 FEET FROM ANY NATURAL RESOURCES.

5. SEEDING
BETWEEN THE DATES OF OCTOBER 15 AND APRIL 15T, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES FINISHED AREAS SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINE GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED.

DORMANT SEEDING MAY BE SELECTED TO BE PLACED PRIOR TO THE PLACEMENT OF MULCH AND EROSION CONTROL. IF DORMANT SEEDING IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL RECEIVE 4' OF LOAM AND SEED AT AN APPLICATION RATE OF 5LBS/1,000 S.F. ALL AREAS SEEDED DURING THE WINTER WILL BE INSPECTED IN THE SPRING FOR ADEQUATE CATCH. ALL AREAS INSUFFICIENTLY VEGETATED (LESS THAN 75% CATCH) SHALL BE REVEGETATED BY REPLACING LOAM, SEED AND MULCH. IF A CHECK DAM IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL BE REVEGETATED IN THE SPRING.

OVERWINTER STABILIZATION

1. STABILIZATION OF DITCHES AND CHANNELS

ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15. IF A DITCH OR CHANNEL IS NOT GRASS-LINED BY OCTOBER 15, THEN ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE DITCH FOR LATE FALL AND WINTER. **INSTALL A SOD LINING IN THE DITCH:** A DITCH MUST BE LINED WITH PROPERLY INSTALLED SOD BY OCTOBER 15. PROPER INSTALLATION INCLUDES: PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL, AND ANCHORING THE SOD AT THE BASE OF THE DITCH WITH JUTE OR PLASTIC MESH TO PREVENT THE SOD FROM SLOUGHING DURING FLOW CONDITIONS.

INSTALL A STONE LINING IN THE DITCH: A DITCH MUST BE LINED WITH STONE RIPRAP BY OCTOBER 15. A REGISTERED PROFESSIONAL ENGINEER MUST BE HIRED TO DETERMINE THE STONE SIZE AND LINING THICKNESS NEEDED TO WITHSTAND THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHIN THE DITCH. IF NECESSARY, THE CONTRACTOR WILL REGRADE THE DITCH PRIOR TO PLACING THE STONE LINING SO TO PREVENT THE STONE LINING FROM REDUCING THE DITCH'S CROSS-SECTIONAL AREA.

2. STABILIZATION OF DISTURBED SLOPES

ALL STONE-COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL SLOPES TO BE VEGETATED MUST BE SEEDED AND MULCHED BY OCTOBER 15. THE DEVELOPER SHALL CONSIDER ANY AREA HAVING A GRADE GREATER THAN 15% TO BE A SLOPE. IF A SLOPE TO BE VEGETATED IS NOT STABILIZED BY OCTOBER 15, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.

STABILIZE THE SOIL WITH TEMPORARY VEGETATION AND EROSION CONTROL MATS: BY SEPTEMBER 15, THE DISTURBED SLOPE MUST BE SEEDED WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET AND THEN INSTALL EROSION CONTROL MATS OR ANCHORED MULCH OVER THE SEEDING. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR FAILS TO COVER AT LEAST 85% OF THE SLOPE BY OCTOBER 15, THEN THE CONTRACTOR WILL COVER THE SLOPE WITH A LAYER OF EROSION CONTROL MIX OR WITH STONE RIPRAP AS DESCRIBED IN THE FOLLOWING STANDARDS.

STABILIZE THE SOIL WITH SOD: THE DISTURBED SLOPE MUST BE STABILIZED WITH PROPERLY INSTALLED SOD BY OCTOBER 15. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE CONTRACTOR WILL NOT USE LATE-SEASON SOD INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% (3H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.

STABILIZE THE SOIL WITH EROSION CONTROL MIX: EROSION CONTROL MIX MUST BE PROPERLY INSTALLED BY NOVEMBER 15. THE CONTRACTOR WILL NOT USE EROSION CONTROL MIX TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% (2H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.

STABILIZE THE SOIL WITH STONE RIPRAP: PLACE A LAYER OF STONE RIPRAP ON THE SLOPE BY NOVEMBER 15. THE DEVELOPMENT'S OWNER WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIPRAP.

3. STABILIZATION OF DISTURBED SOILS

STABILIZE THE SOIL WITH TEMPORARY VEGETATION: BY SEPTEMBER 15, SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3-LBS PER 1,000 SQUARE FEET. LIGHTLY MULCH THE SEED WITH HAY OR STRAW (75-LBS PER 1,000 SQUARE FEET) AND ANCHOR THE MULCH WITH PLASTIC NETTING. MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE OCTOBER 15, THEN MULCH THE AREA FOR OVERWINTER PROTECTION AS DESCRIBED BELOW.

STABILIZE THE SOIL WITH SOD: STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY OCTOBER 15. PROPER INSTALLATION INCLUDES PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.

STABILIZE THE SOIL WITH MULCH: BY NOVEMBER 15, MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150-LBS PER 1,000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH IMMEDIATELY AFTER APPLYING THE MULCH. ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF OF THE DISTURBED SOIL.

AREAS WITHIN 75' OF ANY STREAM OR WETLAND SHALL RECEIVE TEMPORARY STABILIZATION WITHIN 2 DAYS BEFORE ANY SIGNIFICANT RAINFALL.

4. STABILIZATION OF ROAD OR PARKING SURFACES

AFTER NOVEMBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

MAINTENANCE

MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION SEASON. AFTER EACH RAINFALL, SNOW STORM OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUOUS FUNCTION.

FOLLOWING THE TEMPORARY AND OR FINAL SEEDING AND MULCHING, THE CONTRACTOR SHALL IN THE SPRING INSPECT AND REPAIR ANY BARE SPOTS. AN ESTABLISHED VEGETATIVE COVER MEANS A MINIMUM OF 85% TO 90% OF AREAS VEGETATED WITH VIGOROUS GROWTH.

STABILIZATION SCHEDULE BEFORE WINTER

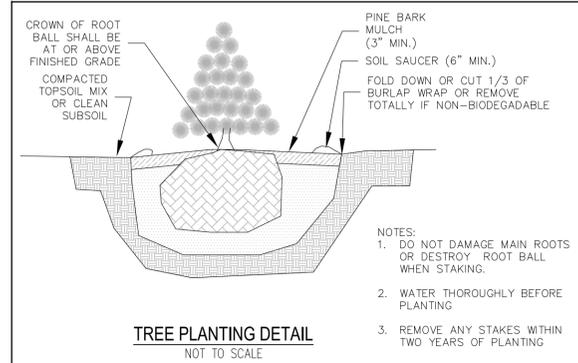
SEPTEMBER 15 ALL DISTURBED AREAS MUST BE SEEDED AND MULCHED. ALL SLOPES MUST BE STABILIZED, SEEDED AND MULCHED.

OCTOBER 15 IF THE SLOPE IS STABILIZED WITH AN EROSION CONTROL BLANKET AND SEEDED, ALL DISTURBED AREAS TO BE PROTECTED WITH ANNUAL GRASS MUST BE SEEDED AT A SEEDING RATE OF 3-LBS PER 1,000 SQUARE FEET AND MULCHED.

NOVEMBER 1 ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED. SLOPES THAT ARE COVERED WITH RIPRAP MUST BE CONSTRUCTED BY THIS DATE.

DECEMBER 1 ALL DISTURBED AREAS WHERE GROWTH OF VEGETATION FAILS TO BE AT LEAST THREE INCHES TALL OR AT LEAST 85% OF THE DISTURBED SOIL IS COVERED BY VEGETATION, MUST BE PROTECTED FOR OVER-WINTER.

GRADATION OF TRENCH/CATCH BASIN BACKFILL	PERCENT BY WEIGHT PASSING STANDARD SEIVE
3"	100
1/2"	50 TO 85
4	40 TO 75
40	10 TO 35
200	0 TO 8



PERMANENT SEEDING

SITE PREPARATION:

INSTALL NEEDED EROSION AND SEDIMENT CONTROL MEASURES SUCH AS

- SILTATION BARRIERS, DIVERSIONS, AND SEDIMENT TRAPS.
- GRADE AS NEEDED FOR THE ACCESS OF EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
- RUNOFF SHOULD BE DIVERTED FROM THE SEEDED AREA.
- ON SLOPES 4:1 OR STEEPER, THE FINAL PREPARATION SHOULD INCLUDE CREATING HORIZONTAL GROOVES PERPENDICULAR TO THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF.

SEEDBED PREPARATION:

- WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
- REMOVE FROM THE SURFACE ALL STONES 2 INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, CONCRETE, CLOS, LUMPS, TRASH OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE TILLED AND FIRMED AS ABOVE.
- WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
- IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING SEASON.

APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHOR FERTILIZER (N-P205-K20) OR EQUIVALENT. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).

FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 FEET AND 250 FEET FROM A SURFACE WATER BODY. NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED. IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING SEASON.

EROSION AND SEDIMENT CONTROL PRACTICES

- NO SOIL SHALL BE DISTURBED DURING THE PERIOD OF MARCH 1 THROUGH APRIL 15 UNLESS APPROVED BY THE ENGINEER, NOR DURING ANY OTHER PERIOD WHEN SOILS ARE SATURATED DUE TO RAIN OR SNOW MELT.
- DISTURBED SOILS SHALL BE STABILIZED WITHIN ONE (1) WEEK FROM THE TIME IT WAS LAST ACTIVELY WORKED USING TEMPORARY OR PERMANENT MEASURES SUCH AS PLACEMENT OF RIPRAP, MULCH OR EROSION CONTROL BLANKET, OR OTHER COMPARABLE MEASURES.
- HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF AT LEAST ONE (1) BALE PER 500 SQUARE FEET (1-2 TONS PER ACRE).
- IF MULCH IS LIKELY TO BE REMOVED DUE TO STEEP SLOPES OR WIND, IT SHALL BE ANCHORED WITH NETTING, PEG OR TWINE, OR OTHER SUITABLE METHOD AND SHALL BE MAINTAINED UNTIL A CATCH OF VEGETATION IS ESTABLISHED OVER THE ENTIRE DISTURBED AREA.
- IN ADDITION TO PLACEMENT OF RIPRAP, MULCH OR EROSION CONTROL BLANKETS, ADDITIONAL STEPS SHALL BE TAKEN WHERE NECESSARY IN ORDER TO PREVENT SEDIMENTATION OF THE WATER. EVIDENCE OF SEDIMENTATION INCLUDES VISIBLE GULLY EROSION, DISCOLORATION OF WATER BY SUSPENDED PARTICLES AND SLUMPING OF BANKS, SILT FENCES, STAKED HAY BALES AND OTHER SEDIMENTATION CONTROL MEASURES, WHERE PLANNED FOR, SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF WORK, BUT SHALL ALSO BE INSTALLED WHEREVER NECESSARY DUE TO SEDIMENTATION.
- MULCH OR OTHER TEMPORARY MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED WITH VEGETATION OR OTHER PERMANENT CONTROL MEASURES AFTER WHICH TEMPORARY MEASURES WILL BE REMOVED.
- PERMANENT RE-VEGETATION OF ALL DISTURBED AREAS, USING NATIVE PLANT MATERIAL WHEN POSSIBLE, SHALL OCCUR WITHIN 30 DAYS FROM THE TIME THE AREAS WERE LAST ACTIVELY WORKED, OR FOR FALL AND WINTER ACTIVITIES, BY JUNE 15, EXCEPT WHERE PRECLUDED BY THE TYPE OF ACTIVITY (E.G. RIPRAP, ROAD SURFACES, ETC.). THE VEGETATIVE COVER SHALL BE MAINTAINED.

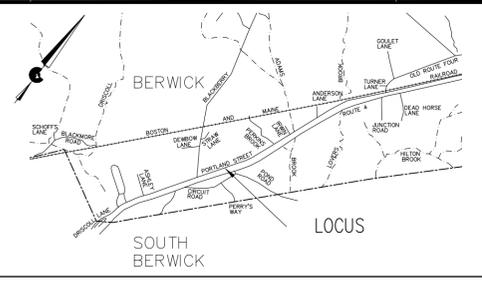
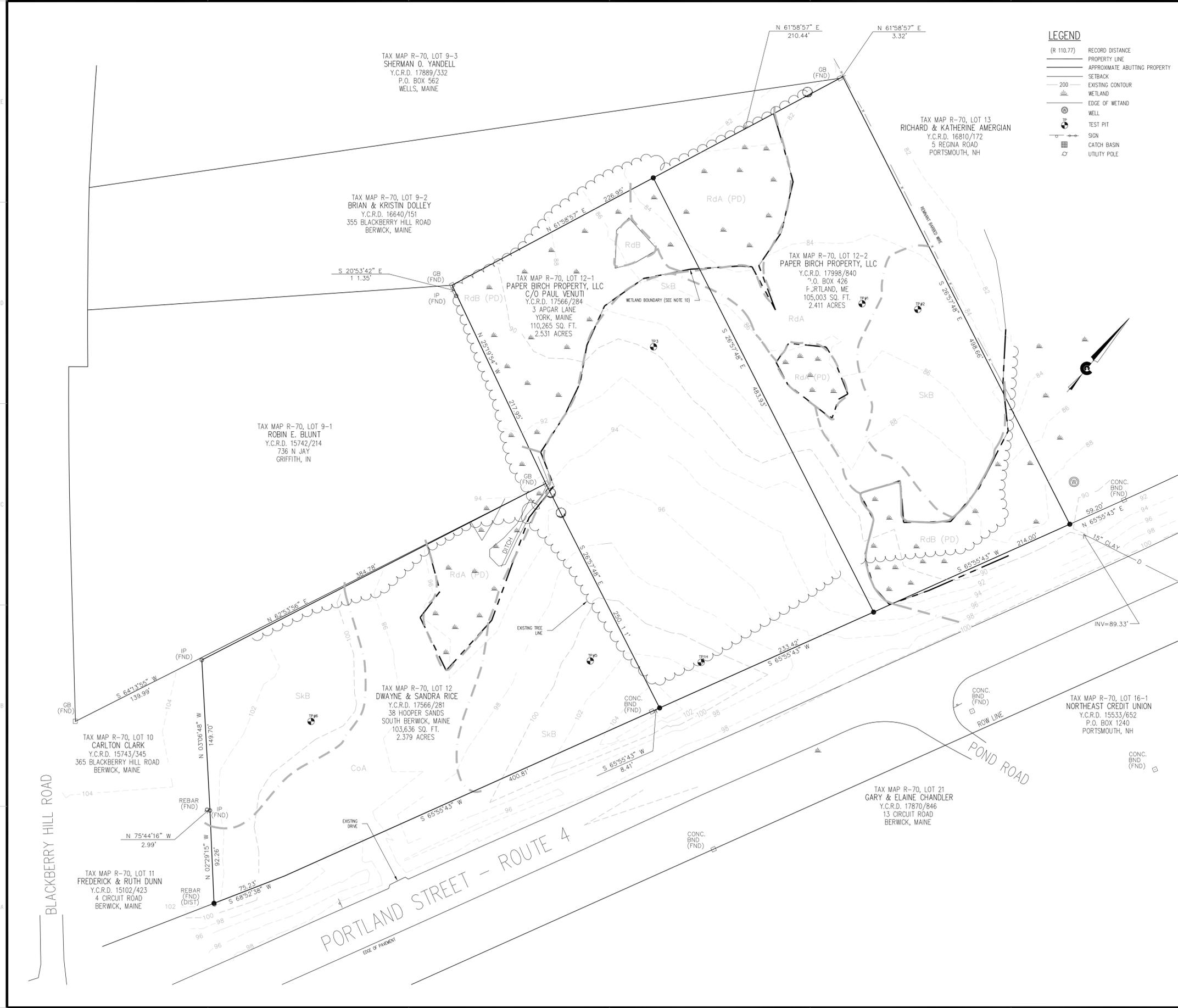
DISPOSAL OF COLLECTED DEBRIS MUST BE IN CONFORMANCE WITH MAINE SOLID WASTE LAW, TITLE 38 MRSA SECTION 1301 ET. SEQ.
LIME AND FERTILIZER APPLICATION RATES SHALL NOT EXCEED THE FOLLOWING:
GROUND LIMESTONE: 3 TONS/ACRE (130 LBS./1000 S.F.)
FERTILIZER, 10-10-10 OF EQUIVALENT: 600 LBS./ACRE (14 LBS./1000 S.F.)

FERTILIZER SHALL NOT BE APPLIED BEFORE START OF THE GROWING SEASON OR AFTER SEPTEMBER 30. FERTILIZED AREAS SHALL BE MULCHED TO REDUCE OFF-SITE TRANSPORT OF NUTRIENTS UNTIL COVER WITH VEGETATIVE GROWTH.

TABLE 4-3 SOURCE: MINNICK, E.L. AND H.T. MARSHALL (AUG 1992)

- NOTES:**
- REED CANARY GRASS IS ON THE INVASIVE SPECIES WATCH LIST DUE TO ITS RAPID AGGRESSIVE GROWTH AND ITS ABILITY TO MOVE INTO WETLANDS AND OUT-COMPETE OTHER DESIRABLE WETLAND PLANTS. CAUTION SHOULD BE USED WHEN PLANTED NEAR WETLANDS
 - FOR HEAVY USE ATHLETIC FIELDS, CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.
 - THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION RECOMMENDS RED CLOVER TO SUBSTITUTE FOR CROWN VETCH OR BIRDSFOOT TREFLOIL IF THEY ARE GOING TO BE MOWED TO A HEIGHT OF 4 INCHES OR LESS. RED CLOVER (ALSIKE VARIETY) SHOULD BE SEEDED AT A RATE OF

MIXTURE	SPECIES	POUNDS PER ACRE	POUNDS PER 1,000 SF
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LOCATION PLAN
(NOT TO SCALE)

NOTES:

- ASSESSOR'S INFORMATION:
TOWN OF BERWICK ASSESSOR'S MAP R-70 LOT 12-1 & 12-2
- RECORD OWNER:
LOT 12-1 - PAPER BIRCH PROPERTY, LLC
C/O PAUL VENUITI
3 APGAR LANE
YORK, ME 03909
LOT 12-2 - PAPER BIRCH PROPERTY, LLC
P.O. BOX 426
PORTLAND, ME 04112
- DEED REFERENCE:
LOT 12-1 - Y.C.R.D. 17566/284
LOT 12-2 - Y.C.R.D. 18120/324
- ZONING INFORMATION:
RURAL COMMERCIAL / INDUSTRIAL - (RC/I)
LOT SIZE: LOT 12-1 = 110,265 SQ. FT. LOT 12-2 = 105,003 SQ. FT.
MINIMUM FRONTAGE: 200'
SETBACKS:
FRONT YARD: 50'
SIDE YARD: 25'
REAR YARD: 25'
MAXIMUM BUILDING HEIGHT: 45'
MINIMUM LOT WIDTH: 200'
MAXIMUM LOT COVERAGE: 80%
- NORTH AS DEPICTED HEREON IS BASED ON REFERENCE PLAN #1.
- THE PARCEL IS LOCATED IN FLOOD HAZARD ZONE X AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF BERWICK, COMMUNITY PANEL NO 2301440098, EFFECTIVE DATE AUGUST 5, 1991. ZONE X IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- LOT 12-1 CONTAINS 2,531 ACRES MORE OR LESS. LOT 12-2 CONTAINS 2,411 ACRES MORE OR LESS.
- THE BOUNDARY AS SHOWN HEREON IS BASED ON REFERENCE PLAN #1 AND PHYSICAL MONUMENTS SHOWN THEREON. NO INDEPENDENT BOUNDARY RETRACEMENT WAS PERFORMED BY CIVIL CONSULTANTS.
- TOPOGRAPHIC DETAIL SHOWN HEREON IS BASED ON REFERENCE PLAN #1 AND MAY NOT ACCURATELY REFLECT CURRENT CONDITIONS ON SITE.
- WETLANDS AND SOILS SHOWN HEREON WERE DELINEATED BY JOSEPH NOEL, MAINE CERTIFIED SOIL SCIENTIST #209, IN DECEMBER 2012 AS PART OF THE APPROVAL OF REFERENCE PLAN #1. REPORT TITLED CLASS A HIGH INTENSITY SOIL SURVEY FOR JAMES AND DIANNE DEAN, TAX MAP R70, LOT 12, PORTLAND STREET (ROUTE 4), BERWICK, MAINE. REPORT CONTAINS INFORMATION ON TEST PITS DESIGNATED AS TP 3 AND TP 4.
- MINIMUM PARKING FOR RETAIL BUSINESS IS 1 SPACE FOR EVERY 150 SQUARE FEET OF FLOOR SPACE. MINIMUM PARKING FOR INDUSTRIAL BUSINESSES IS 1 SPACE PER EMPLOYEE ON THE MAXIMUM WORKING SHIFT.
- SIGHT DISTANCE INDICATED ON PLANS IS BASED ON INFORMATION PROVIDED BY MAINE DOT FROM PREVIOUSLY APPROVED PROJECT AT THIS LOCATION.

REFERENCE PLANS:

- *SUBDIVISION PLAN, OWNERS OF RECORD JAMES & DIANNE DEAN, PORTLAND STREET - ROUTE #4, BERWICK, MAINE, DATED JANUARY 24, 2013 BY TRITECH ENGINEERING CORPORATION.

ISSUED FOR
PERMIT
N.F.C

5/29/2020

CIVIL CONSULTANTS
Engineers
Planners
Surveyors
P.O. Box 100
South Berwick
Maine
03908
207-384-2550
www.civcon.com

NO.	REVISIONS	DATE

RECORD OWNER:
PAPER BIRCH PROPERTY, LLC
OWNER ADDRESS:
C/O PAUL VENUITI
P.O. BOX 426
PORTLAND, ME 04112

EXISTING SITE PLAN
357 & 359 PORTLAND STREET
BERWICK, MAINE
PREPARED FOR:
PAUL VENUITI
P.O. BOX 426, PORTLAND, ME 04112
CLIENT ADDRESS:

DATE: 05/29/2020
DRAWN BY: DRC
CHECKED BY: GRA
APPROVED BY: GRA

EXISTING
SITE PLAN

PROJECT NO: 17-287.02

L5

SHEET: 5 OF 5

LOT 357 PROPOSED PARKING INFO

RETAIL BUSINESS:	1 SPACE PER 150 SF OF FLOOR SPACE
INDUSTRIAL BUSINESS:	1 SPACE PER EMPLOYEE WORKING MAX SHIFT
EXISTING RETAIL SPACE:	800 SF
EXISTING EMPLOYEES:	5 MAX
PROPOSED RETAIL SPACE:	1,000 SF
PROPOSED EMPLOYEES:	5 MAX
TOTAL SPACES REQUIRED:	22 SPACES
TOTAL SPACES PROVIDED:	29 SPACES

LOT 359 PROPOSED PARKING INFO

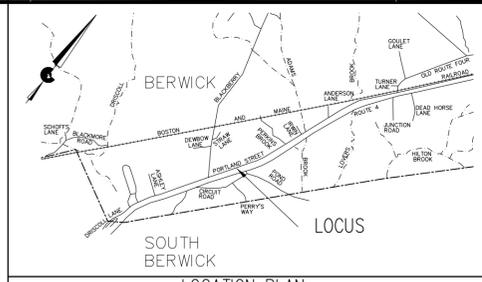
INDUSTRIAL BUSINESS:	1 SPACE PER EMPLOYEE WORKING MAX SHIFT
MAX NUMBER OF EMPLOYEES:	20 - 20 SPACES REQUIRED
TOTAL SPACES REQUIRED:	20 SPACES
TOTAL SPACES PROVIDED:	33 SPACES (PHASE 1) 22 SPACES (PHASE 2)

ODOR CONTROL SPECIFIC NOTES:

- ALL USERS OF THE FACILITY ARE TO REFERENCE THE APPROVED ODOR CONTROL PLAN. THIS PLAN IS PART OF THE SITE PLAN APPROVAL AND INDICATES THE MINIMUM REQUIREMENTS FOR ODOR CONTROL.
- THE BUILDING TENANTS WILL PROVIDE PROPER ODOR CONTROL MEASURES FOR EACH ODOR PRODUCING SOURCE. ALL ODOR CONTROL MEASURES SHALL FOLLOW THE REQUIREMENTS OF TOWN OF BERWICK LAND USE ORDINANCE SECTION 8.25.4.
- ODOR CONTROL SHALL BE IMPLEMENTED IN EACH PORTION OF THE OPERATION THAT CREATES AN ODOR THAT CAN REACH THE OUTSIDE ENVIRONMENT.
- ODOR CONTROL MEASURES CAN CONTAIN FANS AND EQUIPMENT TO TREAT THE AIR. AT A MINIMUM CARBON FILTRATION SHALL BE USED TO TREAT ANY EXHAUST AIR THAT EXITS THE STRUCTURE.
- DETAILED PLANS OF THE ODOR CONTROL SYSTEM INCLUDING PRODUCT NAMES AND MAINTENANCE SCHEDULES SHALL BE SUBMITTED TO THE CODE ENFORCEMENT OFFICE AS PART OF THE BUILDING PERMIT REVIEW AND OCCUPANCY INSPECTION.

PROPOSED COVERAGE INFO

LOT 12-1 TOTAL AREA	110,265 SF
LOT 12-2 TOTAL AREA	105,003 SF
LOT 12-1:	
PROPOSED BUILDING COVERAGE	4,380 SF
PROPOSED IMPERVIOUS COVERAGE (INCLUDING SHARED DRIVEWAY)	20,251 SF
BUILDING COVERAGE	4,380/110,265 = 3.97%
LOT COVERAGE	35,735/105,003 = 18.4%
LOT 12-2:	
PROPOSED BUILDING COVERAGE	20,000 SF (PHASE 1) 25,200 SF (PHASE 2)
PROPOSED IMPERVIOUS COVERAGE (INCLUDING SHARED DRIVEWAY)	34,487 SF (PHASE 1) 37,222 SF (PHASE 2)
BUILDING COVERAGE	20,000/105,003 = 19.0% (PH1) 25,200/105,003 = 24.0% (PH2)
LOT COVERAGE	34,487/105,003 = 32.8% (PH1) 37,222/105,003 = 35.4% (PH2)
TOTAL WETLAND IMPACT (INCLUDES SHARED DRIVEWAY)	5,458 SF > 4,300 SF



ISSUED FOR PERMIT N.F.C

5/29/2020

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NOTES:

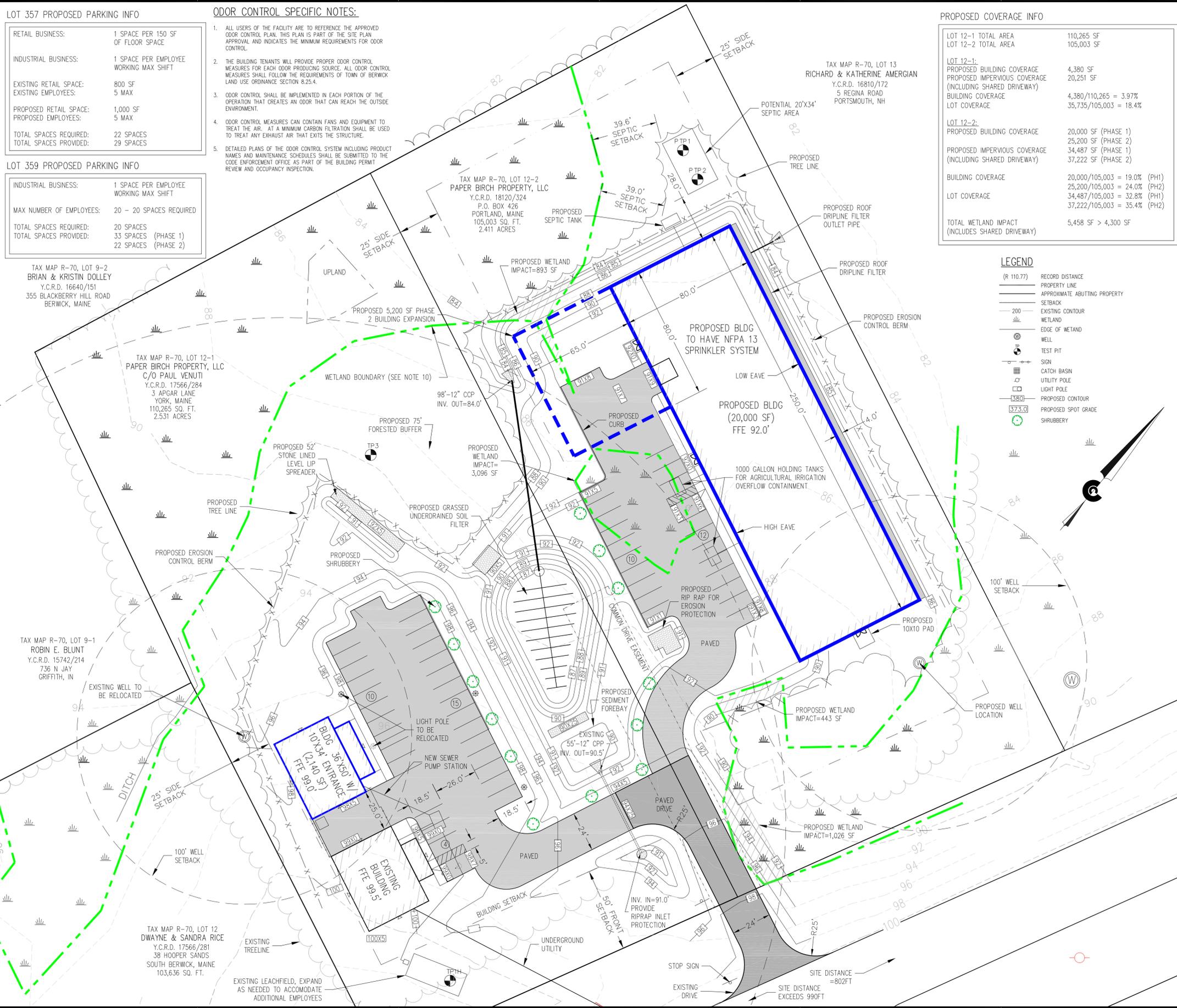
- ASSESSOR'S INFORMATION: TOWN OF BERWICK ASSESSOR'S MAP R-70 LOT 12-1 & 12-2
- RECORD OWNER: LOT 12-1: PAPER BIRCH PROPERTY, LLC C/O PAUL VENUTI 3 APGAR LANE YORK, ME 03909; LOT 12-2: PAPER BIRCH PROPERTY, LLC P.O. BOX 426 PORTLAND, ME 04112
- DEED REFERENCE: LOT 12-1 - Y.C.R.D. 17566/284; LOT 12-2 - Y.C.R.D. 18120/324
- ZONING INFORMATION: RURAL COMMERCIAL / INDUSTRIAL - (RC//); LOT SIZE: LOT 12-1 = 110,265 SQ. FT. LOT 12-2 = 105,003 SQ. FT. MINIMUM FRONTAGE: 200'; SETBACKS: FRONT YARD: 50', SIDE YARD: 25', REAR YARD: 25'; MAXIMUM BUILDING HEIGHT: 45'; MINIMUM LOT WIDTH: 200'; MAXIMUM LOT COVERAGE: 80%
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- SIGHT DISTANCE INDICATED ON PLANS IS BASED ON INFORMATION PROVIDED BY MAINE DOT FROM PREVIOUSLY APPROVED PROJECT AT THIS LOCATION.
- ALL BUILDING MOUNT LIGHTS TO BE DOWN LIT AND SHIELDED TO REDUCE LIGHT DIRECTED TO ABUTTERS.
- KNOX BOX BUILDING ACCESS UNITS WILL BE INSTALLED ON THE BUILDING AT THE LOCATION SET BY THE BERWICK FIRE DEPARTMENT.
- MAP R-70, LOT 12-1 OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF THE SHARED DRIVEWAY LOCATED WITHIN THE 30 FT WIDE DRIVEWAY EASEMENT ON LOTS R-70, LOT 12-1 AND R-70, LOT 12-2.
- AFTER SITE CLEARING, INSTALL EROSION CONTROL MEASURES TO MITIGATE POTENTIAL SEDIMENT TRANSPORT OFF SITE. DUE TO CONSTRUCTION, MAINTAIN AND ADJUST EROSION CONTROL MEASURES AS SITE WORK PROGRESSES. ALL WORK TO FOLLOW TOWN OF BERWICK LAND USE ORDINANCE SECTION 7.15, EROSION AND SEDIMENTATION CONTROL STANDARDS.
- LOT 12-2 SEPTIC DESIGN INFO:
EMPLOYEES WITH SHOWER = 20 GALLONS PER DAY PER EMPLOYEE
NUMBER OF EMPLOYEES = 20
TOTAL 400 GALLONS PER DAY

REFERENCE PLANS:

- "SUBDIVISION PLAN, OWNERS OF RECORD JAMES & DIANNE DEAN, PORTLAND STREET - ROUTE #4, BERWICK, MAINE", DATED JANUARY 24, 2013 BY TRITECH ENGINEERING CORPORATION.

PROJECT SPECIFIC NOTES:

- THE BUILDING TENANTS WILL PROVIDE AN ODOR CONTROL PLAN THAT WILL MEET OR EXCEED THE APPROVED PLAN ON FILE WITH THE TOWN OF BERWICK. THE PLAN SHALL BE SUBMITTED TO THE TOWN AS PART OF THE BUILDING/OCCUPANCY PERMIT PROCESS.
- BUILDING OWNER TO PROVIDE TOWN OF BERWICK POLICE DEPARTMENT THE NAMES, ADDRESSES AND CONTACT INFORMATION FOR NOTIFICATION IF NEEDED.
- MAINE DEPARTMENT OF TRANSPORTATION ISSUED A DRIVEWAY PERMIT (#26694) FOR SHARED COMMERCIAL AND RESIDENTIAL ACCESS TO PROPERTIES KNOWN AS TAX MAP R70, LOT 12-1 AND 12-2. BASED ON THE CHANGED USE TO LOT 12-2, A NEW ENTRANCE PERMIT WILL BE OBTAINED FROM THE MDT.
- EACH TENANT SPACE SHALL HAVE TWO 1000 GALLON HOLDING TANKS TO COLLECT IRRIGATION WATER.



LEGEND

(R 110.77)	RECORD DISTANCE
---	PROPERTY LINE
---	APPROXIMATE ABUTTING PROPERTY
---	SETBACK
---	EXISTING CONTOUR
---	WETLAND
---	EDGE OF WETLAND
---	WELL
---	TEST PIT
---	SIGN
---	CATCH BASIN
---	UTILITY POLE
---	LIGHT POLE
---	PROPOSED CONTOUR
---	PROPOSED SPOT GRADE
---	SHRUBBERY

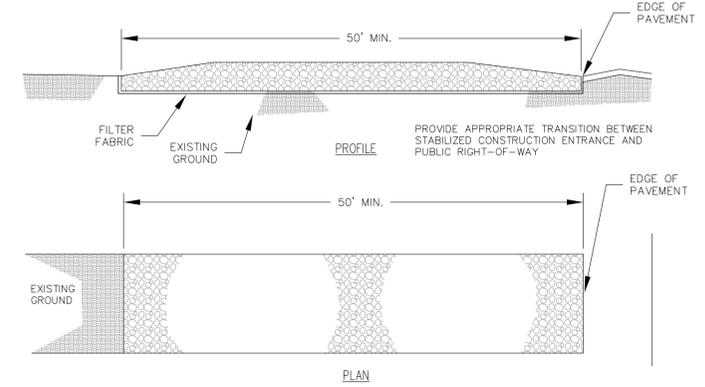
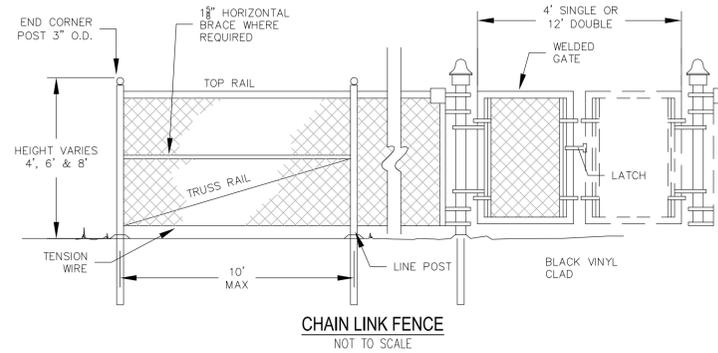
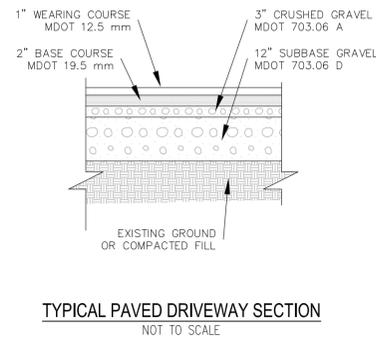
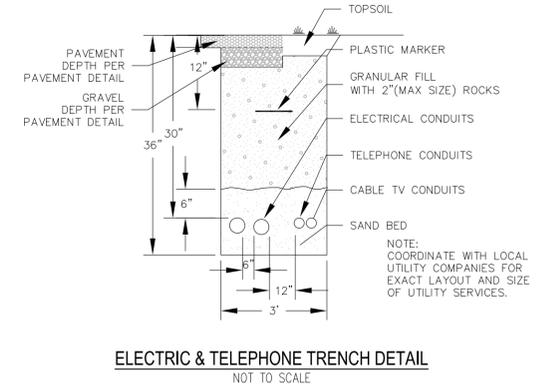
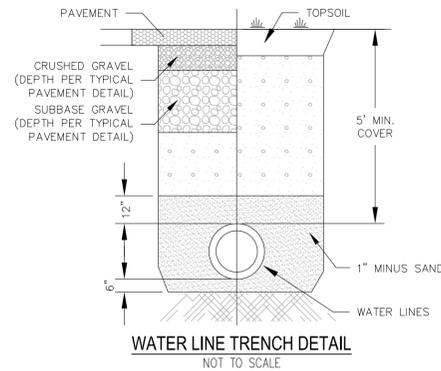
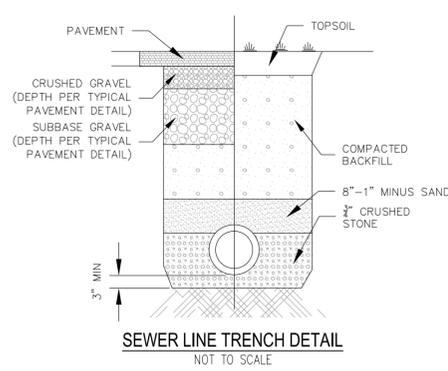
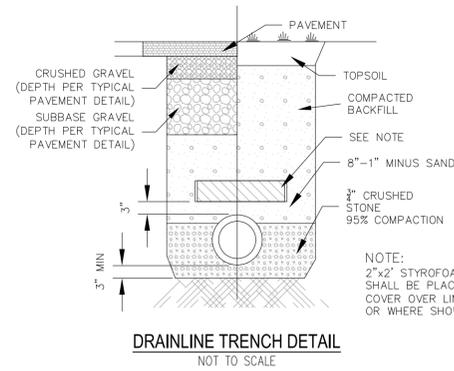
RECORD OWNER: PAPER BIRCH PROPERTY, LLC
OWNER ADDRESS: P.O. BOX 426, PORTLAND, ME 04112

PROPOSED SITE PLAN 357 & 359 PORTLAND STREET BERWICK, MAINE

PREPARED FOR: PAUL VENUTI
P.O. BOX 426, PORTLAND, ME 04112
CLIENT ADDRESS:

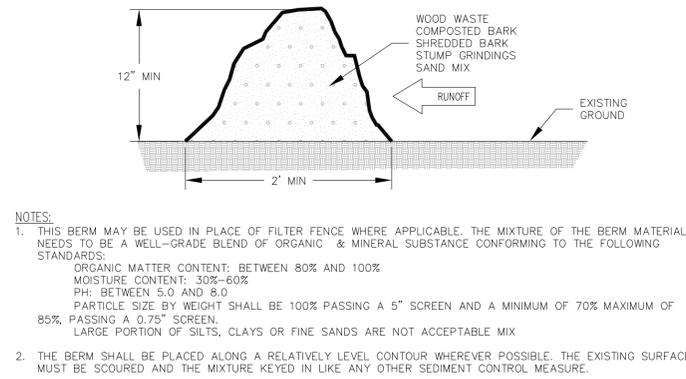
PLAN APPROVED BY TOWN OF BERWICK PLANNING BOARD	
	CHAIRMAN
DATE:	

PROPOSED SITE PLAN PHASE 1
PROJECT NO: 17-287.02
L1
SHEET: 1 OF 5

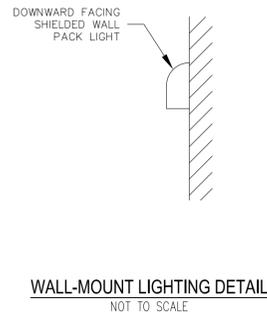
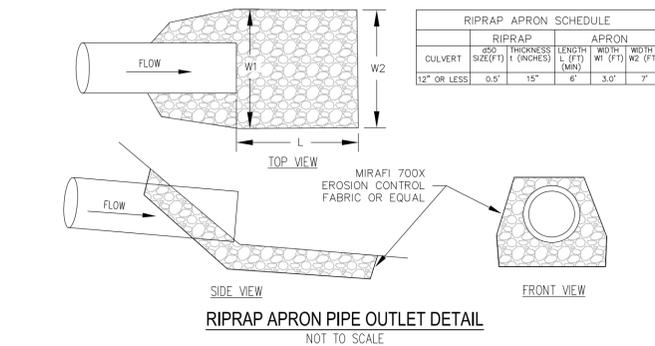
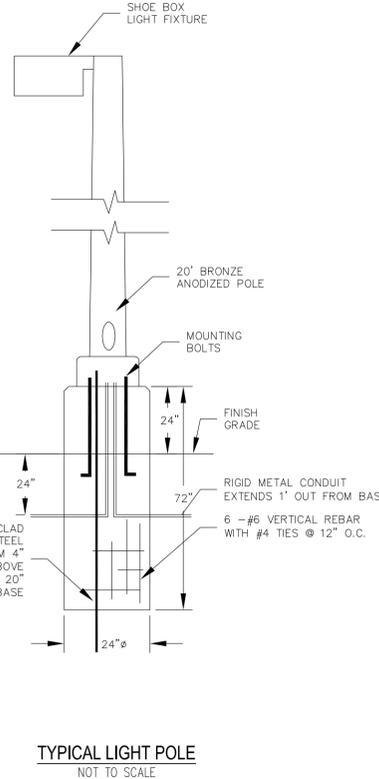
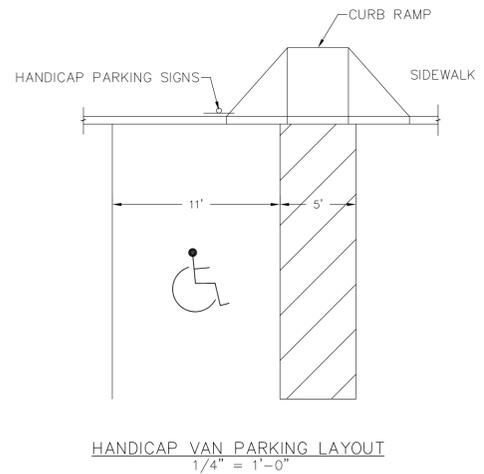


CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - AASHTO DESIGNATION M43, SIZE NO 2 (2-1/2" TO 1-1/2"). USE CRUSHED STONE.
2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATER COURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS.
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED, ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

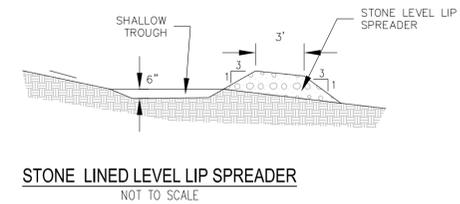


- NOTES:**
1. THIS BERM MAY BE USED IN PLACE OF FILTER FENCE WHERE APPLICABLE. THE MIXTURE OF THE BERM MATERIAL NEEDS TO BE A WELL-GRADE BLEND OF ORGANIC & MINERAL SUBSTANCE CONFORMING TO THE FOLLOWING STANDARDS:
 ORGANIC MATTER CONTENT: BETWEEN 80% AND 100%
 MOISTURE CONTENT: 30%-60%
 PH: BETWEEN 5.0 AND 8.0
 PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 5" SCREEN AND A MINIMUM OF 70% MAXIMUM OF 85% PASSING A 0.75" SCREEN.
 LARGE PORTION OF SILTS, CLAYS OR FINE SANDS ARE NOT ACCEPTABLE MIX
 2. THE BERM SHALL BE PLACED ALONG A RELATIVELY LEVEL CONTOUR WHEREVER POSSIBLE. THE EXISTING SURFACE MUST BE SCOURED AND THE MIXTURE KEYED IN LIKE ANY OTHER SEDIMENT CONTROL MEASURE.



STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE

BERM STONE SIZE	
SIEVE SIZE	# BY WEIGHT
12"	100
6"	84-100
3"	68-83
1"	42-55
#4	8-12



ISSUED FOR PERMIT N.F.C

5/29/2020

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NO.	REVISIONS	INT.	DATE

RECORD OWNER: PAPER BRCH PROPERTY, LLC

OWNER ADDRESS: P.O. BOX 426, PORTLAND, ME 04112

SITE PLAN DETAILS
357 & 359 PORTLAND STREET
BERWICK, MAINE

PREPARED FOR:
 PAUL VENUITI
 P.O. BOX 426, PORTLAND, ME 04112
 CLIENT ADDRESS:

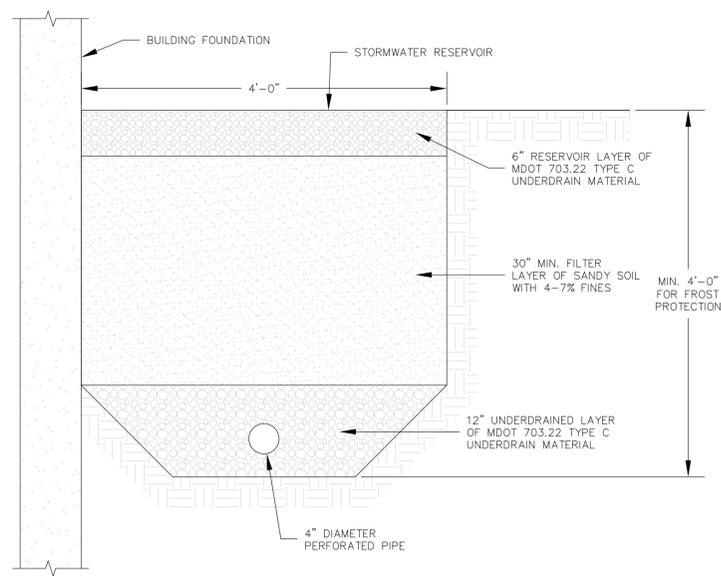
DATE: 05/29/2020
 DRAWN BY: DRC
 CHECKED BY: GRA
 APPROVED BY: GRA

DETAILS

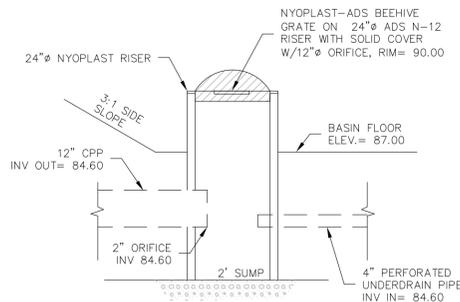
PROJECT NO: 17-287.02

L2

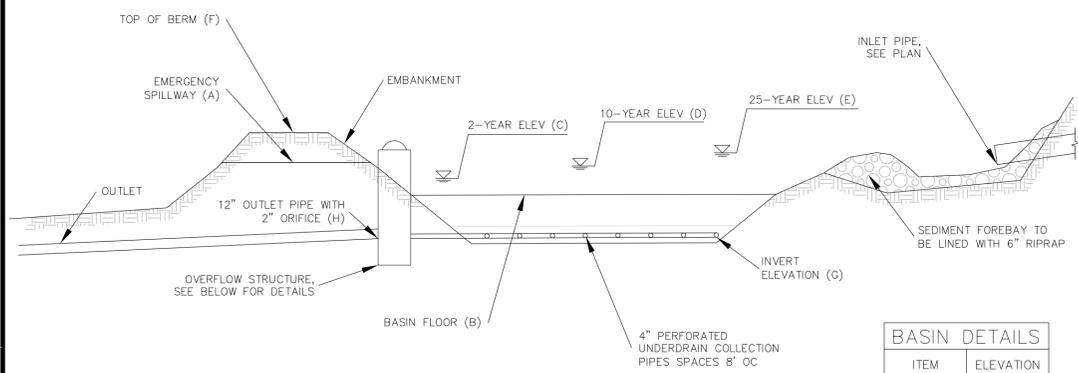
SHEET: 2 OF 5



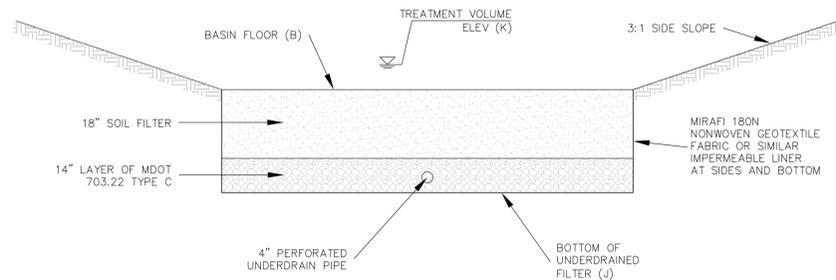
ROOF DRIPLINE FILTER SECTION
NOT TO SCALE



OVERFLOW STRUCTURE DETAIL
NOT TO SCALE



ITEM	ELEVATION
A	90.50
B	87.00
C	88.35
D	89.58
E	90.12
F	92.50
G	84.83
H	84.60
J	84.33
K (PH1)	88.10
K (PH2)	88.05



GRASSED UNDERDRAINED SOIL FILTER DETAIL
NOT TO SCALE

CONSTRUCTION SEQUENCE:

THE GENERAL SEQUENCE OF EVENTS FOR THE DEVELOPMENT OF THE SITE WILL BE AS FOLLOWS:

- PRIOR TO COMMENCING ANY OPERATION ON THE SITE:
 - A PRE-CONSTRUCTION MEETING SHALL BE REQUIRED.
 - INSTALL TEMPORARY PERIMETER EROSION CONTROL DEVICES (SILT FENCES AND OR HAY BALE BARRIER) AS INDICATED.
- CLEAR AND GRUB SITE AS REQUIRED.
- CONSTRUCT DETENTION PONDS AND STORMWATER CONTROL STRUCTURES PRIOR TO ROUGH GRADING OF THE SITE. NOTE THAT ADEQUATE SEDIMENTATION CONTROL SHALL BE EMPLOYED TO PROTECT THE DETENTION PONDS UNTIL STABILIZATION.
- ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- UTILITY AND PARKING LOT CONSTRUCTION SHALL PROCEED IN CONJUNCTION WITH SITE DEVELOPMENT. ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. AFTER GRASS HAS BEEN ESTABLISHED ON DISTURBED AREAS, CLEAN, REPAIR AND RESEED AS REQUIRED.
- INSTALL SURFACE PAVEMENT AFTER ALL RECEIVING DITCHES, SWALES AND PONDS ARE SUFFICIENTLY STABILIZED.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE TOWN STANDARDS. INSPECTION SHALL BE REQUIRED DURING CONSTRUCTION.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED
- A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED
- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
- OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED

NOTE THAT THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL DISTURBED AREA EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED. THE MAXIMUM LENGTH OF TIME THAT AN AREA MAY BE LEFT UNSTABILIZED IS 60 DAYS.

ISSUED FOR PERMIT N.F.C

5/29/2020

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PORTLAND, ME 04112

SITE PLAN DETAILS
357 & 359 PORTLAND STREET
BERWICK, MAINE

PREPARED FOR:
PAUL VENUITI
P.O. BOX 426, PORTLAND, ME 04112



DATE: 05/29/2020
DRAWN BY: DRC
CHECKED BY: GRA
APPROVED BY: GRA

CONSTRUCTION DETAILS

PROJECT NO: 17-287.02

L3

SHEET: 3 OF 5

MAINTENANCE PROCEDURES

THE FOLLOWING PROCEDURES WILL BE FOLLOWED FOR INITIAL AND LONG TERM MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES AT THIS SITE. NOTE: FOR THE PURPOSES OF THESE PROCEDURES, A MAJOR STORM IS ANY STORM THAT RESULTS IN 1/2" OF RUNOFF IN A 24 HOUR PERIOD. INSPECTION OF ALL EROSION CONTROL MEASURES WILL BE PERFORMED ON A WEEKLY BASIS AND AFTER MAJOR STORMS.

MAINTENANCE LOG

THE RESPONSIBLE PARTY SHALL ESTABLISH A MAINTENANCE LOG/PLAN FOR USE IN RECORDING MAINTENANCE ACTIVITIES. AS A MINIMUM, THE LOG SHALL INCLUDE THE DATE(S) OF ACTIVITIES, WHO PERFORMED THE DUTIES, WHAT WAS DONE (E.G. LOOKED AT DETENTION BERMS, CLEANED DROP INLETS, ETC.), THE RESULTS OF THE ACTIVITY (I.E. ALL STRUCTURES WERE IN GOOD SHAPE, OR, POND #10 NEEDS TO BE REPAIRED). IF ANY ITEM NEEDS TO BE REPAIRED, A FOLLOW-UP ENTRY SHALL SHOW THE DATE THAT REPAIRS WERE COMPLETED.

DETENTION BASINS & FILTRATION BASINS (INITIAL AND LONG TERM)

MAINTENANCE IS NECESSARY IF DETENTION BASINS ARE TO CONTINUE TO FUNCTION AS ORIGINALLY DESIGNED. THE RESPONSIBLE PARTY SHALL DESIGNATE AN INDIVIDUAL (OR COMPANY) TO MAINTAIN THE STRUCTURES AND THE BASIN AREA.

THE FOLLOWING MAINTENANCE SCHEDULE ARE ITEMS WHICH SHOULD BE CONSIDERED IN FORMULATING A MAINTENANCE PLAN:

- EMBANKMENT – EMBANKMENTS SHOULD BE INSPECTED ANNUALLY TO DETERMINE IF RODENT BURROWS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
- VEGETATION – THE VEGETATED AREAS OF STRUCTURES SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. LIME AND FERTILIZER SHOULD BE APPLIED AS NECESSARY AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHOULD BE KEPT OFF THE EMBANKMENT AND EMERGENCY SPILLWAY AREAS.
- INLETS – PIPE INLETS AND SPILLWAY STRUCTURES SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHOULD BE REMOVED. IF PIPES ARE COATED, THE COATING SHOULD BE CHECKED AND REPAIRED AS NECESSARY.
- OUTLETS – PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. EROSION IS TAKING PLACE THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
- SEDIMENT – SEDIMENT SHOULD BE CONTINUALLY CHECKED IN THE BASIN. WHEN SEDIMENT ACCUMULATES TO THE PREDETERMINED DESIGN ELEVATION, THEN THE SEDIMENT SHOULD BE REMOVED AND PROPERLY DISPOSED OF.
- SAFETY INSPECTIONS – ALL BERMS OVER 2' IN HEIGHT SHALL BE INSPECTED BY A QUALIFIED PROFESSIONAL ENGINEER EVERY 5 YEARS. THE DESIGNATED INDIVIDUAL SHOULD ALSO MAKE INSPECTIONS AFTER EVERY MAJOR STORM EVENT.
- DRAWDOWN (FILTRATION ONLY) – FILTRATION BMPs SUCH AS GRAVEL WETLANDS, SAND FILTERS AND BIORETENTION BASINS SHALL BE INSPECTED AFTER ALL STORM EVENTS TO ENSURE THAT PONDING WATER IS NOT PRESENT AFTER 48 HOURS. IF THE DRAWDOWN EXCEEDS 48 HOURS BED WILL REQUIRE REPLACEMENT AND REPLANTING.

LAND GRADING AND SLOPE STABILIZATION (INITIAL)

ALL SLOPES SHOULD BE CHECKED PERIODICALLY TO SEE THAT VEGETATION IS IN GOOD CONDITION. ANY RILLS OR DAMAGE FROM EROSION AND ANIMAL BURROWING SHOULD BE REPAIRED IMMEDIATELY TO AVOID FURTHER DAMAGE. IF SEEPS DEVELOP ON THE SLOPES, THE AREA SHOULD BE EVALUATED TO DETERMINE IF THE SEEP WILL CAUSE AN UNSTABLE CONDITION. SUBSURFACE DRAINS OR GRAVEL MULCHING MAY BE REQUIRED TO SOLVE SEEP PROBLEMS. DIVERSIONS, BERMS, AND WATERWAYS IN THE LAND GRADING AREA SHOULD BE CHECKED TO SEE THAT THEY ARE FUNCTIONING PROPERLY. PROBLEMS FOUND DURING THE INSPECTIONS SHOULD BE REPAIRED. AREAS REQUIRING RE-VEGETATION SHOULD BE REPAIRED. SLOPES AND ASSOCIATED PRACTICES UTILIZING VEGETATION SHOULD BE LIMED AND FERTILIZED AS NECESSARY TO KEEP THE VEGETATION HEALTHY. ENCROACHMENT OF UNDESIRABLE VEGETATION SUCH AS WEEDS AND WOODY GROWTH THAT IS NOT PLANNED SHOULD BE CONTROLLED TO AVOID PROBLEMS OF BANK STABILITY IN THE FUTURE.

OUTLET PROTECTION

OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

ROCK RIPRAP (INITIAL & LONG TERM)

ROCK RIPRAP SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY BEFORE FURTHER DAMAGE CAN TAKE PLACE. WOODY VEGETATION SHOULD BE REMOVED FROM THE ROCK RIPRAP ANNUALLY BECAUSE TREE ROOTS WILL EVENTUALLY DISLodge THE ROCK RIPRAP. IF THE RIPRAP IS ON A CHANNEL BANK, THE STREAM SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT BARS THAT MAY CHANGE FLOW PATTERNS WHICH COULD DAMAGE OR DISPLACE THE RIPRAP. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE RIPRAP.

STORM DRAIN INLET PROTECTION

ALL STRUCTURES SHALL BE INSPECTED AFTER SIGNIFICANT RAIN EVENTS AND REPAIRED AS NEEDED.

SEDIMENT SHALL BE REMOVED AND THE STORMDRAIN SEDIMENT BARRIER RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.

STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

ALL CATCHBASINS AND STORMDRAIN INLETS SHALL BE CLEANED AT THE END OF CONSTRUCTION AND AFTER THE SITE HAS BEEN FULLY STABILIZED.

STRAW OR HAY BALE BARRIER, SILT FENCE AND FILTER BERM

HAY BALE BARRIERS, SILT FENCES AND FILTER BERMS SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OF THE EDGES OF THE BARRIER, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE BARRIER.

FILTER BERMS SHOULD BE RESHAPED AS NEEDED.

SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHOULD BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

TEMPORARY CHECK DAMS

REGULAR INSPECTIONS MUST BE MADE TO ENSURE THAT THE CENTER OF THE CHECK DAM IS LOWER THAN THE EDGES. EROSION CAUSED BY HIGH FLOWS AROUND THE EDGES OF THE CHECK DAM MUST BE CORRECTED. IF EVIDENCE OF SILTATION IN THE WATER IS APPARENT DOWNSTREAM OF THE CHECK DAM, THE CHECK DAM MUST BE INSPECTED AND ADJUSTED.

CHECK DAMS MUST BE CHECKED FOR SEDIMENT ACCUMULATION AFTER EACH SIGNIFICANT RAINFALL. SEDIMENT MUST BE REMOVED WHEN IT REACHES ONE HALF THE ORIGINAL HEIGHT OF BEFORE.

IF IT POSSIBLE, LEAVE THE CHECK DAM IN PLACE PERMANENTLY. ANOTHER OPTION IS TO SPREAD STONE OR HAY ALONG THE DITCH INVERT TO PROVIDE ADDITIONAL PROTECTION. IN TEMPORARY DITCHES AND SWALES, CHECK DAMS MUST BE REMOVED WHEN A PERMANENT LINING HAS BEEN ESTABLISHED. CHECK DAMS MUST BE REMOVED FROM A GRAVEL DITCH AND WAIT UNTIL THE GRASS HAS MATURED TO PROTECT THE DITCH OR SWALE. THE AREA BENEATH THE CHECK DAM MUST BE SEEDED AND MULCHED AFTER THEY ARE REMOVED.

STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD)

THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHALL BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL AND REDISTRIBUTED ON SITE IN A STABLE MANNER. THE ENTRANCE SHOULD THEN BE RECONSTRUCTED. THE CONTRACTOR SHALL SWEEP OR WASH PAVEMENT AT EXITS, WHICH HAVE EXPERIENCED MUD-TRACKING ONTO THE PAVEMENT OR TRAVELED WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES OR WATERWAYS.

CULVERTS
UNDERGROUND CULVERTS MUST BE MAINTAINED BY KEEPING INLETS, TRASH GUARDS, AND COLLECTION BOXES AND STRUCTURES CLEAN AND FREE OF MATERIALS THAT CAN REDUCE THE FLOW. ALL LEAKS SHALL BE REPAIRED TO ENSURE PROPER FUNCTIONING OF THE CULVERT. ANIMAL GUARDS MUST BE INSPECTED AND MAINTAINED IN PROPER WORKING ORDER.

ROAD DITCH TURN OUT
AFTER CONSTRUCTION, DITCH TURNOUTS NEED TO BE CAREFULLY INSPECTED FOR ANY SIGNS OF CHANNELIZATION AND REPAIRED. IT WILL BE NECESSARY TO REMOVE SEDIMENT FROM THE DITCH TURNOUT TRENCH WHEN THE SWALE IS FULL AND THE STRUCTURE IS NO LONGER FUNCTIONING PROPERLY.

VEGETATED SWALE
TIMELY MAINTENANCE IS IMPORTANT TO KEEP THE VEGETATION IN THE SWALE IN GOOD CONDITION. MOWING SHOULD BE DONE FREQUENTLY ENOUGH TO KEEP THE VEGETATION IN VIGOROUS CONDITION AND TO CONTROL ENCROACHMENT OF WEEDS AND WOODY VEGETATION, HOWEVER IT SHOULD NOT BE MOWED TOO CLOSELY SO AS TO REDUCE THE FILTERING EFFECT. FERTILIZE ON AN "AS NEEDED" BASIS TO KEEP THE GRASS HEALTHY. OVER FERTILIZATION CAN RESULT IN THE SWALE BECOMING A SOURCE OF POLLUTION.

THE SWALE SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE THE CONDITION OF THE SWALE, RILLS AND DAMAGED AREAS SHOULD BE PROMPTLY REPAIRED AND RE-VEGETATED AS NECESSARY TO PREVENT FURTHER DETERIORATION.

PROJECT MAINTENANCE ITEMS:
THE DEVICES THAT WILL REQUIRE MAINTENANCE FOR THIS PROJECT ARE: GRAVEL WETLAND, OUTLET PROTECTION, ROCK RIPRAP, STABILIZED CONSTRUCTION ENTRANCE, CULVERT AND VEGETATED SWALE.

OVERWINTER CONSTRUCTION

THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15. IF THE CONSTRUCTION OR ANY STABILIZED SEDIMENT IS TAKEN UP BY GRAVEL BASE, 75% MATURE VEGETATION COVER OR RIPRAP BY NOVEMBER 15 THEN THE SITE NEEDS TO BE PROTECTED WITH OVER WINTER STABILIZATION. AN AREA CONSIDERED OPEN IS ANY AREA NOT STABILIZED WITH PAVEMENT, VEGETATION, MULCHING, EROSION CONTROL MATS, RIPRAP OR GRAVEL BASE ON A ROAD.

WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDER TAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. ALL AREA SHALL BE CONSIDERED TO BE DENIED UNTIL THE SUBGRADE GRAVEL IS INSTALLED IN ROADWAY AREAS OR THE AREAS OF FUTURE LOAM AND SEED HAVE BEEN LOAMED, SEEDED AND MULCHED. A COVER OF EROSION CONTROL MIX PERFORMS THE BEST.

ANY ADDED MEASURES, WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION, MUST BE INSTALLED. THESE MAY BE DEPENDENT UPON SITE CONDITIONS, THE ACTUAL SITE SIZE AND WEATHER CONDITIONS.

TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION, CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED.

1. NATURAL RESOURCES PROTECTION
AREAS WITHIN 100 FEET FROM ANY NATURAL RESOURCES, IF NOT STABILIZED WITH A MINIMUM OF 75% MATURE VEGETATION CATCH, SHALL BE MULCHED BY DECEMBER 1 AND ANCHORED WITH PLASTIC NETTING OR PROTECTED WITH AN EROSION CONTROL COVER.

DURING WINTER CONSTRUCTION, A DOUBLE ROW OF SEDIMENT BARRIERS (I.E. SILT FENCE BACKED WITH HAY BALES OR EROSION CONTROL MIX) WILL BE PLACED BETWEEN ANY NATURAL RESOURCE AND THE DISTURBED AREA. PROJECTS CROSSING THE NATURAL RESOURCE SHALL BE PROTECTED A MINIMUM DISTANCE OF 100 FEET ON EITHER SIDE FROM THE RESOURCE. EXISTING PROJECTS NOT STABILIZED BY DECEMBER 1 SHALL BE PROTECTED WITH THE SECOND LINE OF SEDIMENT BARRIER TO ENSURE FUNCTIONALITY DURING THE SPRING THAW AND RAINS.

2. SEDIMENT BARRIERS
DURING FROZEN CONDITIONS, SEDIMENT BARRIERS MAY CONSIST OF EROSION CONTROL MIX BERMS OR STRAW OR SILT FENCE BARRIERS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF HAY BALES AND SEDIMENT SILT FENCES.

3. MULCHING
ALL AREA SHALL BE CONSIDERED TO BE DENIED UNTIL SEEDED AND MULCHED. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 150 LB. PER 1,000 SQUARE FEET OR 3 TONS/ACRE (TWICE THE NORMAL ACCEPTED RATE OF 75 LBS./1,000 S.F. OR 1.5 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. EROSION CONTROL MIX MUST BE APPLIED WITH A MINIMUM 4 INCH THICKNESS.

MULCH SHALL NOT BE SPREAD ON TOP OF SNOW. THE SNOW WILL BE REMOVED DOWN TO A ONE INCH DEPTH OR LESS PRIOR TO APPLICATION.

AFTER EACH DAY OF FINAL GRADING, THE AREA WILL BE PROPERLY STABILIZED WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MATTING.

AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED OR ADEQUATELY ANCHORED SO THAT GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH.

BETWEEN THE DATES OF NOVEMBER 1 AND APRIL 15, ALL MULCH SHALL BE ANCHORED BY EITHER MULCH NETTING, ASPHALT EMULSION CHEMICAL, TRACK OR WOOD CELLULOSE FIBER. THE COVER BE CONSIDERED SUFFICIENT WHEN THE GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH.

AFTER NOVEMBER 1ST, MULCH AND ANCHORING OF ALL EXPOSED SOIL SHALL OCCUR AT THE END OF EACH FINAL GRADING WORKDAY.

4. SOIL STOCKPILES
STOCKPILES OF SOIL OR SUBSOIL MUST BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A FOUR-INCH LAYER OF EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND REESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. ANY SOIL STOCKPILE WILL NOT BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100 FEET FROM ANY NATURAL RESOURCES.

5. SEEDING
BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES FINISHED AREAS SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINE GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED.

DORMANT SEEDING MAY BE SELECTED TO BE PLACED PRIOR TO THE PLACEMENT OF MULCH AND EROSION CONTROL. IF DORMANT SEEDING IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL RECEIVE 4' OF LOAM AND SEED AT AN APPLICATION RATE OF 5LBS/1,000 S.F. ALL AREAS SEEDED DURING THE WINTER WILL BE INSPECTED IN THE SPRING FOR ADEQUATE CATCH. ALL AREAS INSUFFICIENTLY VEGETATED (LESS THAN 75% CATCH) SHALL BE REVEGETATED BY REPLACING LOAM, SEED AND MULCH. IF A CHECK DAM IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL BE REVEGETATED IN THE SPRING.

OVERWINTER STABILIZATION

1. STABILIZATION OF DITCHES AND CHANNELS

ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15. IF A DITCH OR CHANNEL IS NOT GRASS-LINED BY OCTOBER 15, THEN ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE DITCH FOR LATE FALL AND WINTER. **INSTALL A SOD LINING IN THE DITCH:** A DITCH MUST BE LINED WITH PROPERLY INSTALLED SOD BY OCTOBER 15. PROPER INSTALLATION INCLUDES: PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL, AND ANCHORING THE SOD AT THE BASE OF THE DITCH WITH JUTE OR PLASTIC MESH TO PREVENT THE SOD FROM SLOUGHING DURING FLOW CONDITIONS.

INSTALL A STONE LINING IN THE DITCH: A DITCH MUST BE LINED WITH STONE RIPRAP BY OCTOBER 15. A REGISTERED PROFESSIONAL ENGINEER MUST BE HIRED TO DETERMINE THE STONE SIZE AND LINING THICKNESS NEEDED TO WITHSTAND THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHIN THE DITCH. IF NECESSARY, THE CONTRACTOR WILL REGRADE THE DITCH PRIOR TO PLACING THE STONE LINING SO TO PREVENT THE STONE LINING FROM REDUCING THE DITCH'S CROSS-SECTIONAL AREA.

2. STABILIZATION OF DISTURBED SLOPES
ALL STONE-COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL SLOPES TO BE VEGETATED MUST BE SEEDED AND MULCHED BY OCTOBER 15. THE DEVELOPER SHALL CONSIDER ANY AREA HAVING A GRADE GREATER THAN 15% TO BE A SLOPE. IF A SLOPE TO BE VEGETATED IS NOT STABILIZED BY OCTOBER 15, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.

STABILIZE THE SOIL WITH TEMPORARY VEGETATION AND EROSION CONTROL MATS: BY SEPTEMBER 15, THE DISTURBED SLOPE MUST BE SEEDED WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET AND THEN INSTALL EROSION CONTROL MATS OR ANCHORED MULCH OVER THE SEEDING. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR FAILS TO COVER AT LEAST 85% OF THE SLOPE BY OCTOBER 15, THEN THE CONTRACTOR WILL COVER THE SLOPE WITH A LAYER OF EROSION CONTROL MIX OR WITH STONE RIPRAP AS DESCRIBED IN THE FOLLOWING STANDARDS.

STABILIZE THE SOIL WITH SOD: THE DISTURBED SLOPE MUST BE STABILIZED WITH PROPERLY INSTALLED SOD BY OCTOBER 15. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE CONTRACTOR WILL NOT USE LATE-SEASON SOD INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% (3H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.

STABILIZE THE SOIL WITH EROSION CONTROL MIX: EROSION CONTROL MIX MUST BE PROPERLY INSTALLED BY NOVEMBER 15. THE CONTRACTOR WILL NOT USE EROSION CONTROL MIX TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% (2H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.

STABILIZE THE SOIL WITH STONE RIPRAP: PLACE A LAYER OF STONE RIPRAP ON THE SLOPE BY NOVEMBER 15. THE DEVELOPER'S OWNER WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIPRAP.

3. STABILIZATION OF DISTURBED SOILS
STABILIZE THE SOIL WITH TEMPORARY VEGETATION: BY SEPTEMBER 15, SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3-LBS PER 1,000 SQUARE FEET. LIGHTLY MULCH THE SEED SOIL WITH HAY OR STRAW AT 75-LBS PER 1,000 SQUARE FEET AND ANCHOR THE MULCH WITH PLASTIC NETTING. MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE OCTOBER 15, THEN MULCH THE AREA FOR OVERWINTER PROTECTION AS DESCRIBED BELOW.

STABILIZE THE SOIL WITH SOD: STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY OCTOBER 15. PROPER INSTALLATION INCLUDES PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.

STABILIZE THE SOIL WITH MULCH: BY NOVEMBER 15, MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150-LBS PER 1,000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH IMMEDIATELY AFTER APPLYING THE MULCH. ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF OF THE DISTURBED SOIL.

AREAS WITHIN 75' OF ANY STREAM OR WETLAND SHALL RECEIVE TEMPORARY STABILIZATION WITHIN 2 DAYS BEFORE ANY SIGNIFICANT RAINFALL.

4. STABILIZATION OF ROAD OR PARKING SURFACES
AFTER NOVEMBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

MAINTENANCE
MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION SEASON. AFTER EACH RAINFALL, SNOW STORM OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUOUS FUNCTION.

FOLLOWING THE TEMPORARY AND OR FINAL SEEDING AND MULCHING, THE CONTRACTOR SHALL IN THE SPRING INSPECT AND REPAIR ANY BARE SPOTS. AN ESTABLISHED VEGETATIVE COVER MEANS A MINIMUM OF 85% TO 90% OF AREAS VEGETATED WITH VIGOROUS GROWTH.

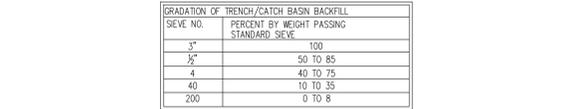
STABILIZATION SCHEDULE BEFORE WINTER

SEPTEMBER 15 ALL DISTURBED AREAS MUST BE SEEDED AND MULCHED. ALL SLOPES MUST BE STABILIZED, SEEDED AND MULCHED. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE STABILIZED WITH MULCH OR AN EROSION CONTROL BLANKET.

OCTOBER 15 IF THE SLOPE IS STABILIZED WITH AN EROSION CONTROL BLANKET AND SEEDED, ALL DISTURBED AREAS TO BE PROTECTED WITH ANNUAL GRASS MUST BE SEEDED AT A SEEDING RATE OF 3-LBS PER 1,000 SQUARE FEET AND MULCHED.

NOVEMBER 1 ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED. SLOPES THAT ARE COVERED WITH RIPRAP MUST BE CONSTRUCTED BY THIS DATE.

DECEMBER 1 ALL DISTURBED AREAS WHERE GROWTH OF VEGETATION FAILS TO BE AT LEAST THREE INCHES TALL OR AT LEAST 85% OF THE DISTURBED SOIL IS COVERED BY VEGETATION, MUST BE PROTECTED FOR OVER-WINTER.



SEIVE NO.	PERCENT BY WEIGHT PASSING STANDARD SEIVE
3"	100
1/2"	50 TO 85
4	40 TO 75
40	10 TO 35
200	0 TO 8

MIXTURE	SPECIES	POUNDS PER ACRE	POUNDS PER 1,000 SF
A	TALL FESCUE	20.00	0.45
	REDFEET	2.00	0.05
	TOTAL	42.00	0.95
B	CROWN VETCH OR FLATPEA	15.00	0.35
	TOTAL	30.00	0.75
	TOTAL	40 OR 55	0.95 OR 1.35
C	BIRDSFOOT TREFLOIL	8.00	0.20
	TOTAL	48.00	1.10
	TOTAL	10.00	0.25
D	REDFEET	5.00	0.10
	REED CANARYGRASS ¹	15.00	0.35
	TOTAL	30.00	0.70
E	TALL FESCUE	20.00	0.45
	FLATPEA	30.00	0.75
	TOTAL	50.00	1.20
F	KENTUCKY BLUEGRASS ²	50.00	1.15
	TOTAL	100.00	2.30
G	TALL FESCUE ²	150.00	3.60

- NOTES:
- DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN STAKING.
 - WATER THOROUGHLY BEFORE PLANTING
 - REMOVE ANY STAKES WITHIN TWO YEARS OF PLANTING

TREE PLANTING DETAIL
NOT TO SCALE

PERMANENT SEEDING

SITE PREPARATION:

INSTALL NEEDED EROSION AND SEDIMENT CONTROL MEASURES SUCH AS

- SILTATION BARRIERS, DIVERSIONS, AND SEDIMENT TRAPS.
- GRADE AS NEEDED FOR THE ACCESS OF EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
- RUNOFF SHOULD BE DIVERTED FROM THE SEEDED AREA.
- ON SLOPES 4:1 OR STEEPER, THE FINAL PREPARATION SHOULD INCLUDE CREATING HORIZONTAL GROOVES PERPENDICULAR TO THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF.

SEEDBED PREPARATION:

- WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FLATTEN THE SEEDBED WHEREVER FEASIBLE.
- REMOVE FROM THE SURFACE ALL STONES 2 INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, CONCRETE, CLOS, LUMPS, TRASH OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE TILLED AND FIRMED AS ABOVE.
- WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
- IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING SEASON.

APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHORUS FERTILIZER (N-P205-K2O) OR EQUIVALENT. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).

FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 FEET AND 250 FEET FROM A SURFACE WATER BODY. NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE AREAS SHOULD BE PROTECTED BY ANY WATER BODY PROTECTED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT.

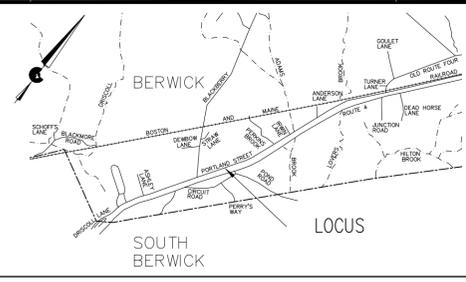
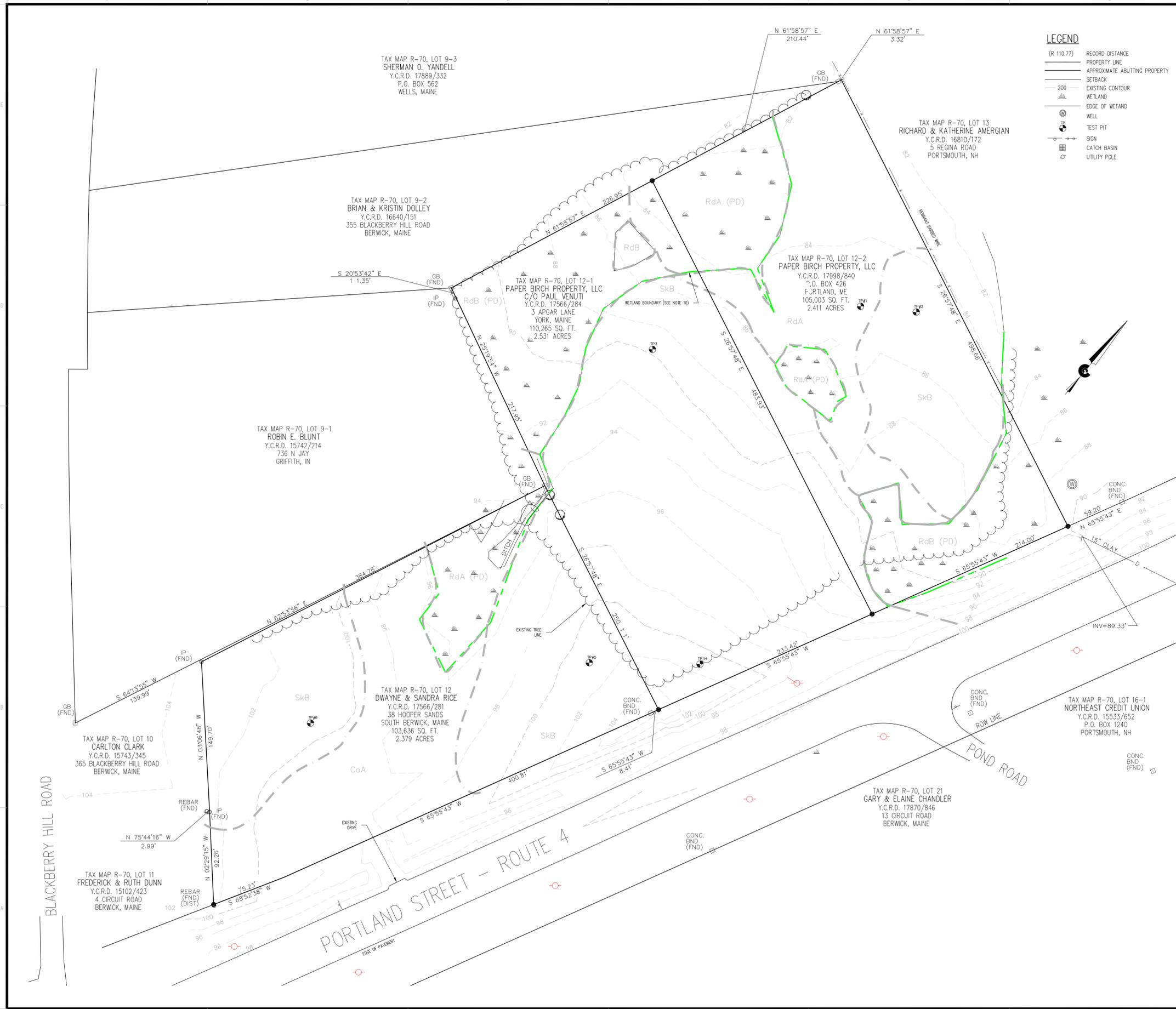
SEEDING:

- SELECT A SEED MIXTURE IN TABLE 4-2 THAT IS APPROPRIATE FOR THE SOIL TYPE AND MOISTURE CONTENT AS FOUND AT THE SITE. FOR THE AMOUNT OF SUN EXPOSURE AND FOR LEVEL OF USE. SELECT SEED FROM RECOMMENDATIONS IN TABLE 4-3.
- INOCULATE ALL LEGUME SEED WITH THE CORRECT TYPE AND AMOUNT OF INOCULANT.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4 TO 1/2 INCH. HYDROSEEDING THAT INCLUDES MULCH OR MAY BE LEFT ON SOIL SURFACE. SEEDING OPERATIONS SHOULD BE ON THE CONTOUR.

WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A ROLLER OR LIGHT DRAG.

SPRING SEEDING USUALLY GIVES THE BEST RESULTS FOR ALL SEED MIXES OR WITH LEGUMES. PERMANENT SEEDING SHOULD BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST. WHEN CROWN VETCH IS SEEDED IN LATER SUMMER, AT LEAST 55% OF THE SEED SHOULD BE HARD SEED (UNSCARIFIED). IF SEEDING CANNOT BE DONE WITHIN THE SPECIFIED SEEDING DATES, MULCH ACCORDING TO THE TEMPORARY AND PERMANENT MULCHING PRACTICE, AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.

TEMPORARY SEEDING SHOULD TYPICALLY OCCUR PRIOR TO SEPTEMBER 15TH. AREAS SEEDED BETWEEN MAY 15TH AND AUGUST 15TH SHOULD BE COVERED WITH HAY OR STRAW MULCH, ACCORDING TO THE TEMPORARY AND PERMANENT MULCHING PRACTICE.



- LEGEND**
- (R 110.77) RECORD DISTANCE
 - PROPERTY LINE
 - APPROXIMATE ABUTTING PROPERTY
 - SETBACK
 - EXISTING CONTOUR
 - 200'
 - WETLAND
 - EDGE OF WETLAND
 - WELL
 - TEST PIT
 - SIGN
 - CATCH BASIN
 - UTILITY POLE

- NOTES:**
- ASSESSOR'S INFORMATION:
TOWN OF BERWICK ASSESSOR'S MAP R-70 LOT 12-1 & 12-2
 - RECORD OWNER:
LOT 12-1 - PAPER BIRCH PROPERTY, LLC
C/O PAUL VENUITI
3 APGAR LANE
YORK, ME 03909
LOT 12-2 - PAPER BIRCH PROPERTY, LLC
P.O. BOX 426
PORTLAND, ME 04112
 - DEED REFERENCE:
LOT 12-1 - Y.C.R.D. 17566/284
LOT 12-2 - Y.C.R.D. 18120/324
 - ZONING INFORMATION:
RURAL COMMERCIAL / INDUSTRIAL - (RC/I)
LOT SIZE: LOT 12-1 = 110,265 SQ. FT. LOT 12-2 = 105,003 SQ. FT.
MINIMUM FRONTAGE: 200'
SETBACKS:
FRONT YARD: 50'
SIDE YARD: 25'
REAR YARD: 25'
MAXIMUM BUILDING HEIGHT: 45'
MINIMUM LOT WIDTH: 200'
MAXIMUM LOT COVERAGE: 80%
 - NORTH AS DEPICTED HEREON IS BASED ON REFERENCE PLAN #1.
 - THE PARCEL IS LOCATED IN FLOOD HAZARD ZONE X AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF BERWICK, COMMUNITY PANEL NO 23014400989, EFFECTIVE DATE AUGUST 5, 1991. ZONE X IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
 - LOT 12-1 CONTAINS 2,531 ACRES MORE OR LESS. LOT 12-2 CONTAINS 2,411 ACRES MORE OR LESS.
 - THE BOUNDARY AS SHOWN HEREON IS BASED ON REFERENCE PLAN #1 AND PHYSICAL MONUMENTS SHOWN THEREON. NO INDEPENDENT BOUNDARY RETRACEMENT WAS PERFORMED BY CIVIL CONSULTANTS.
 - TOPOGRAPHIC DETAIL SHOWN HEREON IS BASED ON REFERENCE PLAN #1 AND MAY NOT ACCURATELY REFLECT CURRENT CONDITIONS ON SITE.
 - WETLANDS AND SOILS SHOWN HEREON WERE DELINEATED BY JOSEPH NOEL, MAINE CERTIFIED SOIL SCIENTIST #209, IN DECEMBER 2012 AS PART OF THE APPROVAL OF REFERENCE PLAN #1. REPORT TITLED CLASS A HIGH INTENSITY SOIL SURVEY FOR JAMES AND DIANNE DEAN, TAX MAP R70, LOT 12, PORTLAND STREET (ROUTE 4), BERWICK, MAINE. REPORT CONTAINS INFORMATION ON TEST PITS DESIGNATED AS TP 3 AND TP 4.
 - MINIMUM PARKING FOR RETAIL BUSINESS IS 1 SPACE FOR EVERY 150 SQUARE FEET OF FLOOR SPACE. MINIMUM PARKING FOR INDUSTRIAL BUSINESSES IS 1 SPACE PER EMPLOYEE ON THE MAXIMUM WORKING SHIFT.
 - SIGHT DISTANCE INDICATED ON PLANS IS BASED ON INFORMATION PROVIDED BY MAINE DOT FROM PREVIOUSLY APPROVED PROJECT AT THIS LOCATION.

REFERENCE PLANS:

- *SUBDIVISION PLAN, OWNERS OF RECORD JAMES & DIANNE DEAN, PORTLAND STREET - ROUTE #4, BERWICK, MAINE, DATED JANUARY 24, 2013 BY TRITECH ENGINEERING CORPORATION.

ISSUED FOR PERMIT N.F.C

5/29/2020

CIVIL CONSULTANTS
CIVIL CONSULTANTS
Engineers
Planners
Surveyors
P.O. Box 100
South Berwick
Maine
03908
207-384-2550
www.civcon.com

NO.	REVISIONS	DATE

RECORD OWNER:
PAPER BIRCH PROPERTY, LLC
OWNER ADDRESS:
C/O PAUL VENUITI
P.O. BOX 426
PORTLAND, ME 04112

**EXISTING SITE PLAN
357 & 359 PORTLAND STREET
BERWICK, MAINE**

PREPARED FOR:
PAUL VENUITI
P.O. BOX 426, PORTLAND, ME 04112

CLIENT ADDRESS:
P.O. BOX 426, PORTLAND, ME 04112

EXISTING SITE PLAN

PROJECT NO: 17-287.02

L5

SHEET: 5 OF 5



**PLANNING BOARD MEMORANDUM
TOWN OF BERWICK, PLANNING DEPARTMENT**

TO: BERWICK PLANNING BOARD; JENIFER MCCABE, CODE ENFORCEMENT OFFICER
FROM: JAMES BELLISSIMO, DIRECTOR OF COMMUNITY DEVELOPMENT & PLANNING
SUBJECT: 3G'S REALTY, LLC – SITE PLAN REVIEW – ADULT USE MARIJUANA CULTIVATION
DATE: JULY 29, 2020
CC:

3G's Realty has proposed to construct 12 industrial buildings: 10 for Adult Use Marijuana Cultivation and 2 for general industrial buildings with specific uses to be determined. Depending on the use, the 2 general buildings could require an additional Conditional Use at a later date. Each building will be 6,600 ft² for a total of 79,200 ft². The project overall will result in 7.6 acres of developed area, with 3 acres of pavement and 1.8 acres of building area.

The 12 industrial buildings are expected to have 57 employees and the parking area has 57 parking stalls. The expected added trips per day is 153 and 26 during the peak hour. The hours of operation will be 7am to 7pm each day. The facilities will be surrounded by security fencing. 10 fenced dumpster enclosures are indicated for the grow buildings. 8,000 lbs of solid marijuana waste is expected per week which will be hauled by ecomaine and taken to one of their facilities in Westbrook, Scarborough or South Portland. The applicant is exploring the feasibility of composting non-hazardous agricultural waste which would require DEP approval. The site will be served by a new on-site septic and private well(s).

A Maine DOT entrance permit has been submitted.

25 out of the 52 acres of the lot are wetlands and some of the contiguous wetlands are within the Resource Protection District which has an associated 100' setback. A Site Location of Development Permit is required with the DEP. 2 wet ponds and roadside buffers are components of the stormwater system. 14,899 ft² of wetlands are proposed to be impacted which requires a Tier 1 NRPA permit. The site was heavily forested by the previous owner, all existing and new disturbance will be stabilized with buildings or pavement will be revegetated

with grass/landscaping. A Class A Soil Survey was completed by excavating 51 test pits and a soil report and map has been included in the packet.

A detailed odor control plan was submitted. Correspondence with both Police and Fire Departments have been submitted as part of the application packet. The project is set out in three phases. Phase I is set to begin December of 2020.

One waiver was requested: 9.8.F.2.b.i – Map at a scale of not less than once inch to 40'. The plan is 1"=60'.

Next Steps

1. Deliberate on the waiver of 1"=60' instead of 1"=40'.
2. Determine application completeness
 - a. Set Public Hearing
 - i. Suggested date: September 3rd



Town of Berwick

Where Tradition Meets Tomorrow

11 Sullivan Street, Berwick, Maine 03901

Phone: (207) 698-1101 Fax: (207) 698-5181

Website: www.berwickmaine.org

APPLICATION: CONDITIONAL USE PERMIT/SITE PLAN REVIEW

PLANNING BOARD REVIEW FEES <i>(All Fees are Non-Refundable)</i>		<input type="checkbox"/> \$500.00 Conditional Use Review <input checked="" type="checkbox"/> \$1,000.00* Site Plan Review <i>* Site Plan Review requiring more than 10 hours of staff time will be billed at \$80/hour.</i>		Site Plan Review[†] Please check any that apply: <input checked="" type="checkbox"/> Construction of 3,000 or more ft ² <input checked="" type="checkbox"/> Installment of 5,000 ft ² or more impervious surfaces. <input type="checkbox"/> Mobile Home Park <input type="checkbox"/> Extraction Industry <input type="checkbox"/> Multi-Family <input type="checkbox"/> None of the above			
PROPERTY DESCRIPTION	Parcel ID	Map: R-72	Lot: 17	Zoning District: RC/I	Total Land Area: 51.6 ac	Part of a Subdivision (Y/N)	N
	Physical Address	Portland Street Berwick, ME 03901 (400 ft south of Old Rt 4 intersection)				Aquifer Protection (Y/N)	N
						Shoreland Protection (Y/N)	N
						Resource Protection (Y/N)	Y
				Special Flood Hazard Area (Y/N)	N		
APPLICANT OR REPRESENTATIVE INFORMATION	Name CIVIL CONSULTANTS for: 3 G's Realty, LLC.			Mailing Address	PO Box 100 South Berwick, ME 03908		
	Phone	207-384-2550		Email Address	neil@civcon.com		
PROJECT DESCRIPTION	<u>Existing Use:</u> Undeveloped woods, previously logged by prior owner, and hay fields.						
	<u>Project Name:</u> 3 G's Industrial Development						
	<u>Proposed Use</u> Buildings intended to be utilized as marijuana grow facilities.						
	<u>Waiver(s) Requested:</u> Waiver requested for 9.8.F.b.i - Plan Scale (1"=60')						

Planning Board meetings are the 1st and 3rd Thursday of each month at 6:30pm.

This application must be submitted at least **two weeks** in advance of the Planning Board meeting. Ongoing applications have a **one-week** submittal requirement. Please e-mail a complete application to planning@berwickmaine.org, submit the application fee and eight copies to the Planning Department with the requirements outlined on the other side of this application.

A Public Hearing and a site walk when necessary will be scheduled when the Planning Board finds the application complete. All expenses must be paid before a Certificate of Occupancy will be granted through the Code Enforcement Office. A performance guarantee may be required by the Planning Board.

CERTIFICATION. To the best of my knowledge, all information submitted with this application is true and correct.

Signature of Applicant

Date

Submitted	Waiver Request	Conditional Use Application Requirements
X	N/A	List of Abutters located within 200 feet including tax map and lot number. Information can be found in the Assessing Database or GIS maps at www.berwickmaine.org
X	N/A	Right, Title and Interest to the Property: Copy of Deed, Purchase & Sale Agreement or subdivision approval.
X	<input type="checkbox"/>	Site Plan to include requirements in Section 9.8(F) of the Land Use Ordinance. Including: <input type="checkbox"/> Proposed buildings with room layout X Approximate boundaries of the parcel X Parking Plan X Traffic circulation with proposed exists and entrances X Lighting X Landscaping.
X	<input type="checkbox"/>	Written narrative describing proposed use including: X Total floor area X Ground coverage X Location of each proposed building X Setbacks to property line X Business Hours of Operation X Number of Employees X Materials to be Used Refuse/Garbage Disposal X Noise X Existing restrictions or easements on the site
X	<input type="checkbox"/>	X External Plumbing Permit or permission letter to enter municipal water and sewer lines. OR on-site soils investigation report by licensed site evaluator.
X	<input type="checkbox"/>	Written statement documenting proposed Low Impact Design (LID) for the site to reduce storm water volumes. LID includes, but is not limited to: green roofs, rain gardens, tree wells, infiltration basins, and permeable pavement.
X	<input type="checkbox"/>	Materials to satisfy Section of 9.8.I.1 a through s as they apply to Conditional Use Review.

Submitted	Waiver Request	Site Plan Approval Requirements [†]
		These requirements shall be met when the application meets any of the criterion of Section 9.8.E in the Land Use Ordinance.
<input type="checkbox"/>	X	Map or maps prepared at a scale of not less than 1" to 40'
X	<input type="checkbox"/>	Perimeter survey of parcel certified by registered land surveyor Which meets all requirements of 9.8. criterion 2.b.i
X	<input type="checkbox"/>	Topography indicating contours at intervals of not more than two feet in elevation unless otherwise specified by the Planning Board.
X	<input type="checkbox"/>	Existing and proposed locations and dimensions of any utility lines, sewer lines, water lines, easements, drainage ways, public or private ways
X	<input type="checkbox"/>	Location, ground floor area and elevations of buildings and other structures on site
X	<input type="checkbox"/>	On-site soils investigation which meets all requirements of 9.8.2.b.iv
X	<input type="checkbox"/>	Location and dimensions of on-site pedestrian and vehicular access ways, parking areas, loading and unloading facilities, design of ingress and egress of vehicles to and from the site on to public streets and curb and sidewalk lines
X	<input type="checkbox"/>	Landscape plan showing location, type and approximate size of plantings and location and dimensions of all fencing and screening
X	<input type="checkbox"/>	A written statement that meets all 11 requirements of 9.8.F.2.c
X	<input type="checkbox"/>	Materials to satisfy Section of 9.8.I.1 a through s as they apply to Site Plan Review.

I authorize Neil J. Rapoza, P.E. of Civil Consultants, 293 Main Street, South Berwick, Maine, to sign State and local regulatory application for submittals on my behalf for proposed the site development project located on Portland Street, Berwick, Maine.



April 3, 2020

Print Name: Charles J. Brucato, III

Date

3 G's Realty, LLC.
309 Old Colony Avenue
South Boston, MA 02127

MAINE SHORT FORM WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, that, I, **STEVEN E. BROWN** whose mailing address is P.O. Box 638, Berwick, Maine 03901,

for consideration paid,

grant to **3G'S REALTY, LLC**, a Massachusetts limited liability company with a mailing address of 309 Old Colony Avenue, South Boston, Massachusetts 02127,

with **WARRANTY COVENANTS** the following described real property:

A certain lot or parcel of land, together with any improvements thereon, located in the Town of Berwick, County of York and State of Maine and being bounded and described as follows:

Northerly by land now or formerly of Edgar Wentworth to land now or formerly of Frank Hall; Thence southeasterly by said Hall land and land now or formerly of Andrew Willis Grant; Thence on the northerly side, westerly and northerly by land of Boston & Maine Railroad Company to land now or formerly of Almeda Knight; Thence easterly by said Knight land and on an irregular course by said Wentworth land to land now or formerly of Goulet; Thence on the southerly side on an irregular course by said Goulet land, land now or formerly of Clarence Hussey, land now or formerly of Edward Knight, land now or formerly of Washington Knight, land now or formerly of Henry Dagan, land now or formerly of Justin Hobbs and the Somersworth Road to land of said Hobbs; westerly by said Hobbs land and northwesterly by said Hobbs land and land now or formerly of Brackett Abbott to Beaver Dam Road; Thence by said Beaver Dam Road to the point of beginning. Being a parcel of land situated on both sides of the westerly division of the Boston and Maine Railroad Company.

Excepting from the above-described premises the following described parcel of land with any improvements thereon: Beginning at a point on the road leading from North Berwick to South Berwick, being Route #4, so-called, said point of beginning being on the dividing line of the land of said Hobbs and the property herein excepted and extending in a northerly direction by said road to the old "Milk Siding Right of Way", so-called; Thence in an easterly direction by said right of way to the land of the Boston & Maine Railroad Company; Thence in a southerly direction by the land of the Boston & Maine Railroad Company to the land formerly of said Hobbs; Thence by land formerly of said Hobbs in a westerly direction to the point of beginning. Containing six acres, more or less.

Also excepting from the above-described premises the burying ground located on said premises, together with the road or right of way leading to and from said burying ground and the sufficient right and privileges in the land around said burying ground to repair the same and to keep the fence and wall

Maine R.E. Transfer Tax Paid

in repair; also the right of way leading across said premises to land of others accessible only by said right of way.

Also excepting from the above-described premises the parcels of land described in the following instruments: (1) deed recorded in the York County Registry of Deeds at Book 2021, Page 13; (2) deed recorded in said Registry at Book 3571, Page 292; (3) deed recorded in said Registry at Book 9139, Page 15; (4) deed recorded in said Registry at Book 9346, Page 347; (5) Notice of Layout and Taking recorded in said Registry at Book 9363, Page 141; (6) deed recorded in said Registry at Book 12252, Page 295; (7) deed recorded in said Registry at Book 13766, Page 307; (8) deed recorded in said Registry at Book 14792, Page 621.

Meaning and intending to convey, but without any warranty as to description, that parcel of land depicted as Lot 17 on Town of Berwick Tax Map R-72 which is bounded and described as follows:

Beginning on the southeasterly side of Portland Street, a/k/a Route 4, at an iron rod set at land now or formerly of Exchange Realty Trust as described in deed recorded in the York County Registry of Deeds at Book 12136, Page 150; Thence running southeasterly along said Trust land a distance of 820 feet, more or less; Thence running generally easterly along said Trust land a distance of 275 feet, more or less; Thence running generally southerly along said Trust land a distance of 460 feet, more or less, to land now or formerly of Richard R. and Pauline F. Harris as described in deed recorded in said Registry at Book 17073, Page 707; Thence running northeasterly along said Harris Land a distance of 689 feet, more or less; Thence running southeasterly along said Harris land a distance of 836 feet, more or less, to an iron rod set and land now or formerly of William H. Tobey, Jr. as described in deed recorded in said Registry at Book 17185, Page 381; Thence running along said Tobey land the following four (4) courses and distances: (1) N 47° 56' 38" W, 231.36 feet; (2) N 20° 29' 40" W, 144.84 feet; (3) N 18° 09' 33" W, 379.32 feet; (4) N 18° 45' 27" W, 509.05 feet to an iron rod set and land now or formerly of Gary L. Collins, Sr. and Patricia A. Collins as described in deed recorded in said Registry at Book 5549, Page 134; Thence running generally northwesterly along said Collins land a distance of 342 feet, more or less, to an iron rod set on the southeasterly side of Portland Street; Thence running generally southwesterly along the southeasterly side of Portland Street a distance of 1,484 feet, more or less, to the point of beginning.

The above courses and distances along the land now or formerly of William H. Tobey, Jr. are derived from plan entitled "Subdivision of Land of Mick Construction Corporation, Route 4, Berwick, Maine" dated September 7, 2006, revised through April 13, 2011 and recorded in the York County Registry of Deeds at Plan Book 349, Page 17.

IN WITNESS WHEREOF, I, the said Steven E. Brown, have set my hand hereto this 24th day of January, 2020.

David J. Ballou
Witness

Steven E. Brown
Steven E. Brown

STATE OF MAINE
COUNTY OF YORK

January 24, 2020

Personally appeared the above-named Steven E. Brown and acknowledged the foregoing instrument to be his free act and deed.



Before me,

David J. Ballou
Notary Public

LIST OF ABUTTERS

3 G's Realty LLC

Map R-72 Lot 17

Portland Street

Berwick ME

MAP - LOT #	NAME	MAILING ADDRESS	TOWN, STATE, ZIP
R072-0016-A	COLLINS, GARY L. SR & PATRICIA	PO BOX 839	BERWICK, ME 03901
R072-0016	PELLETIER, PETER W. & LONIE	4 STONE LN	BERWICK, ME 03901
R072-0018	BROWN, STEVEN E.	PO BOX 638	BERWICK, ME 03901
R072-0018	MARK PENDERGAST LLC	320 BLACKBERRY HILL RD	BERWICK, ME 03901
R072-0019	MARK PENDERGAST LLC	320 BLACKBERRY HILL RD	BERWICK, ME 03901
R072-0012	TOBEY, WILLIAM H. JR.	PO BOX 363	ROLLINSFORD, NH 03869
R072-0020	CENTRAL MAINE POWER	C/O AVANGRID SERVICE CO. ONE CITY CENTER, 5 TH FLOOR	PORTLAND, ME 04101
R072-0021	SEARLES, ERNEST O. & MAISIE M.	54 OLD ROUTE FOUR	BERWICK, ME 03901
R072-0014	BONNELL, JOHN & ELAINE	PO BOX 218	ROLLINSFORD, NH 03869
R072-0015	HARRIS, RICHARD R. & PAULINE F.	26 STONE LANE	BERWICK, ME 03901
R071-0004	DUPLESSIS, DANIEL & HALBACH, JENNIFER	36 OLD ROUTE FOUR	BERWICK, ME 03901
R071-0004-1	BROADMAN, JESSE G. & LISA	42 OLD ROUTE FOUR	BERWICK, ME 03901
R071-0004-2	CENTRAL MAINE POWER	C/O AVANGRID SERVICE CO. ONE CITY CENTER, 5 TH FLOOR	PORTLAND, ME 04101
R071-0007-A	GARAFOLO, JOHN F. TRUSTEE EXCHANGE REALTY TRUST	472 PORTLAND STREET	BERWICK, ME 03901

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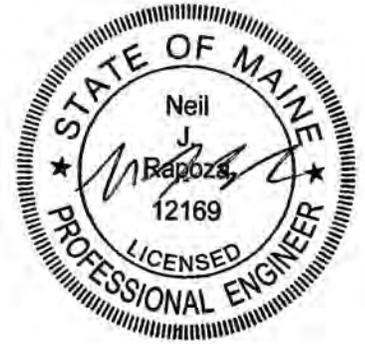


**CIVIL
CONSULTANTS**

P.O. Box 100 South Berwick, Maine 03908 207-384-2550

CIVIL CONSULTANTS MEMORANDUM

TO: BERWICK PLANNING DEPARTMENT
FROM: NEIL J. RAPOZA, PE
SUBJECT: PROJECT NARRATIVE
DATE: 8 APRIL, 2020
PROJECT: 19-352.00 – 3 G'S DEVELOPMENT, BERWICK, ME



This narrative is intended to provide information regarding the application for a Site Plan Review to allow the construction of a new industrial development in on Portland Street.

The proposed development will be located on Berwick Tax Map R-72 Lot 17. The lot has been historically used by previous owners as a large hay field and for timber harvesting. The project would involve the construction of 12 new industrial building; with 10 buildings housing marijuana grow facilities. The remaining 2 buildings would be utilized as general industrial buildings, with specific use per the lease holders. All of the proposed structures will be similar pre-engineered metal buildings with a footprint of 6,600 sf each. The project will result in a total of 7.6 acres of developed area, with 3.0 acres of pavement and 1.8 acres of building area.

It is expected that each grow facility will have 3 full-time employees. For the purpose of determining the required parking, it is conservatively assumed that the general industrial buildings will have 27 employees total (1/500 sf). This results in a requirement for 57 available parking spaces, which are indicated on the plan. The hours of operation will be 7am to 7pm, weekdays and weekends. There will be no public access to the site, and all grow facilities will be surrounded by security fencing. There are 10 fenced dumpster enclosures indicated for the grow buildings, with refuse handling at the industrial buildings to be determined by the users of those spaces.

The development will be served by a new on-site septic and private well(s). The septic system will be designed by Civil Consultants based on soils information from Ken Gardner. It has been determined that an elevated system will be acceptable in the location indicated on the plans.

Access to the site will be via an existing gravel driveway that will be improved to accommodate the proposed use. An application has been submitted to the Maine DOT for the change in use.

The 52 acre lot has 25 acres of wetlands on the western portion of the lot, and an unnamed stream flowing northeast to southwest across the property. The size of the contiguous wetlands results in the lot being in the Resource Protection Zone per Town regulations. The dimensional requirements are met with the development as shown on the project drawings, with a 100 ft setback to the wetlands maintained around the perimeter of the proposed work.

A Site Location of Development Act permit will be required to be issued by the Maine DEP. This will require both treatment of stormwater from the site and control of the flows that the downstream wetlands and waterways receive. This application will be submitted upon receiving requested input from various agencies. The Stormwater Management Plan submitted with this application is a copy of that which was prepared for the DEP submission. It is proposed that 2 wet ponds be constructed to provide treatment and runoff attenuation, along with an underdrained grass filter. A system of catch basins and culverts will direct flows to the treatment areas. A roadside treatment buffer is also proposed to provide pollutant removed for runoff leaving the access drive.

A Stormwater Maintenance and Inspection Plan has been prepared that will be utilized by the applicant to ensure that the treatment ponds and other structures perform as intended.



The site was heavily logged in recent years. It is the intention of the applicant to provide site stabilization and plantings to supplement existing vegetation as recommended by the DEP.

To complete the planned development, a total of 14,899 sf of wetland impact is proposed. The impacted wetlands are an isolated wetland in an upland area and a man-made wetland created by a drainage swale, and will not affect the contiguous portion of the wetlands or the stream. This will require a Tier 1 NRPA permit, the application for which has been submitted to the DEP.

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Account Summary as of 03/31/2020
This is a summary of your account. Please refer to your account statement for more detailed information and contact your Portfolio Manager if you have any questions.

Account: [REDACTED] Account Name: Investment Manager For Charles J. Brucato, III Trustee Under Trust Agreement Of Charles J. Brucato, III Dated 4/28/2006 As Amended 12/14/2016 U/A Dated 10/5/2010-Sub 3 Service Account Type: [REDACTED] Market Value As of 03/31/2020: \$3,440,589.56

Investment Summary
Total Asset Allocation

	% of Total	Market Value As of 03/31/2020	Estimated Annual Income
Cash & Cash Equivalents	26%	\$881,509.56	\$11,203.96
Fixed Income	74%	\$2,559,080.00	\$64,537.50
Market Value		\$3,440,589.56	\$75,741.46
Accrued Income		\$35,825.99	
Total Market Value plus Accrued Income		\$3,476,415.55	



Change in Investment Value

Period	Beginning Market Value	Additions	Withdrawals	Change in Investment Value (net of fees, includes income)	Ending Market Value
Current 03/01 - 03/31/2020	\$3,445,612.06	\$0.00	\$0.00	(\$5,022.50)	\$3,440,589.56
Year To Date 01/01 - 03/31/2020	\$3,443,361.09	\$0.00	\$0.00	(\$2,771.53)	\$3,440,589.56

Income Summary

	Current Period 03/01 - 03/31/2020	Year to Date 01/01 - 03/31/2020
Dividend Income	\$0.00	\$0.00
Capital Gain Income	\$0.00	\$0.00
Taxable Interest Income	\$137.07	\$1,289.38
Tax Exempt Interest Income	\$1,664.68	\$5,676.59
Other Income	\$0.00	\$0.00
Total Income	\$1,801.75	\$6,965.97

Realized Gain/Loss

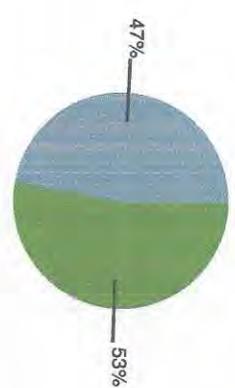
Year to Date Realized Gain/Loss	Short Term	Long Term
	\$0.00	\$0.00

Account Summary as of 03/31/2020
This is a summary of your account. Please refer to your account statement for more detailed information and contact your Portfolio Manager if you have any questions.

Account [REDACTED] Account Name Investment Manager For Charles J. Brucato, III Dated 4/28/2006 As Amended 12/14/2016 U/A Dated 10/5/2010-Sub [REDACTED] Service Account Type [REDACTED] Market Value As of 03/31/2020 \$905,508.06

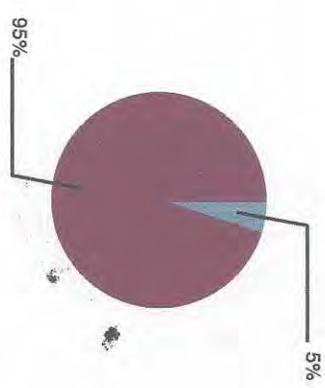
Investment Summary

Total Asset Allocation	% of Total	Market Value As of 03/31/2020	Estimated Annual Income
Cash & Cash Equivalents	53%	\$481,210.88	\$5,252.96
Equities	47%	\$424,297.18	\$11,760.75
		Market Value \$905,508.06	Accrued Income \$17,013.71
		Accrued Income \$2,406.98	
		Total Market Value plus Accrued Income \$907,915.04	



Equities Asset Allocation

Equities	% of Equities	Market Value As of 03/31/2020
U.S. Large Cap	5%	\$20,623.68
Developed International	95%	\$403,673.50
		Total Equities \$424,297.18



Change in Investment Value

Period	Beginning Market Value	Additions	Withdrawals	Change in Investment Value (net of fees, includes income)	Ending Market Value
Current 01/01 - 03/31/2020	\$1,222,371.81	\$0.00	(\$47.57)	(\$316,816.18)	\$905,508.06
Year To Date 01/01 - 03/31/2020	\$1,222,371.81	\$0.00	(\$47.57)	(\$316,816.18)	\$905,508.06



P.O. Box 15284
Wilmington, DE 19850

3 G'S REALTY, LLC
447 BEACON ST APT 2
BOSTON, MA 02115-1339

Business Advantage

Customer service information

☎ 1.888.BUSINESS (1.888.287.4637)

🌐 bankofamerica.com

✉ Bank of America, N.A.
P.O. Box 25118
Tampa, FL 33622-5118



Please see the **Important Messages - Please Read** section of your statement for important details that could impact you.

Your Business Advantage Checking

for March 1, 2020 to March 31, 2020

3 G'S REALTY, LLC

Account number: XXXXXXXXXXXXXXXXXXXX

Account summary

Beginning balance on March 1, 2020	\$964,586.22
Deposits and other credits	0.00
Withdrawals and other debits	-7.75
Checks	-25,684.95
Service fees	-0.00
Ending balance on March 31, 2020	\$938,893.52

of deposits/credits: 0

of withdrawals/debits: 3

of items-previous cycle¹: 1

of days in cycle: 31

Average ledger balance: \$949,622.93

¹Includes checks paid, deposited items & other debits



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¹You may elect to receive alerts via text or email. Bank of America does not charge for this service but your mobile carrier's message and data rates may apply. Delivery of alerts may be affected or delayed by your mobile carrier's coverage. You must be enrolled in Online Banking. ARJ5TCBJ | SSM-02-19-0703.B

Assessment of Traffic Generation

The owner of a lot containing a hay field and woodland located on Portland Street in Berwick, ME (Map R72, Lot 17) is proposing to build ten 6,600 SF marijuana grow houses, and two 6,600 SF Industrial buildings with non-marijuana related uses. All new buildings would be considered industrial use.

The lot has accessed Route 4 via two locations for many years. No documentation for the entrances was on file at the Registry of Deeds. It is proposed that an existing entrance be re-utilized in an area that will not impact nearby wetlands.

This requires a new MDOT driveway/entrance permit for the industrial use entrance.

The following information is provided as an estimate based on the Institute of Traffic Engineer – ITE Trip Generation Manual, 10th Edition.

The proposed project is to create a total of 79,200 SF of industrial use floor area, which has no public access. This means all increases to traffic will be as a result of employees entering and exiting the site, along with sporadic delivery vehicles. As there is no ITE Land Use Code for Marijuana Grow House, Land use category General Light Industrial (110) was used to estimate the traffic volume instead. This use takes into account the increase in traffic due to employees only. Fifty employees were used to determine the traffic generation. This is a conservative value, the uses as proposed are expected to have thirty-six full time employees.

Following this above scenario would result in the following:

ITE Land Use Code 110 – General Light Industrial Building (36 Employees)

Daily Trip Ends Weekday/Employee	3.05 ave
Peak Hour AM Trip Ends Weekday/ Employee	0.52 ave
Peak Hour PM Trip Ends Weekday/ Employee	0.49 ave

Based upon the above, the highest average day figure would be the Daily Trip Ends Weekday rate of 3.05 trip ends – (50 Employees) x 3.05 = 152.8 say *153 trip ends for the day*

Based upon the above, the highest peak hour figure would be the Peak Hour AM Trip Ends rate of 0.52 trip ends in the peak hr – (50 Employees) x 0.52 = *26 trip ends in the peak hr.*

Conclusion:

The proposed industrial use will only produce an increase in traffic proportional to the number of employees, as there will be no public access. Based on a similar ITE Land Use General Industrial Building (110), 50 employees will result in an additional 153 trip ends for the day and 26 trip ends during the peak hour.

Both the total vehicle trips ends/day and the peak hour trip generation rate are under the thresholds for needing a full traffic study. It is our opinion that the traffic generated by this site is negligible and will not adversely impact traffic on adjacent roadways.



CIVIL CONSULTANTS MEMORANDUM

TO: Maine DEP & Town of Berwick

FROM: Neil J. Rapoza, PE – Sr. Project Engineer

SUBJECT: ODOR CONTROL PLAN

DATE: APRIL 2020

PROJECT: 19-352.00 - 3 G'S DEVELOPMENT, BERWICK, ME

The following information is to be utilized for the Odor Control Plan for the proposed project on Portland Street, Berwick. This information provides a basis for the minimum requirements for treatment of exhaust air and controlling potential odor and at the facility. This plan shall be incorporated into the Maine DEP Site Location of Development Application, the Town of Berwick conditional use and site plan approval, and reference shall be made to the requirements indicated on the approved site plan. All tenants for the facility shall follow this plan and provide their own plan supplements during the building permit and certificate of occupancy process.

The Town of Berwick has specific requirements for odor control and they are specified in Land Use Ordinance, Article VIII, Section 8.25.4.

Facility Floor Plan – An open floor plan has been provided for this odor control plan however, tenants of facility will customize layout to their preferred methodology so the intent of this document is to show the minimum requirements for odor mitigation rather than the true layout of the facility. The tenants will provide detailed floor plans with their individual building permit applications. Those plans will also indicate odor producing locations and measure to control such odors.

PROJECT OWNER INFORMATION/ EMERGENCY CONTACT:

3 G's Realty, LLC.
309 Old Colony Avenue, South Boston, 02127
Scott Kearnan, 617-901-5370
scott@firstbostonconsulting.com

At the direction of the Berwick Police Department, individual tenants shall provide contact information and unit numbers for record keeping.

ODOR PRODUCING PROCESSES:

Odor Relevancy/Location of the Sources: In the windowless cultivation facility odors can potentially escape from either the exterior doors or from an untreated ventilation system.

In addition to entry/exit doors, and ventilation system, odors may be produced in areas where the medicine is grown (vegetation area), where buds are grown (flowering area), or the processing



area (packaging). All areas that have the potential for an odor during the production of the medicine shall have systems capable of treating exhaust air through a proper filter system.

ODOR CONTROL REQUIREMENTS:

Odor Mitigation Practices – Based upon industry-specific best control technologies and best management practices.

At the time of this document the best odor control technology for marijuana cultivation facilities is carbon filtration.

Tenants will be required to use the odor mitigation technologies described in this memorandum.

Tenants in good standing will not be required to upgrade odor control plans or equipment unless receiving complaints from Town of Berwick Code Enforcement Office.

Exterior and Interior Doors:

- All doors shall have weather-stripping seals and secure locking hardware. All doors to the exterior shall have self closers.
- Administrative Controls – Properly train staff on isolation of odor emitting activities, i.e. closing interior doors when agriculture process is producing odor.
- Engineering Controls - Isolating odor-emitting activities from other areas of the buildings/outside through closing interior doors.

Ventilation System:

- Administrative Controls – Properly train staff on use of HVAC and Carbon Scrubbing Filtration Controls.
- Engineering Controls – Carbon Scrubbing - Regularly perform maintenance on carbon scrubbing and HVAC filters.

Vegetation Areas:

- Administrative Controls – Properly train staff on use of carbon-scrubbing equipment and the requirements for operation.
- Engineering Controls – Proper use of interior fans, exhaust fans and carbon scrubbing equipment to ensure proper odor mitigation of exhaust air. Perform maintenance at specified intervals.

Flowering Areas:

- Administrative Controls – Properly train staff on use of carbon-scrubbing equipment and the requirements for operation.
- Engineering Controls – Proper use of interior fans, exhaust fans and carbon scrubbing equipment to ensure proper odor mitigation of exhaust air. Perform maintenance at specified intervals.

Processing / Packaging Area

- Administrative Controls – Properly train staff on use of carbon-scrubbing equipment and the requirements for operation.
- Engineering Controls – Proper use of interior fans, exhaust fans and carbon scrubbing equipment to ensure proper odor mitigation of exhaust air. Perform maintenance at specified intervals.



ODOR CONTROL MAINTENANCE PLAN

The following information is the minimum maintenance requirement regarding the efficient and optimal performance of the odor mitigation system. The tenant shall provide the Town of Berwick Code Enforcement Office product documentation regarding the individual system and maintenance intervals.

- Carbon Filters must be changed at the minimum of every 6 months (industry standard). Filter shall be sized based on the room area and desired air exchanges per hour. Design information shall be presented to the Town Code Office.
- Performed maintenance tracking, documentation of malfunctions, and changing of carbon filters (or equivalent), shall be recorded by the tenant and kept available in the event of inspection.
- Maintenance plan shall also include records of purchases and replacement carbon filters.

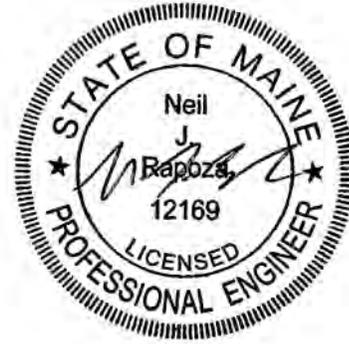
CARBON FILTRATION:

- Carbon filtering works by scrubbing the air and removing odors by a process of neutralization. In these systems activated carbon absorbs the smells and other impurities from air that is pushed through the filter. With a carbon filter as part of the overall exhaust system air is pulled from the desired area by an exhaust fan, and forced through the carbon filter. The filter removes smells from the air prior to discharge through an exhaust to the exterior of the building.
- A carbon filtration systematic lineage: Odor producing area >Fan>Carbon Filter or Scrubber>Exhaust
- Mechanical ventilation must be set up in a manner that directs flow to the induction of the carbon scrubber.
- Number of mechanical ventilation devices will be dictated by size of individual space and amount of plants producing odor. Vented air must be treated through the filtration system prior to discharge to the building exterior.
- Carbon filters shall be sized to properly cover the entire circumference of exhaust vent as to not allow odor to escape.
- To maintain system efficiency match CFM rating between mechanical ventilation and carbon filter. CFM rating on filter shall be the same or slightly higher than rating than the exhaust fan.
- Filter must be attached to vent in a stable, secure manner.
- Follow proper maintenance carbon filtering system procedures to ensure to maintain efficiency and effectiveness of system.



CIVIL CONSULTANTS MEMORANDUM

TO: Town of Berwick
FROM: Neil J. Rapoza, PE
SUBJECT: Waiver: Plan Scale
DATE: 4/14/2020
PROJECT: 19-352.00 3 G'S INDUSTRIAL



A waiver is requested for requirement 9.8.F.2.b.i:

A map or maps prepared at a scale of not less than one inch to 40 ft and shall....

It is requested that the requirement of plans being not less than 1"=40', as the plans most completely and accurately depict the site when produced at 1"=60'. Where applicable, details at a greater scale are provided.

Waiving this requirement would not adversely affect abutting landowners or the general health, safety, and welfare of the Town and would not nullify the intent or purpose of the official zoning map, any ordinance, or the Comprehensive plan.

J:\aaa\2019\1935200\BERWICK\20200414-waiver-plan_scale.docx



CIVIL CONSULTANTS MEMORANDUM

TO: Town of Berwick Planning Office

FROM: Neil J. Rapoza, PE – Sr. Project Engineer

**SUBJECT: Project Summary – Town of Berwick Ordinance
Section 9.8.F**

DATE: 4/2/2020

ROJECT: 19-352.00 3 G'S INDUSTRIAL DEVELOPMENT

As part of the site plan review process, the following memorandum has been prepared to address Section 9.8.F of the Berwick Land Use Ordinance.

REQUIREMENTS	APPLICANT'S RESPONSE
9.8.F.1	
a. Name and address of the applicant or his/her authorized agent and name of proposed development in which the applicant has title or interest; a deed for the property	<i>Applicant: 3 G's Realty LLC 309 Old Colony Avenue South Boston, MA 02127 Agent: Neil J. Rapoza, PE CIVIL CONSULTANTS PO Box 100 South Berwick, ME 03908</i>
b. Municipal tax maps and lot numbers and names and addresses of abutting landowners	<i>Tax Map R-72, Lot 17. See attached abutter list.</i>
c. Total floor area, ground coverage and location of each proposed building; setbacks to property lines;	<i>Proposed 79,200 sf of new building area along with 131,000 sf of associated pavement, resulting and a total of 210,200 sf of new impervious area.</i>
d. Approximate boundaries of the parcel	<i>Provided on plans.</i>
e. If on-site sewage disposal is proposed, then an on-site soils investigation report by a licensed site evaluator shall be provided	<i>See attached report prepared by Kenneth Gardner.</i>
f. If public water and/or sewer are to be used, a statement from the water and/or sewer district or utility as to the availability of public water and/or sewer;	<i>Not applicable.</i>
g. Existing and proposed entrances/exits from the property	<i>The existing entrance onto the property from Portland Street will be utilized.</i>



h.	A parking plan shall also be provided	<i>All parking is indicated on the site plans.</i>
i.	Any existing restrictions or easements on the site	<i>Access easements exist to allow the DOT to maintain the slopes of Portland Street. See sheet EC1 for additional information.</i>
j.	A brief written narrative shall be provided on what type of business is proposed, hours of operation, number of employees, materials being used, waste disposal, etc	<i>See attached.</i>
9.8.F.2.b		
i.	A map or maps prepared at a scale of not less than one inch to 40 feet and shall include:	<i>See attached.</i>
ii.	Perimeter survey of the parcel made and certified by a registered land surveyor depicting reference points, showing true north point, graphic scale, corners of the parcel and date of survey and total acreage. The perimeter survey shall be recorded at the York County Registry of Deeds after Planning Board approval but prior to the issuance of the land use permit. Areas within 200 feet of the proposed development site shall be included	<i>See attached boundary and existing conditions plan, sheet EC1.</i>
iii.	Existing and proposed locations and dimensions of any utility lines, sewer lines, water lines, easements, drainage ways, public or private rights of way	<i>See attached.</i>
iv.	Location, ground floor area and elevations of buildings and other structures on the site	<i>See attached.</i>
v.	If the site is not to be served by a public sewer line, then an on-site soils investigation report by a Department of Human Services licensed site evaluator shall be provided. The report shall contain the types of soil, location of test pits, and proposed location and design of the best practical subsurface disposal system for the site, all of which must meet the standards set forth in the Maine State Plumbing Code	<i>See attached report prepared by Kenneth Gardner</i>
vi.	Location and dimensions of on-site pedestrian and vehicular access ways, parking areas, loading and unloading	<i>See attached.</i>



	facilities, design of ingress and egress of vehicles to and from the site on to public streets and curb and sidewalk lines	
vii.	Landscape plan showing location, type and approximate size of plantings and location and dimensions of all fencing and screening	<i>Limited landscaping is proposed beyond 2 small landscaped parking islands. It is likely that additional buffer reclamation planting will be required by DEP. Any proposed planting will be presented to the Town.</i>
viii.	Topography indicating contours at intervals of not more than two feet in elevation unless otherwise specified by the Planning Board	<i>Provided on plan.</i>
9.8.F.2.c		
i.	A description of the proposed uses to be located on the site, including quantity and type of building construction if any;	<i>There are 10 buildings that are intended to be lease marijuana grow buildings, along with 2 buildings to house non-marijuana based industrial/warehouse space.</i> <i>All buildings will be pre-engineered metal buildings that will have appearances similar to structures on adjacent lots.</i>
ii.	Total floor area and ground coverage of each proposed building and structure and percentage of lot covered by each building or structure;	<i>Each building is proposed to have a floor area of 6,600 sf. This results in each building covering 0.6% of the buildable lot.</i>
iii.	Method of solid waste disposal;	<i>Solid waste from the marijuana grow buildings that is considered non-marijuana waste per State of Maine Rule 18-691 C.M.R. §9.2 is expected to be collected and hauled by <u>ecomaine</u> once weekly. One 8-yard container is proposed to be utilized by each grow building, resulting in approximately 8,000 lbs of solid waste per week with all facilities in operation. It is assumed that one additional container will be used for the non-marijuana warehouse buildings, bringing the total solid waste production to 9,600 lbs/week.</i> <i>It is the intention to explore the possibility of utilizing on-site composting of non-hazardous agricultural waste. If this is found to be feasible, a plan outlining the process will be submitted to the DES for review prior to implementation.</i> <i>The waste is processed by ecomaine with final disposal of non-recyclable materials at their landfill/ashfill facility in Westbrook/Scarborough/South Portland, after it is burned at the nearby waste-to-energy plant in South Portland.</i>



iv.	Erosion and sedimentation control plan prepared in accordance with Article 7.15 if required;	<i>Provided on plan.</i>
v.	Copies of letters to the town manager, selectmen, Planning Board, road commissioner/public works director, fire chief, police chief, etc. notifying them of the proposed development;	<i>See attached.</i>
vi.	Stormwater management plan prepared in accordance with Article 7.17 if required;	<i>The project will require a Site Location of Development permit from the Maine DEP, which results in the project meeting Article 7.17. The Stormwater Management plan created for that submission is included with this application.</i>
vii.	Statement of financial capacity which should include the names and sources of the financing parties including banks, government agencies, private corporations, partnerships and limited partnerships and whether these sources of financing are for construction loans or long-term mortgages or both	<i>The financial capacity information has been provided with this submission.</i>
viii.	The applicant's evaluation of the availability and suitability of off-site public facilities including sewer, water, and streets	<i>Not applicable, the project will utilize on-site water and septic, and no Town road is impacted by the development.</i>
ix.	A statement from the fire chief as to the availability of fire hydrants and/or fire ponds, or provisions of fire protection services	<i>Awaiting response from the Fire Chief.</i>
x.	If public streets are proposed, a statement from the town engineer that the proposed road or street construction will meet town specifications	<i>Not applicable.</i>
xi.	An estimate of the date when construction will start and when the development will be completed	<i>Approximate start date of December, 2020. Approximate completion date of Phase I is April, 2021.</i>

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CIVIL CONSULTANTS MEMORANDUM

TO: Town of Berwick Planning Office

FROM: Neil J. Rapoza, PE

**SUBJECT: Project Summary – Town of Berwick Ordinance
Section 9.8.I.1**

DATE: 04/10/20

ROJECT: 19-352.00 3 G’S INDUSTRIAL DEVELOPMENT

As part of the site plan review process, the following memorandum has been prepared to address Section 9.8.I.1 of the Berwick Land Use Ordinance.

REQUIREMENTS	APPLICANT’S RESPONSE
<p>9.8.I.1 Performance Standards for Conditional Use and Site Plan Review The following standards are to be used by the Planning Board in judging applications for site plan review and conditional use applications and shall serve as minimum requirements for approval of the application. The site plan shall be approved, unless in the judgment of the Planning Board the applicant is not able to reasonably meet any of these standards. In all circumstances the burden for proof shall be on the applicant and such burden of proof shall include the production of evidence necessary for the Planning Board to review the application.</p>	
<p>a. Conformance with Comprehensive Plan: All proposed conditional uses and site plans shall conform to the Comprehensive Plan of the Town of Berwick and with the provisions of all pertinent federal, state, and local codes, ordinances, and regulations</p>	<p><i>The proposed use conforms to the Town of Berwick’s Comprehensive Plan, and all pertinent State and Federal regulations will be met and permits acquired.</i></p>
<p>b. Preserve and enhance the landscape: The landscape shall be preserved in its natural state insofar as practicable by minimizing tree removal, disturbance of soil, retaining existing vegetation during construction. After construction is complete, landscape shall be designed and planted that will define, soften or screen the appearance of off street parking areas from the right of way and abutting properties and/or structures in order to enhance the physical design of the building(s) or site, and to minimize the encroachment of the proposed use on the neighboring land uses.</p>	<p><i>The development will limit disturbance of existing vegetation where possible. All disturbed areas not stabilized with buildings or pavement will be re-vegetated with new grass/landscaping. The project meets ordinance requirements for lot coverage. Additional planting and buffer enhancement will be required for DEP approvals.</i></p>
<p>c. Relationship of the proposed buildings to the environment:</p>	<p><i>The industrial metal building structures fit into the surrounding neighborhood, which consists of self-storage buildings</i></p>



<p>Proposed structures shall be related harmoniously to the terrain and to the existing buildings in the vicinity which have a visual relationship to the proposed buildings. Special attention shall be paid to the bulk, location and height of the building(s) and such natural features such as slope, soil type and drainage ways.</p>	<p><i>and similar metal industrial structures.</i></p>
<p>d. Vehicular access: The proposed site layout shall provide for safe access and egress from public and private roads by providing adequate location, numbers and controls of access points including site distances, turning lanes, traffic signalization when required by existing and projected traffic flow on municipal road systems.</p>	<p><i>Proposed development will utilize a single entrance onto Portland Street. This is an existing entrance that will be improved and permitted by the DOT. Sight distances have been provided on plan sheet L1.</i></p>
<p>e. Parking and circulation: The layout and design of all vehicular and pedestrian circulation, including walkways, interior drives, and parking areas shall provide for safe general interior circulation, separation of pedestrian and vehicular traffic, service traffic, loading areas, and arrangements and use of parking areas.</p>	<p><i>Provided on plan sheet L2. All areas of vehicular circulation have a clearance of at least 25 ft.</i></p>
<p>f. Surface water drainage: Adequate provision shall be made for surface drainage so that removal of surface waters will not adversely affect neighboring properties, downstream conditions, soil erosion or the public storm drainage system. Whenever possible, on-site absorption of unpolluted run-off waters shall be utilized to permit groundwater recharge on the site.</p>	<p><i>Town requires stormwater to meet requirements of MDEP Chapter 500. This project will achieve that and will also need to obtain a Site Location of Development permit. See drainage report provided as part of this submission.</i></p>
<p>g. Existing utilities: The development shall not impose an unreasonable burden on sewers, sanitary and storm drains, water lines or other public utilities.</p>	<p><i>The proposed development will utilize a private well and private septic system.</i></p>
<p>h. Advertising features: The size, location, design, lighting and materials of all exterior signs and outdoor advertising structures or features shall not detract from the design of proposed buildings and structures and the surrounding properties</p>	<p><i>All signs will meet the requirements per section 7.13 (Signs) of the Town of Berwick Land Use Ordinance.</i></p>
<p>i. Special features of the development: Exposed storage areas, exposed machinery installation, service areas, truck loading areas, utility buildings and similar structures shall have sufficient setback and screening to provide an audio/visual buffer to minimize their adverse impact on other land uses within the development area and surrounding properties.</p>	<p><i>Any loading areas utilized by the buildings will be located well beyond the required setbacks. Surrounding uses are of similar sound production.</i></p>
<p>j. Exterior lighting: All exterior lighting shall be designed to minimize adverse impact on neighboring properties.</p>	<p><i>All exterior lights to be building mounted and down lit and shielded to reduce glare to abutting properties. See Note 13 on sheet L1.</i></p>



<p>k. Emergency vehicle access: Provisions shall be made for providing and maintaining convenient and safe emergency vehicle access to all buildings and structures.</p>	<p><i>A copy of the letter sent to Berwick Fire Department has been included as part of this submission. Their initial response was that it appeared there is adequate access to all sides of the building and emergency vehicle movement should not be a problem. A full review will be forwarded to the Board once it is received.</i></p>
<p>l. Municipal services: The development will not have an unreasonable adverse impact on the municipal services including municipal road systems, fire department, police department, solid waste program, sewer treatment plant, school, open spaces, recreational programs and facilities, and other municipal service and facilities</p>	<p><i>The proposed development will utilize a private well and private septic system, and is located on a State road. There will be no impact on schools or open spaces. Letters have been sent to the Fire and Police Chiefs, as well as the director of public Works. Their comments are awaited and will be incorporated into the site design.</i></p>
<p>m. Will not result in water or air pollution: In making this determination, it shall at a minimum consider: The elevation of the land above sea level and its relationship to the flood plains, the nature of soils and subsoils and their ability to adequately support waste disposal; the slope of the land and its attest on effluents; and the applicable state and local health and water resources regulations.</p>	<p><i>Stormwater has been designed to meet MDEP Site Location of Development standards. See drainage report provided as part of this submission. An odor control plan is included in this submission.</i></p>
<p>n. Has sufficient water available for the reasonable foreseeable needs of the development (this is usually considered to be ten years approximately).</p>	<p><i>Private well is proposed for the project.</i></p>
<p>o. Will provide for adequate sewerage waste disposal.</p>	<p><i>Private septic system to be designed.</i></p>
<p>p. Will not have adverse affects on the scenic or natural beauty of the area, aesthetics, or rare and irreplaceable natural areas.</p>	<p><i>The existing vegetation will be maintained to the greatest extent possible. A buffer will remain between the development and the abutting properties, as well as between site work and nearby wetlands.</i></p>
<p>q. The developer has adequate financial and technical capacity to meet the above stated standards.</p>	<p><i>Statement of financial capacity to be provided.</i></p>
<p>r. Whenever situated in whole or in part within 250 feet of any pond, lake or river, will not adversely affect the quality of such body of water or affect the shoreline of such body of water, based on the standards outlined in Section 9.8.I.1.j.</p>	<p><i>The project is located within 250 ft of a forested wetland, and will have increased setbacks to the wetland edges in conformance with the Resource Protection District dimensional requirements.</i></p>
<p>s. Low Impact Design: Each applicant is required to submit a statement to the Planning Board documenting proposed Low Impact Design (LID) for the site, which will help to reduce storm water volumes and help to enhance storm water quality. LID includes, but is not limited to green roofs,</p>	<p><i>This project will achieve that and will also need to obtain a Site Location of Development permit. See drainage report provided as part of this submission. The proximity to groundwater in the area precludes many traditional LID practices, however</i></p>



rain gardens, tree wells, infiltration basins, and permeable pavement otherwise specified by the Planning Board	<i>improvement of stormwater quality will be achieved through DEP approved BMPs.</i>
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**CIVIL
CONSULTANTS**

Engineers

Planners

Surveyors

P.O. Box 100

293 Main Street

South Berwick

Maine

03908

207-384-2550

April 2, 2020

Dennis Plante, Fire Chief
Berwick Fire Department
10 School Street
Berwick, Maine 03901

**RE: 3 G's Commercial Development,
Portland Street, Berwick, Maine
Berwick Tax Map R-72, Lot 17**

Chief Plante:

3 G's Realty, LLC. is proposing to develop a portion of Map R-72, Lot 17, located on the southern side of Portland Street approximately 400 ft west of the intersection with Old Route 4.

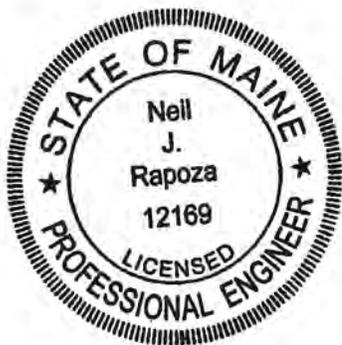
In accordance with Maine Site Location of Development requirements, and Section 9.8.F.2.c.v of the Berwick Land Use Ordinance we are requesting your review and comments. We have provided a preliminary plan for your review.

The buildings are to be protected with monitored fire alarms. Currently, no automatic sprinkler systems are proposed. Building separation will be a minimum of 25 ft.

Please feel free to contact us with any questions as you perform your review.

Respectfully yours,
CIVIL CONSULTANTS

Neil J. Rapoza, P.E.,
Sr. Project Engineer
Cell: 603-973-9231



Enclosures: Sheet L1, USGS location

Neil Rapoza

From: Dennis Plante [dplante@berwickfire.org]
Sent: Friday, April 03, 2020 12:40 PM
To: Neil Rapoza
Subject: RE: 19-352.00 3 G's Industrial Development

I would check just to make sure due to the Sq.Ft. of each building.

Thanks

From: Neil Rapoza <neil@civcon.com>
Sent: Friday, April 3, 2020 12:33 PM
To: Dennis Plante <dplante@berwickfire.org>
Subject: RE: 19-352.00 3 G's Industrial Development

From what I can tell, they would be classified as an factory-industrial use and would not need a construction/barrier free permit from the Fire Marshal. I will double check with Peter up there and submit the buildings for review if needed.

Thanks for your time on this.

Neil

CIVIL CONSULTANTS

*Neil J. Rapoza, PE
Civil / Structural
Sr. Project Engineer*

293 Main Street
South Berwick, ME 03908
Cell 603.973.9231
Ph 207.384.2550
Fax 207.384.2112

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From: Dennis Plante [mailto:dplante@berwickfire.org]
Sent: Friday, April 03, 2020 12:00 PM
To: Neil Rapoza
Subject: RE: 19-352.00 3 G's Industrial Development

I have received the plans and will review next week hopefully.

Due to the proposed size of each building and use are you submitting this proposal to the State Fire Marshal's Office for review ? I believe a Construction / Barrier -free permits will be required.

Dennis

From: Dennis Plante <dplante@berwickfire.org>
Sent: Thursday, April 2, 2020 5:21 PM
To: Neil Rapoza <neil@civcon.com>

Cc: ccout@civcon.com

Subject: Re: 19-352.00 3 G's Industrial Development

Neil there is a door bell button just hit it and someone will come to door and take it as long as they are not out on call.

Get [Outlook for Android](#)

From: Neil Rapoza <neil@civcon.com>

Sent: Thursday, April 2, 2020 5:15:11 PM

To: Dennis Plante <dplante@berwickfire.org>

Cc: ccout@civcon.com <ccout@civcon.com>

Subject: RE: 19-352.00 3 G's Industrial Development

Hi Chief,

I will drop off a copy tomorrow. Do you guys have a drop box or should I come in?

The buildings are going to be metal buildings with any insulated non-bearing walls built into the exterior wall section having a 2 hr rating, so I think it will be Type III. Final building layouts still have not been determined, so that may change.

Thanks, talk to you soon.

Neil

CIVIL CONSULTANTS

Neil J. Rapoza, PE

Civil / Structural

Sr. Project Engineer

293 Main Street

South Berwick, ME 03908

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From: Dennis Plante [mailto:dplante@berwickfire.org]

Sent: Thursday, April 02, 2020 4:20 PM

To: Neil Rapoza

Subject: RE: 19-352.00 3 G's Industrial Development

Neil,

I will need a copy of a larger site plan, the attached just won't work for me.

Also, what type of building Construction is proposed ? and I am sure there will be others questions as the project moves forward.

Thanks

From: Neil Rapoza <neil@civcon.com>
Sent: Thursday, April 2, 2020 3:55 PM
To: Dennis Plante <dplante@berwickfire.org>
Cc: ccout@civcon.com
Subject: 19-352.00 3 G's Industrial Development

Hi Chief,

We are preparing to submit a Site Plan application to the Town for a phased development on Portland Street. Currently, it is proposed that 10 separate marijuana grow facilities be constructed as well as 2 non-marijuana related commercial/industrial buildings that are located within 1000' of the nearest marijuana use (Tricann).

The plan is to keep the buildings small enough so that they can be constructed in phases separated so as to not require sprinkler systems.

If you could review the attached sketch plan and provide some initial feedback, it would be appreciated. We have been trying to transmit everything digitally, but if you need to have paper copies please let me know and I will drop them off as soon as possible. Thank you for your time.

Neil

CIVIL CONSULTANTS

Neil J. Rapoza, PE
Civil / Structural
Sr. Project Engineer

293 Main Street
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293 Main Street

South Berwick

Maine

03908

207-384-2550

April 2, 2020

Timothy Towne, Police Chief
Berwick Police Department
20 Wilson Street
Berwick, Maine 03901

**RE: 3 G's Commercial Development,
Portland Street, Berwick, Maine
Berwick Tax Map R-72, Lot 17**

Chief Towne:

3 G's Realty, LLC. is proposing to develop a portion of Map R-72, Lot 17, located on the southern side of Portland Street approximately 400 ft west of the intersection with Old Route 4.

In accordance with Maine Site Location of Development requirements, and Section 9.8.F.2.c.v of the Berwick Land Use Ordinance we are requesting your review and comments. We have provided a set of preliminary plans for your review.

The buildings are to be protected with monitored alarms and security fencing (configuration yet to be determined).

Please feel free to contact us with any questions.

Respectfully yours,
CIVIL CONSULTANTS

Neil J. Rapoza, P.E.,
Sr. Project Engineer
Cell: 603-973-9231



Enclosures: Sheets L1, USGS location



BERWICK POLICE DEPARTMENT

PO Box 644 • 20 WILSON STREET • BERWICK ME 03901-0644 • BUS: (207) 698-1136 • FAX: (207) 698-1567

April 14, 2020

Mr. Neil Rapoza
Civil Consultants
PO Box 100
South Berwick, ME 03908

Dear Mr. Rapoza,

After reviewing your plans for 3 G's Commercial Development located on Portland Street, I do not find any issues with these plans.

My only concern would be the extra traffic entering and exiting that section of Portland Street, but the State of Maine DOT would need to make suggestions for improvements/changes.

If you have any questions, feel free to contact my office.

Sincerely,

A handwritten signature in black ink, appearing to read "Timothy Towne".

Timothy Towne
Chief of Police





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Engineers

Planners

Surveyors

P.O. Box 100

293 Main Street

South Berwick

Maine

03908

207-384-2550

April 2, 2020

Robert Perschy, Foreman
Berwick Public Works Department
11 Sullivan Street
Berwick, Maine 03901

**RE: 3 G's Commercial Development,
Portland Street, Berwick, Maine
Berwick Tax Map R-72, Lot 17**

Mr. Perschy:

3 G's Realty, LLC. is proposing to develop a portion of Map R-72, Lot 17, located on the southern side of Portland Street approximately 400 ft west of the intersection with Old Route 4.

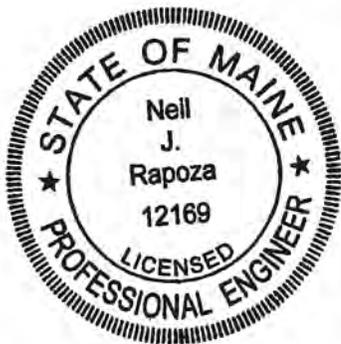
The development proposes to utilize an existing entrance onto Portland Street, and have on-site wastewater disposal and well(s).

In accordance with Maine DEP Site Location of Development requirements, and Section 9.8.F.2.c.v of the Berwick Land Use Ordinance, we are requesting your review and comments. We have provided a set of preliminary plans for your review.

Please feel free to contact us with any questions.

Respectfully yours,
CIVIL CONSULTANTS

Neil J. Rapoza, P.E.,
Sr. Project Engineer
Cell: 603-973-9231



Enclosures: Sheets L1, USGS location

Neil Rapoza

From: Carolyn Stella [cstella@berwickmaine.org]
Sent: Friday, April 03, 2020 5:12 PM
To: Neil Rapoza
Subject: Re: 19-352.00 3 G's Industrial Development

Good evening Nick,

I just forwarded this to Rob. I imagine he will take a look at it no later than Monday. I'll be in touch shortly, but as you stated, may not be anything DPW needs to be concerned about. I will let you know his response.

Thank you,

Carly

From: Neil Rapoza <neil@civcon.com>
Sent: Thursday, April 2, 2020 4:02:02 PM
To: Carolyn Stella
Cc: ccout@civcon.com
Subject: 19-352.00 3 G's Industrial Development

Hi Carly,

We are preparing to submit a Site Plan application to the Town for a phased development on Portland Street. Currently, it is proposed that 10 separate marijuana grow facilities be constructed as well as 2 non-marijuana related commercial/industrial buildings that are located within 1000' of the nearest marijuana use (Tricann).

It is another project on a State road, so my guess is there will not be much input from PWD, but wanted to get it in front of Robert just in case the Board asks.

If you could have him review the attached sketch plan and provide some initial feedback (or say that there is none), it would be appreciated. We have been trying to transmit everything digitally, but if you need to have paper copies please let me know and I will drop them off as soon as possible. We thank the department for your time!

Neil

CIVIL CONSULTANTS
Neil J. Rapoza, PE
Civil / Structural
Sr. Project Engineer

293 Main Street
South Berwick, ME 03908
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Ph 207.384.2550
Fax 207.384.2112

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**CIVIL
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293 Main Street
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Maine
03908
207-384-2550*

April 2, 2020

Via Email

Thomas Wright – Chairman
Berwick Board of Selectmen
11 Sullivan Street
Berwick, ME 03901

**RE: 3 G's Commercial Development,
Portland Street, Berwick, Maine
Berwick Tax Map R-72, Lot 17**

Dear Mr. Wright:

3 G's Realty, LLC. is proposing to develop a portion of Map R-72, Lot 17, located on the southern side of Portland Street approximately 400 ft west of the intersection with Old Route 4. The lot contains previously logged woodlands, wetlands, and hay fields. It is considered entirely undeveloped except for the gravel driveway that accesses the lot from Portland Street (Route 4).

The property will be serviced by a new private well and septic system. The new buildings will be protected with an automatic fire alarm system and separated by a minimum of 25 ft.

In accordance with Section 9.8.F.2.c.v of the Berwick Land Use Ordinance we are requesting your review and comments. We have provided a site plan and accompanying materials for your review.

Please feel free to contact us with any questions.

Respectfully yours,
CIVIL CONSULTANTS

Neil J. Rapoza, P.E.
Sr. Project Engineer
Cell: 603-973-9231



Enclosures: Sheet L1, USGS mapping, Tax Map



CIVIL CONSULTANTS

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293 Main Street

South Berwick

Maine

03908

207-584-2550

April 2, 2020

Stephen G. Eldridge, MPA, Town Manager
11 Sullivan Street
Berwick, Maine 03901

**RE: 3 G's Commercial Development,
Portland Street, Berwick, Maine
Berwick Tax Map R-72, Lot 17**

Mr. Eldridge:

3 G's Realty, LLC. is proposing to develop a portion of Map R-72, Lot 17, located on the southern side of Portland Street approximately 400 ft west of the intersection with Old Route 4.

In accordance with Maine DEP Site Location of Development requirements, and Section 9.8.F.2.c.v of the Berwick Land Use Ordinance, we are requesting your review and comments. We have provided a set of preliminary plans for your review.

Please feel free to contact us with any questions.

Respectfully yours,
CIVIL CONSULTANTS

Neil J. Rapoza, P.E.,
Sr. Project Engineer
Cell: 603-973-9231



Enclosures: Sheets L1, USGS location

Neil Rapoza

From: Neil Rapoza [neil@civcon.com]
Sent: Tuesday, April 07, 2020 2:57 PM
To: 'Berwick Town Manager'
Cc: 'ccout@civcon.com'
Subject: RE: 19-352.00 3 G's Industrial Development

Hi Steve,

Yes, if this gets fully built out it is pretty big. The plan is to phase it, so we will have an odor control plan right from the start but it will give the developer the opportunity to improve techniques after seeing what works for the first couple of buildings.

The traffic will be kept to a minimum due to the fact that it will not have any public/customer access. It will all be employee and deliveries, around 19 trips in the peak hour and 110 trips per day. I am hoping to get the application for the modification of the entrance to the DOT tomorrow, so we will see what Tony wants from us after he takes a look at it.

Thanks for your input!

Neil

CIVIL CONSULTANTS

Neil J. Rapoza, PE
Civil / Structural
Sr. Project Engineer

293 Main Street
South Berwick, ME 03908
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Fax 207.384.2112

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From: Berwick Town Manager [<mailto:townmanager@berwickmaine.org>]
Sent: Tuesday, April 07, 2020 2:27 PM
To: Neil Rapoza
Subject: RE: 19-352.00 3 G's Industrial Development

Neil,

Huge project! With something this large I am hopeful that the air filtration system works. That has been a problem with other growers in Berwick. Second, What is the amount of traffic generated and the impact to Rt. 4 which has been a high fatality road. No other concerns at this time.

Steve

*Stephen G. Eldridge, MPA
Town Manager*

*Town of Berwick
11 Sullivan Street
Berwick, Maine 03901*

*207-698-1101 ext. 111
207-754-6533 cell*

From: Neil Rapoza <neil@civcon.com>
Sent: Thursday, April 2, 2020 4:07 PM
To: Berwick Town Manager <townmanager@berwickmaine.org>
Cc: ccout@civcon.com
Subject: 19-352.00 3 G's Industrial Development

Hi Steve,

We are preparing to submit a Site Plan application to the Town for a phased development on Portland Street. Currently, it is proposed that 10 separate marijuana grow facilities be constructed as well as 2 non-marijuana related commercial/industrial buildings that are located within 1000' of the nearest marijuana use (Tricann).

If you could review the attached sketch plan and provide some initial feedback, it would be appreciated. We have been trying to transmit everything digitally, but if you need to have paper copies please let me know and I will drop them off as soon as possible. Thank you for your time.

Neil

CIVIL CONSULTANTS
*Neil J. Rapoza, PE
Civil / Structural
Sr. Project Engineer*

293 Main Street
South Berwick, ME 03908
Cell 603.973.9231
Ph 207.384.2550
Fax 207.384.2112

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PORTION OF USGS MAP Somersworth, NH		PREPARED FOR:	3 G's Realty, LLC. 309 Old Colony Avenue South Boston, MA 02127
JOB NO: 19-352.00	NTS	DATE: April 2020	

J:\aaa\2019\1935200\Review_letters\20200402-1935200-USGSMap.docx

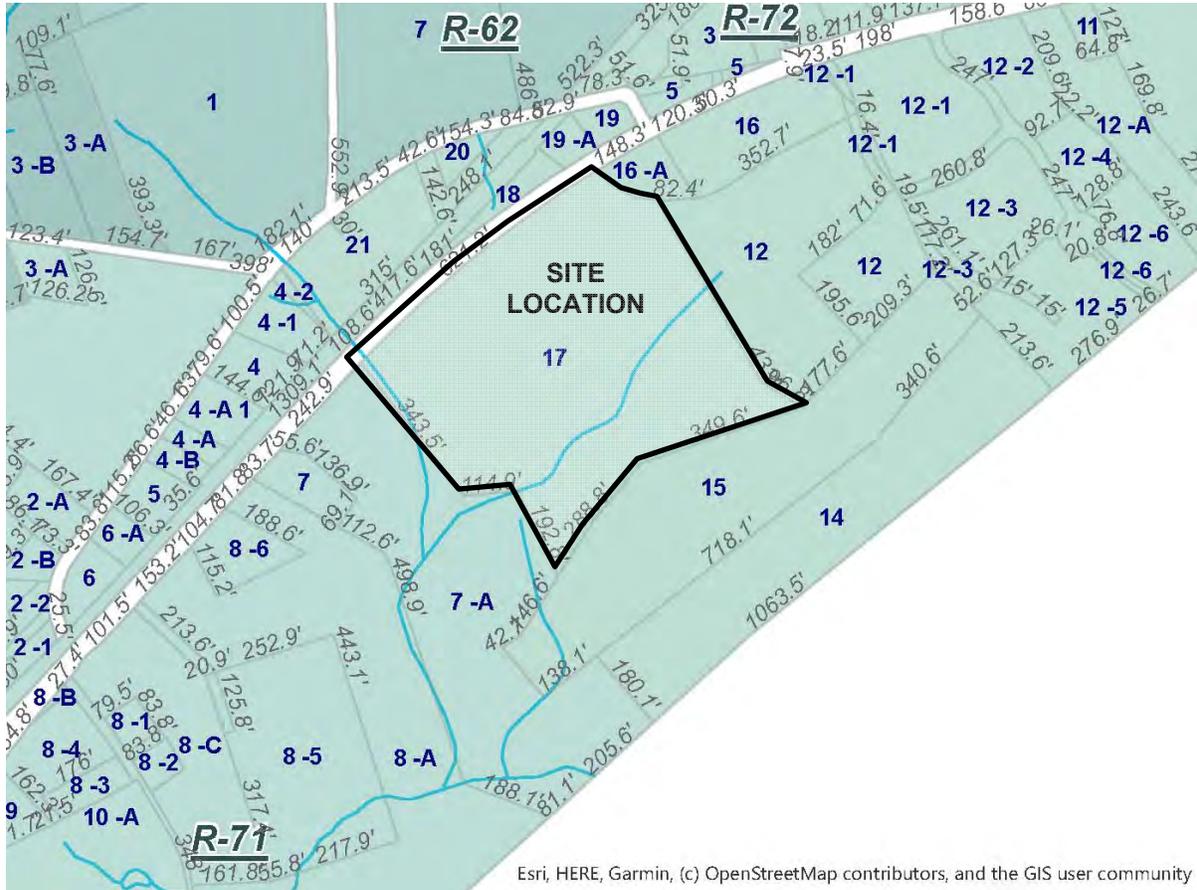


**CIVIL
CONSULTANTS**

P.O. Box 100 South Berwick, Maine 03908 207-384-2550

USGS Map

Site Permit Application
 3 G's Industrial Development, Portland Street, Berwick, ME



PORTION OF BERWICK TAX MAP R72		PREPARED FOR:	3 G's Realty, LLC. 309 Old Colony Avenue South Boston, MA 02127
JOB NO: 19-352.00	NTS	DATE: April 2020	

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**CIVIL
CONSULTANTS**

P.O. Box 100 South Berwick, Maine 03908 207-384-2550

TAX Map

KENNETH GARDNER
JRK SOIL SEARCH, INC.
PO BOX 291
LIMINGTON, ME 04049
(207) 637-2260
(207) 205-6349

SOIL NARRATIVE
3G'S REALTY LLC
ROUTE 4 BERWICK, ME

March 18, 2020

The enclosed soils map is a class A Soil Survey. The map was developed by excavating 51 backhoe test pits over the parcel which consists of 51.2 acres. The wood was recently harvested and a gravel driveway was constructed to access the log landing.

The test pits and wetland flags were survey located by Civil Consultants and plotted on a 2 foot contour map. The soil boundaries are delineated on this map. Numerous hand auger borings were done to identify the soil boundaries. The map scale is 1 inch = 100 feet.

The soils on the site consist of Elmwood on the higher elevations of the site, Swanton somewhat poorly drained on the intermediate areas, and Swanton poorly drained on the lower elevations of the site. The small depressions and drainage ways also consist of Swanton poorly drained, which are also the wetlands on the site.

There is also a steam crossing the site about 450 feet from the southerly rear lot line.

About one third of the lot consists of a hayfield along Route 4. The slopes are generally 0 – 3% and 3% - 8%.

Between test pit 30 and test pit 40 there is a narrow old ditched area which was dug in an attempt to add drainage to the field. This is depicted as a man-made or disturbed area.

Kenneth Gardner
State of Maine
Certified Soil Scientist #61

**State of Maine
Soil Scientist
#61
Kenneth Robert Gardner**

KENNETH GARDNER
Maine Certified Soil Scientist #61
JRK Soil Search, Inc.
PO Box 291
Limington, Maine 04049

Applicant: 3G's Realty LLC
Town: Berwick
Road: Route 4

SOIL SERIES: Swanton S.L. 0-3%, 3% - 8% Map symbol SWX
(Aeric Haplaquepts)

Material: Glacio lacustrine/outwash over marine sediments

Landform: Outwash plain

Position in Landscape: Gently rolling plain

Slope Gradient Ranges: 0 – 3%, 3% - 8%

COMPOSITION AND SOIL CHARACTERISTICS

Drainage Class: Somewhat poorly drained - seasonal water table generally between 6 inches – 16 inches

Typical Profile

Description: Surface Layer: 0" – 8" dark brown friable fine sandy loam to sandy loam
Subsurface Layer: 8" – 20" dark yellow brown friable sandy loam to loamy sand
Substratum: 20" – 48" dark grayish brown very firm very fine sandy loam to silt loam

Hydrologic Group: C/D

Surface run off: Slow to medium

Permeability: Moderately in Solum, slow in Substratum

Depth to Bedrock: Generally greater than 60"

Hazard to flooding: None

INCLUSIONS (within mapping unit)

Similar: Swanton poorly drained – 10%

Contrasting: Elmwood 10%

State of Maine
Soil Scientist
#61
Kenneth Robert Gardner

USE AND MANAGEMENT

These areas are somewhat poorly drained and will support septic disposal where the seasonal water table is 9 inches or greater.

KENNETH GARDNER
Maine Certified Soil Scientist #61
JRK Soil Search, Inc.
PO Box 291
Limington, Maine 04049

Applicant: 3G's Realty LLC
Town: Berwick
Road: Route 4

SOIL SERIES: Elmwood S.L. 0-3%, 3% - 8%
(Aquic Dystric Eutrochrepts)

Material: Glacio lacustrine/outwash

Landform: Outwash plain over marine sediments

Position in Landscape: Gently rolling intermediate elevations on the site

Slope Gradient Ranges: 0 – 3%, 3% - 8%

COMPOSITION AND SOIL CHARACTERISTICS

Drainage Class: Moderately well-drained - seasonal water table 16 inches – 40 inches

Typical Profile

Description: Surface Layer: 0" – 8" dark friable sandy loam
Subsurface Layer: 8" – 24" yellow brown friable loamy sand
Subsoil Layer: 24" – 30" light olive brown friable fine sandy loam
Substratum: 30" – 48" light olive brown to grayish brown firm silt loam

Hydrologic Group: C

Surface run off: Slow

Permeability: Moderately in Solum, slow in Substratum

Depth to Bedrock: Generally greater than 60"

Hazard to flooding: None

State of Maine
Soil Scientist
#61
Kenneth Robert Gardner

INCLUSIONS (within mapping unit)

Similar: Soil which has the impervious substratum in excess of 40 inches – 5%

Contrasting: Swanton somewhat poorly drained – 15%

USE AND MANAGEMENT

These areas are moderately well drained and are suitable for septic disposal and buildings.

KENNETH GARDNER
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JRK Soil Search, Inc.
PO Box 291
Limington, Maine 04049

Applicant: 3G's Realty LLC
Town: Berwick
Road: Route 4

SOIL SERIES: Swanton S.L. 0-3%, 3% - 8% Map symbol SW
(Aeric Haplaquepts)

Material: Glacio lacustrine/outwash over marine sediments

Landform: Outwash plain

Position in Landscape: Gently rolling plain

Slope Gradient Ranges: 0 – 3%, 3% - 8%

COMPOSITION AND SOIL CHARACTERISTICS

Drainage Class: Poorly drained - seasonal water table between 0 inches – 6 inches

Typical Profile

Description: Surface Layer: 0" –6" dark friable sandy loam to fine sandy loam
Subsurface Layer: 6" – 14" grayish brown friable sandy loam, mottled
Subsoil Layer: 14" – 18" gray friable loamy sand, mottled
Substratum: 18" – 48" grayish firm silt loam, mottled

Hydrologic Group: C/D

Surface run off: Slow to medium

Permeability: Moderately in Solum, slow in Substratum

Depth to Bedrock: Generally greater than 60"

Hazard to flooding: Only seasonal flooding for the flat phase of the poorly drained soil

INCLUSIONS (within mapping unit)

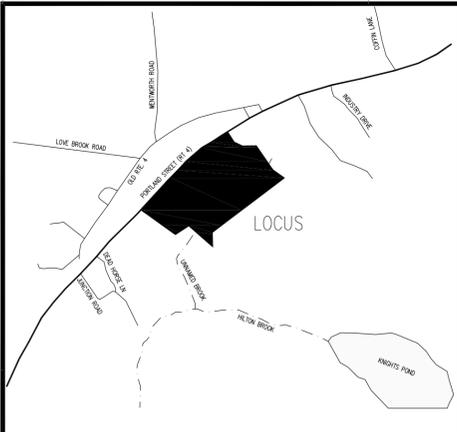
Similar: Swanton somewhat poorly drained – 10%

Contrasting: Soil which has a silt loam solum 10%

State of Maine
Soil Scientist
#61
Kenneth Robert Gardner

USE AND MANAGEMENT

These areas of poorly drained soil are also generally wetlands and should not be disturbed if possible.



LOCUS

REFERENCE PLANS:

- BOUNDARY AND EXISTING CONDITIONS PLAN OF LAND OF 30'S REALTY, LLC - MAP R72/LOT 17, ROUTE 4 (PORTLAND STREET, BERWICK, YORK COUNTY, MAINE. PREPARED FOR SCOTT KEARNAN, 309 OLD COLONY AVENUE, SOUTH BOSTON, MA 02127. PREPARED BY CIVIL CONSULTANTS, DATED 2-25-2020

NOTES:

- THE DEVELOPMENT CONSISTS OF CONSTRUCTING 9 NEW BUILDINGS INTENDED TO BE LEASED SPACES FOR THE USE OF CULTIVATING PLANTS INDOORS, INCLUDING MARIJUANA. THE BUILDINGS HOUSING THIS TYPE OF USE REQUIRE A 100' SEPARATION FROM THE NEAREST MARIJUANA RELATED BUILDING ON ADJACENT LOTS. A SETBACK TO THE USE ON MAP R72 LOT 5 (CRICAN ALTERNATIVES) IS INDICATED ON THIS PLAN, WITH ANY STRUCTURE SHOWN INSIDE THIS SETBACK BEING NON-MARIJUANA RELATED USES.
- BOUNDARY AND PLANIMETRIC DETAIL DEPICTED HEREON IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY BY CIVIL CONSULTANTS IN FEBRUARY 2020. AT THE TIME OF THE FIELD SURVEY, THE GROUND WAS COVERED WITH 4-12 INCHES OF SNOW. FEATURES OBSCURED BY SNOW MAY NOT BE REFLECTED HEREON.
- NORTH AS DEPICTED HEREON IS REFERENCED TO GRID NORTH, NAD83, MAINE STATE PLANE COORDINATE SYSTEM WEST ZONE. COORDINATE VALUES AND ORIENTATION ARE DERIVED FROM A GPS SURVEY COMPUTED UTILIZING THE NOS OPUS ON-LINE PROCESSING SERVICE. REFERENCE FRAME IS NAD83 2011 EPOCH 2010.0000. THE SURVEY IS TIED TO CORRS STATIONS BOSTON WAAS 1 CORRS (ZBW1), BARTLETT CORRS (BARM) AND BRUNSWICK 1 CORRS (BRW1). DISTANCES DEPICTED HEREON ARE GRID. TO CONVERT GRID DISTANCES TO GROUND DISTANCES, MULTIPLY THE GRID DISTANCE BY 1.0000050.
- ELEVATIONS DEPICTED HEREON ARE REFERENCED TO NAVD83, DERIVED FROM THE ABOVE REFERENCED GPS SURVEY.
- ASSESSOR'S INFORMATION: TOWN OF BERWICK ASSESSOR'S MAP R72, LOT 17
- RECORD OWNERS AND DEED REFERENCES: 30'S REALTY, LLC - Y.C.R.D. 18156/30
- UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS NEED TO CONTACT DISSAFE AND FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- THE LOCUS PARCEL IS LOCATED IN "ZONE X", ON THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF BERWICK, MAINE, YORK COUNTY, COMMUNITY PANEL NUMBER 230144 0010 B, EFFECTIVE DATE AUGUST 5, 1991. ZONE X IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN."
- THE LOCUS PARCEL IS LOCATED IN THE BUREAU COMMERCIAL/INDUSTRIAL ZONE (BC/I). BASIC LAND USE ORDINANCE DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS:

REQUIREMENT	MINIMUM	PROVIDED
LOT SIZE	90,000 S.F. (ON-SITE SEPTIC DISPOSAL)	1,139,595 S.F. UPLAND
LOT WIDTH	>200'	>200'
FRONTAGE	>200'	>200'
FRONT YARD SETBACK	50'	>500'
SIDE YARD SETBACK	25'	50'
REAR YARD SETBACK	25'	>500'
BUILDING HEIGHT	45' (MAXIMUM)	>35'
MAXIMUM LOT COVERAGE	60%	9.9%

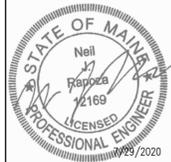
PORTIONS OF THE PARCEL ARE ALSO LOCATED IN THE RESOURCE PROTECTION DISTRICT (RP) (WITHIN 250' BUFFER AROUND WETLANDS OF MODERATE AND HIGH VALUE). SHORELAND ZONING ORDINANCE DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS:

REQUIREMENT	MINIMUM	PROVIDED
LOT SIZE	40,000 S.F.	1,139,595 S.F. UPLAND
LOT WIDTH	200'	>200'
FRONTAGE	>200'	>200'
FRONT YARD SETBACK	50'	>500'
SIDE YARD SETBACK	25'	50'
REAR YARD SETBACK	30'	>500'
BUILDING HEIGHT	35' (MAXIMUM)	>35'
MAXIMUM LOT COVERAGE	10%	9.9%
WETLAND SETBACK	100' (75' PAVEMENT)	CONFORMS
- FOR COMPLETE ZONING INFORMATION REFER TO THE TOWN OF BERWICK LAND USE ORDINANCE.
- CONTOURS AS SHOWN ARE BASED ON LIDAR DATA FROM THE MAINE OFFICE OF GIS. SEE PROJECT DATA FILES FOR ADDITIONAL ON-THE-GROUND SPOT ELEVATIONS.
- WETLAND LINES AND TEST PITS WHERE IDENTIFIED BY KENNETH CARONER, MAINE SOIL SCIENTIST (#61) IN JANUARY 2020. THE LOCATIONS OF THE WETLAND FLAGS AND TEST PITS WERE FIELD SURVEYED BY CIVIL CONSULTANTS BY ON-THE-GROUND INSTRUMENT SURVEY.
- SIGHT DISTANCE INDICATED ON PLANS IS BASED ON INFORMATION GATHERED BY CIVIL CONSULTANTS ON 4-8-2020.
- ANY BUILDING MOUNTED LIGHTS SHALL BE LED SHIELDED AND DOWNMINT TO REDUCE GLARE VISIBLE FROM ROUTE 4 OR ADJUTING PROPERTIES.
- KNOX BOX FOR BUILDING ACCESS WILL BE INSTALLED AT THE SECURITY GATE, OR AT A LOCATION DETERMINED BY THE BERWICK FIRE DEPARTMENT.



LEGEND:

- TEST PIT
- UTILITY POLE
- FOUND IRON PIPE
- FOUND GRANITE BOUNDARY
- SET IRON REBAR
- SET IRON ROD
- YORK COUNTY REGISTRY OF DEEDS
- DEED BOOK/PAGE
- BENCH MARK
- SIGN
- HIGH DENSITY POLYETHYLENE
- WETLAND
- DIAMETER
- 40" CMP CORRUGATED METAL PIPE
- UTILITY POLE IDENTIFIER
- RECORD DISTANCE
- RECORD DISTANCE
- MAIL BOX
- REFERENCE
- HIGHWAY PLAN STATION
- STATE PLANE COORDINATES
- OVERHEAD WIRE
- LOCUS BOUNDARY LINE
- BOUNDARY OF ADJUTING PARCEL
- ANCIENT BOUNDARY LINE
- MAINE DOT EASEMENT LINE
- POWER COMPANY EASEMENT LINE
- SEPTIC TANK
- HOLDING TANK
- PROPOSED WATER
- PROPOSED SEWER
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED SECURITY FENCE
- SILT FENCE/FILTER BERM



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NO.	REVISIONS	DATE
4	REVISED PER TOWN PLANNER COMMENTS	7/29/20
3	REVISED NOTES SHEET L6	6/14/20
2	RECALCULATED ENTRANCE PER DOT REVIEW	5/1/20
1	ISSUED FOR SUBMISSION TO DEP	4/24/20

RECORD OWNER:
 30'S REALTY, LLC
 OWNER ADDRESS:
 309 OLD COLONY AVENUE,
 SOUTH BOSTON, MA 02127

PROPOSED SITE DEVELOPMENT
LAND OF 30'S REALTY LLC - MAP R72/ LOT 17
ROUTE 4 (PORTLAND STREET)
BERWICK, YORK COUNTY, MAINE

PREPARED FOR:
 SCOTT KEARNAN
 CLIENT ADDRESS: 309 OLD COLONY AVENUE, SOUTH BOSTON, MA 02127

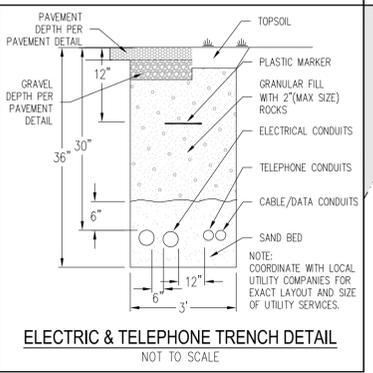
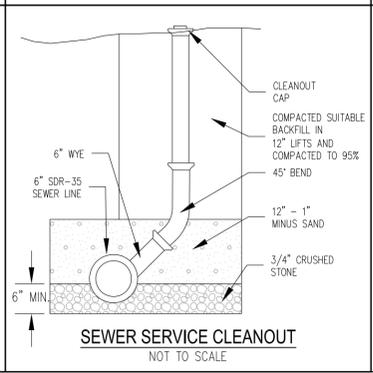
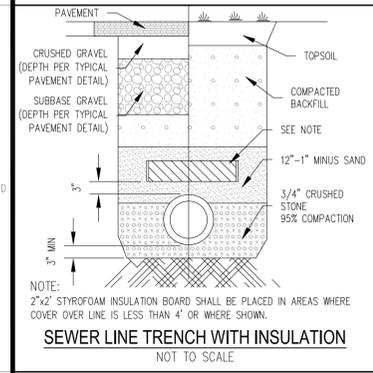
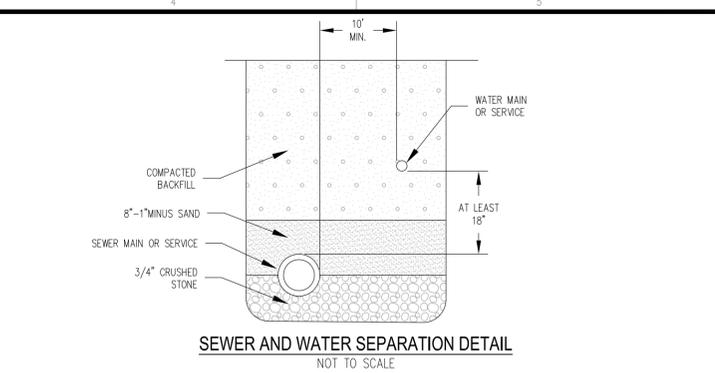
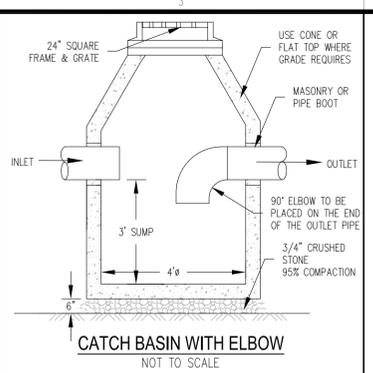
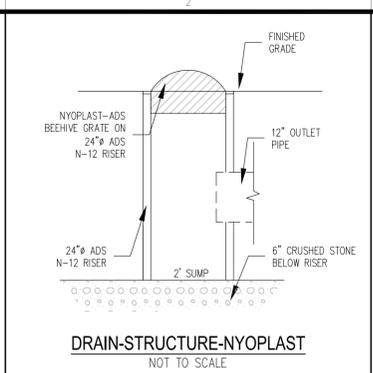
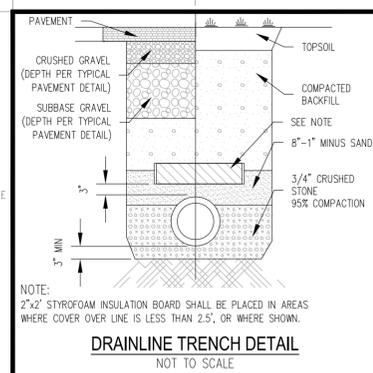
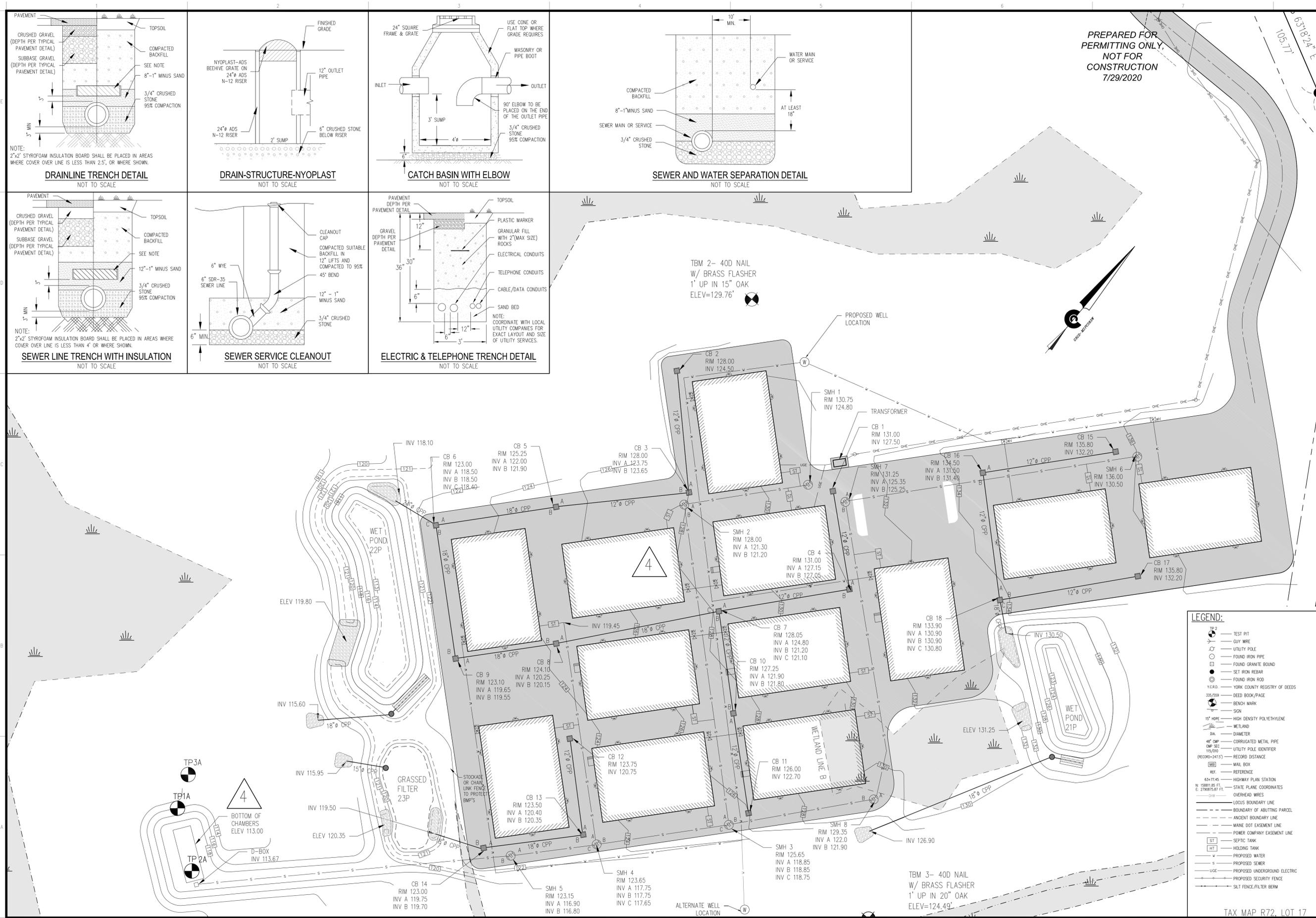
DATE: 04/09/2020
 DRAWN BY: NJR
 CHECKED BY: GRA
 APPROVED BY: NJR

SITE PLAN

PROJECT NO: 19-352.00

L1

SHEET: 1 OF 6



PREPARED FOR PERMITTING ONLY,
NOT FOR CONSTRUCTION
7/29/2020



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Planners
Surveyors
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South Berwick
Maine
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NO.	REVISIONS	DATE
4	REVISED PER TOWN PLANNER COMMENTS	7/29/20
3	REVISED NOTES SHEET L6	6/14/20
2	RELOCATED ENTRANCE PER DOT REVIEW	5/1/20
1	ISSUED FOR SUBMISSION TO DEP	4/24/20

RECORD OWNER:
36'S REALTY, LLC
OWNER ADDRESS:
309 OLD COLONY AVENUE,
SOUTH BOSTON, MA 02127

PROPOSED SITE DEVELOPMENT
LAND OF 36'S REALTY LLC - MAP R72/ LOT 17
ROUTE 4 (PORTLAND STREET)
BERWICK, YORK COUNTY, MAINE

PREPARED FOR:
SCOTT KEARNAN
CLIENT ADDRESS: 309 OLD COLONY AVENUE, SOUTH BOSTON, MA 02127

LEGEND:

- TP 2 TEST PIT
- GUY WIRE
- UTILITY POLE
- FOUND IRON PIPE
- FOUND GRANITE BOUND
- SET IRON REBAR
- FOUND IRON ROD
- Y.C.R.D. YORK COUNTY REGISTRY OF DEEDS
- 335/559 DEED BOOK/PAGE
- BENCH MARK
- SION
- 15' HDPE HIGH DENSITY POLYETHYLENE
- DIAMETER
- 48" CMP CORRUGATED METAL PIPE
- 115/000 UTILITY POLE IDENTIFIER
- (RECORD-247.5) RECORD DISTANCE
- MAIL BOX
- REFERENCE
- 63477.45 HIGHWAY PLAN STATION
- N: 15881.85 FT. STATE PLANE COORDINATES
- E: 270075.87 FT. STATE PLANE COORDINATES
- OVERHEAD WIRES
- LOUIS BOUNDARY LINE
- BOUNDARY OF ADJUTING PARCEL
- ANGENT BOUNDARY LINE
- MAINE DOT EASEMENT LINE
- POWER COMPANY EASEMENT LINE
- SEPTIC TANK
- HOLDING TANK
- PROPOSED WATER
- PROPOSED WATER
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED SECURITY FENCE
- SILT FENCE/FILTER BERM

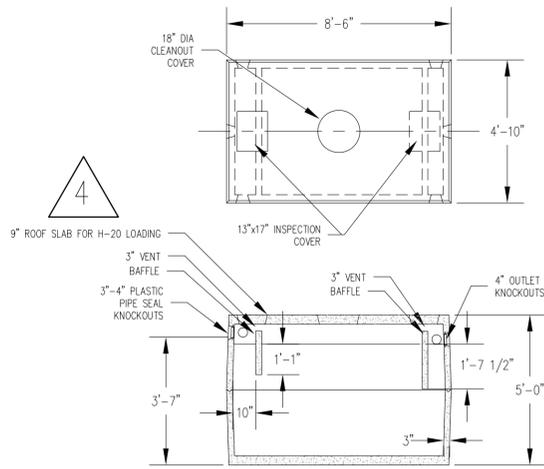
DATE: 04/09/2020
DRAWN BY: NJR
CHECKED BY: GRA
APPROVED BY: NJR

UTILITIES PLAN AND DETAILS

PROJECT NO: 19-352.00

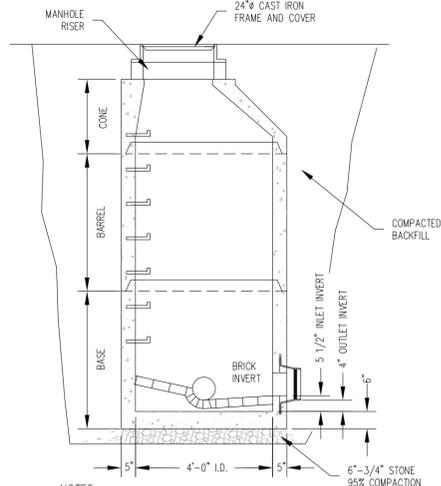
L3

SHEET: 3 OF 6



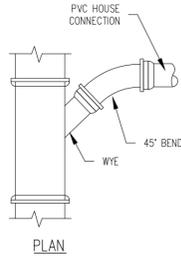
SEPTIC TANK DETAIL
NOT TO SCALE

- NOTES:**
1. CONCRETE: 4,000 PSI AFTER 28 DAYS.
 2. REINFORCING: H-20 LOADING 4 X 4/4 X 4 W.W.M.
 3. SHIP LAP JOINTS SEALED WITH 1 STRIP OF 1" DIA. BUTYL RUBBER SEALANT.
 4. EXTERIOR ASPHALT COATED. (SANITARY MANHOLES ONLY)
 5. LOCK JOINT FLEXIBLE PIPE SLEEVES, CAST IN.
 6. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
 7. MANHOLE STEPS @ 12" O.C. (WHEN REQUIRED)
 8. PROVIDE 2" LIP AT TOP OF CONE TO ACCOMMODATE VACUUM TESTING. (SANITARY MANHOLES ONLY)

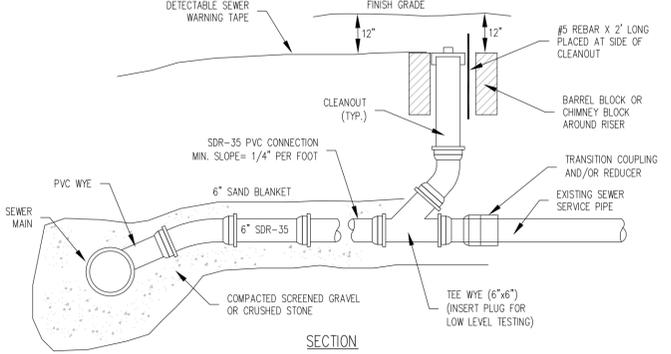


SEWER MANHOLE DETAIL
NOT TO SCALE

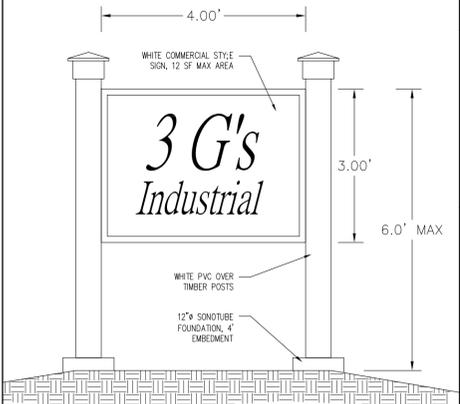
- NOTES:**
1. CONCRETE: 4,000 PSI AFTER 28 DAYS.
 2. REINFORCING: H-20 LOADING 4 X 4/4 X 4 W.W.M.
 3. SHIP LAP JOINTS SEALED WITH 1 STRIP OF 1" DIA. BUTYL RUBBER SEALANT.
 4. EXTERIOR ASPHALT COATED. (SANITARY MANHOLES ONLY)
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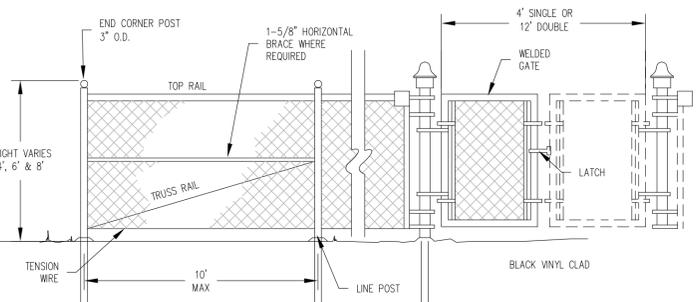
- SERVICE CONNECTION NOTES:**
1. SEE DETAILS FOR SERVICE CONNECTION REQUIREMENTS.
 2. SERVICE CONNECTION SHALL BE INSTALLED BELOW WATER MAIN WHERE POSSIBLE.
 3. CLEANOUTS SHALL BE INSTALLED AT EACH SERVICE CONNECTION.
 4. REBAR SHALL BE PLACED AT SIDE OF CLEANOUT.
 5. CLEANOUT SHALL BE USED TO PLUG AND TEST ALL NEW LATERALS WITH MINIMAL INTERRUPTION TO OPERATION OF HOMEOWNER SANITARY SYSTEM.
 6. CLEANOUT RISER PIPE AND FITTINGS SHALL BE INCIDENTAL AND SHALL NOT BE CONSIDERED FOR PAYMENT.
 7. CLEANOUTS SHALL BE PLACED EVERY 75 FEET AND AT BENDS IN PIPING.



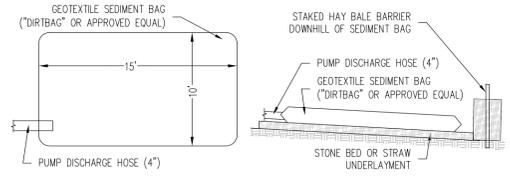
SERVICE CONNECTION DETAIL
NOT TO SCALE



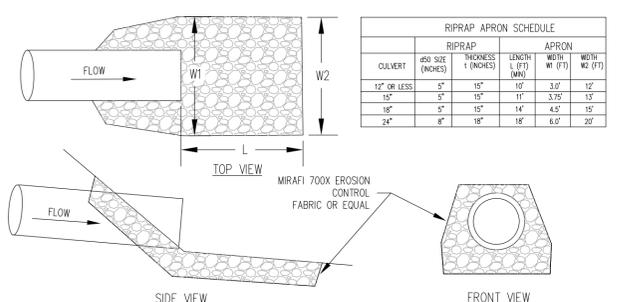
SIGN DETAIL
NOT TO SCALE



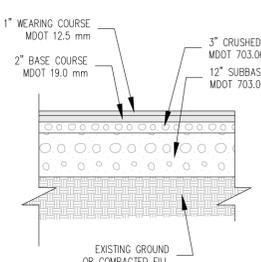
CHAIN LINK FENCE
NOT TO SCALE



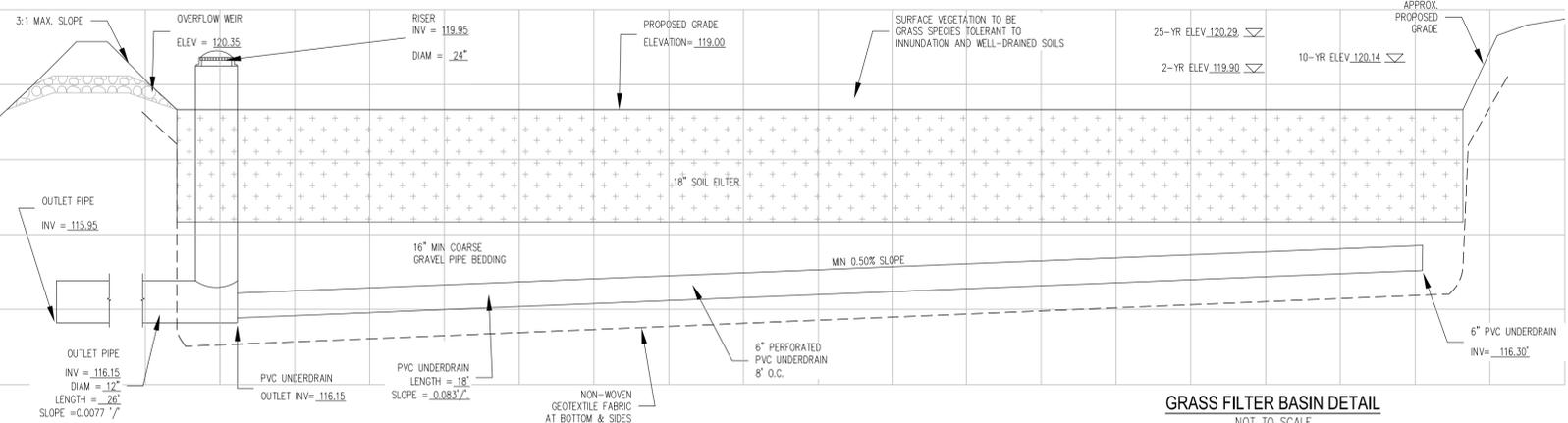
DEWATERING DETAIL
NOT TO SCALE



RIPRAP APRON PIPE OUTLET DETAIL
NOT TO SCALE



TYPICAL PAVEMENT SECTION
NOT TO SCALE



GRASS FILTER BASIN DETAIL
NOT TO SCALE

- GRASS SOIL FILTER MAINTENANCE NOTES:**
- SOIL FILTER INSPECTION:** THE SOIL FILTER SHOULD BE INSPECTED AFTER EVERY MAJOR STORM IN THE FIRST FEW MONTHS TO ENSURE PROPER FUNCTION. THEREAFTER, THE FILTER SHOULD BE INSPECTED AT LEAST ONCE EVERY SIX MONTHS TO ENSURE THAT IT IS DRAINING BETWEEN 24 AND 48 HOURS.
- SOIL FILTER REPLACEMENT:** THE TOP SEVERAL INCHES OF THE FILTER SHALL BE REPLACED WITH FRESH MATERIAL WHEN WATER POUNDS ON THE SURFACE OF THE BED FOR MORE THAN 72 HOURS. THE REMOVED SEDIMENTS SHOULD BE DISPOSED IN AN ACCEPTABLE MANNER.
- SEDIMENT REMOVAL:** SEDIMENT AND PLANT DEBRIS SHOULD BE REMOVED FROM THE PRE-TREATMENT STRUCTURE AT LEAST ANNUALLY.
- MOWING:** FILTERS WITH GRASS COVER SHOULD BE MOWED NO MORE THAN 2 TIMES PER GROWING SEASON TO MAINTAIN GRASS HEIGHTS LESS THAN 12 INCHES.
- FERTILIZATION:** FERTILIZATION OF THE UNDERDRAINED FILTER AREA SHOULD BE AVOIDED UNLESS ABSOLUTELY NECESSARY TO ESTABLISH VEGETATION.
- HARVESTING AND WEEDING:** HARVESTING AND PRUNING OF EXCESSIVE GROWTH WILL NEED TO BE DONE OCCASIONALLY. WEEDING TO CONTROL UNWANTED OR INVASIVE PLANTS MAY ALSO BE NECESSARY.

GRASSED FILTER SEEDING MIX

TYPE	APPLICATION RATE
CREeping RED FESCUE	20 LBS/ACRE
TALL FESCUE	20 LBS/ACRE
BIRDFOOT TREFOIL	8 LBS/ACRE
TOTAL	48 LBS/ACRE

UNDERDRAIN PIPE BEDDING MATERIAL

COMPONENT MATERIAL	GRADATION OF MATERIAL	
	SEIVE NO.	PERCENT BY WEIGHT PASSING STANDARD SEIVE
UNDERDRAIN BACKFILL MATERIAL (MDOT 703.22 TYPE C)	1"	100
	3/4"	90 TO 100
	3/8"	0 TO 75
	4"	0 TO 25
	10"	0 TO 5

GRASSED FILTER MEDIA

COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SEIVE NO.	PERCENT BY WEIGHT PASSING STANDARD SEIVE
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 25	200	< 5
		4	95 TO 100
		8	80 TO 100
		16	50 TO 85
		30	25 TO 60
LOAMY COARSE SAND (MDOT 703.01)	75 TO 80	3/8"	100
		4	95 TO 100
		8	80 TO 100
		16	50 TO 85
		30	25 TO 60

- CONSTRUCTION OVERSIGHT NOTES:**
- INSPECTION OF THE FILTER/BIORETENTION BASINS SHALL BE PROVIDED FOR EACH PHASE OF CONSTRUCTION BY THE DESIGN ENGINEER WITH REQUIRED REPORTING TO THE DEP. AT A MINIMUM, INSPECTIONS WILL OCCUR:
- AFTER PRELIMINARY CONSTRUCTION OF THE FILTER GRADES AND ONCE THE UNDERDRAIN PIPES ARE INSTALLED BUT NOT BACKFILLED.
 - AFTER THE DRAINAGE LAYER IS CONSTRUCTED AND PRIOR TO THE INSTALLATION OF THE FILTER MEDIA.
 - AFTER THE FILTER MEDIA HAS BEEN INSTALLED AND SEEDING (OR PLANTED AND MULCHED IF BIORETENTION BASIN).
 - AFTER ONE YEAR TO INSPECT HEALTH OF THE VEGETATION AND MAKE CORRECTIONS.
 - ALL MATERIAL USED FOR THE CONSTRUCTION OF THE FILTER BASIN WILL BE APPROVED BY THE DESIGN ENGINEER AFTER TESTS BY A CERTIFIED LABORATORY SHOW THAT THEY ARE PASSING DEP SPECIFICATIONS.



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NO.	REVISIONS	DATE
4	REVISED PER TOWN PLANNER COMMENTS	7/29/20
3	REVISED NOTES SHEET L6	6/14/20
2	RELOCATED ENTRANCE PER DOT REVIEW	5/1/20
1	ISSUED FOR SUBMISSION TO DEP	4/24/20

RECORD OWNER:
3G'S REALTY, LLC
OWNER ADDRESS:
309 OLD COLONY AVENUE,
SOUTH BOSTON, MA 02127

PROPOSED SITE DEVELOPMENT
LAND OF 3G'S REALTY LLC - MAP R72/ LOT 17
ROUTE 4 (PORTLAND STREET)
BERWICK, YORK COUNTY, MAINE

PREPARED FOR:
SCOTT KEARNAN
CLIENT ADDRESS: 309 OLD COLONY AVENUE, SOUTH BOSTON, MA 02127



DATE: 04/09/2020
DRAWN BY: NJR
CHECKED BY: GJR
APPROVED BY: NJR

NOTES AND DETAILS

PROJECT NO: 19-352.00

L4

SHEET: 4 OF 6

TAX MAP R72, LOT 17

PREPARED FOR
PERMITTING ONLY,
NOT FOR
CONSTRUCTION
7/29/2020

EROSION AND SEDIMENT CONTROL PRACTICES

- NO SOIL SHALL BE DISTURBED DURING THE PERIOD OF MARCH 1 THROUGH APRIL 15, NOR DURING ANY OTHER PERIOD WHEN SOILS ARE SATURATED DUE TO RAIN OR SNOW MELT.
- DISTURBED SOILS SHALL BE STABILIZED WITHIN ONE (1) WEEK FROM THE TIME IT WAS LAST ACTIVELY WORKED USING TEMPORARY OR PERMANENT MEASURES SUCH AS PLACEMENT OF RIPRAP, MULCH OR EROSION CONTROL BLANKET, OR OTHER COMPARABLE MEASURES.
- HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF AT LEAST ONE (1) BALE PER 500 SQUARE FEET (1-2 TONS PER ACRE).
- IF MULCH IS LIKELY TO BE REMOVED DUE TO TO STEEP SLOPES OR WIND, IT SHALL BE ANCHORED WITH NETTING, PEG OR TWINE, OR OTHER SUITABLE METHOD AND SHALL BE MAINTAINED UNTIL A CATCH OF VEGETATION IS ESTABLISHED OVER THE ENTIRE DISTURBED AREA.
- IN ADDITION TO PLACEMENT OF RIPRAP, MULCH OR EROSION CONTROL BLANKETS, ADDITIONAL STEPS SHALL BE TAKEN WHERE NECESSARY IN ORDER TO PREVENT SEDIMENTATION OF THE WATER. EVIDENCE OF SEDIMENTATION INCLUDES VISIBLE GULLY EROSION, DISCOLORATION OF WATER BY SUSPENDED PARTICLES AND SLUMPING OF BANKS, SILT FENCES, STAKED HAY BALES AND OTHER SEDIMENTATION CONTROL MEASURES, WHERE PLANNED FOR, SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF WORK, BUT SHALL ALSO BE INSTALLED WHEREVER NECESSARY DUE TO SEDIMENTATION.
- MULCH OR OTHER TEMPORARY MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED WITH VEGETATION OR OTHER PERMANENT CONTROL MEASURES AFTER WHICH TEMPORARY MEASURES WILL BE REMOVED.
- PERMANENT RE-VEGETATION OF ALL DISTURBED AREAS, USING NATIVE PLANT MATERIAL WHEN POSSIBLE, SHALL OCCUR WITHIN 30 DAYS FROM THE TIME THE AREAS WERE LAST ACTIVELY WORKED, OR FOR FALL AND WINTER ACTIVITIES, BY JUNE 15, EXCEPT WHERE PRECLUDED BY THE TYPE OF ACTIVITY (E.G. RIPRAP, ROAD SURFACES, ETC.). THE VEGETATIVE COVER SHALL BE MAINTAINED.
- EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 2 ACRES OF THE SITE IS OPEN AT ANY TIME. AN AREA CONSIDERED OPEN IS ANY AREA NOT STABILIZED WITH PAVEMENT, VEGETATION, MULCHING, EROSION CONTROL MATS, RIPRAP OR GRAVEL BASE ON A ROAD. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDER TAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. ALL AREA SHALL BE CONSIDERED TO BE DENUDED UNTIL THE SUBBASE GRAVEL IS INSTALLED IN ROADWAY AREAS OR THE AREAS OF FUTURE LOAM AND SEED HAVE BEEN LOAMED, SEEDED AND MULCHED. A COVER OF EROSION CONTROL MIX PERFORMS THE BEST.
- ANY ADDED MEASURES, WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION, MUST BE INSTALLED. THESE MAY BE DEPENDENT UPON SITE AND WEATHER CONDITIONS AND THE ACTUAL SITE SIZE. TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION, CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED.
- SEDIMENT BARRIERS (SILT FENCE OR EROSION CONTROL BERM) SHALL BE INSTALLED DOWNGRADE OF MATERIAL STOCKPILES. STORMWATER SHALL BE PREVENTED FROM RUNNING ONTO MATERIAL STOCKPILES.
- DISPOSAL OF COLLECTED DEBRIS MUST BE IN CONFORMANCE WITH MAINE SOLID WASTE LAW, TITLE 38 MRSA SECTION 1301 ET. SEQ.
- LIME AND FERTILIZER APPLICATION RATES SHALL NOT EXCEED THE FOLLOWING:

GROUND LIMESTONE: 3 TONS/ACRE (130 LBS./1000 S.F.)
FERTILIZER, 10-10-10 OF EQUIVALENT: 600 LBS./ACRE (14 LBS./1000 S.F.)

FERTILIZER SHALL NOT BE APPLIED BEFORE START OF THE GROWING SEASON NOR AFTER SEPTEMBER 30. FERTILIZED AREAS SHALL BE MULCHED TO REDUCE OFF-SITE TRANSPORT OF NUTRIENTS UNTIL USED BY VEGETATIVE GROWTH.

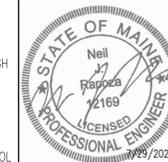
SEEDING MIXTURE AND SCHEDULE:

SPREAD TOPSOIL UNIFORMLY 6" DEEP OVER AREAS TO BE RECLAIMED. THE FOLLOWING SEED MIXTURE SHALL BE USED:

LAWNS:	
KENTUCKY BLUEGRASS	0.46 LBS./1000 S.F.
CREeping RED FESCUE	0.46 LBS./1000 S.F.
PERENNIAL RYE GRASS	0.11 LBS./1000 S.F.
TOTAL	1.03 LBS./1000 S.F.

APPLY LIME AND FERTILIZER AS SPECIFIED UNDER THE EROSION AND SEDIMENTATION CONTROL NOTES. WORK INTO THE TOP (4) INCHES OF SOIL PRIOR TO SEEDING. AFTER SEEDING, APPLY MULCH HAY AS SPECIFIED. ON FLAT AREAS AND NOT EXPOSED TO WIND, THE MULCH WILL BE ANCHORED BY WETTING DOWN. IN OTHER AREAS, JUTE NETTING SHALL BE USED FOR ANCHORAGE. THE ABOVE SEEDING SCHEDULE IS APPLICABLE IF SEEDING DURING THE GROWING SEASON (APRIL 15 TO JUNE 15 AND AUGUST 30 TO SEPTEMBER 30). BETWEEN JUNE 15 AND AUGUST 30, SEEDING WILL BE DELAYED UNTIL AUGUST 30. IF SOIL IS DISTURBED BETWEEN OCTOBER 1 AND NOVEMBER 1, DELAY SEEDING UNTIL NOVEMBER 1. AFTER NOVEMBER 1 AND BEFORE A SNOW COVER FORMS, THE SAME PROCEDURE WILL BE FOLLOWED EXCEPT THE SEED RATE WILL BE DOUBLED. AFTER SNOW COVER AND BEFORE APRIL 15, SEEDING WILL BE DELAYED UNTIL APRIL 15. HAY MULCH WILL BE APPLIED AT A RATE OF 150 LBS./1000 SQUARE FEET. THIS WILL BE ANCHORED BY NON-ASPHALTIC TACKIFIER SPRAYED ON LAWNS AND JUTE NETTING IN DRAINAGE WAYS AND OTHER AREAS.

ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE MAINE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES, MARCH 2003.



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	INT.	

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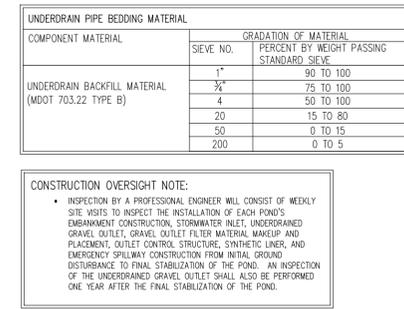
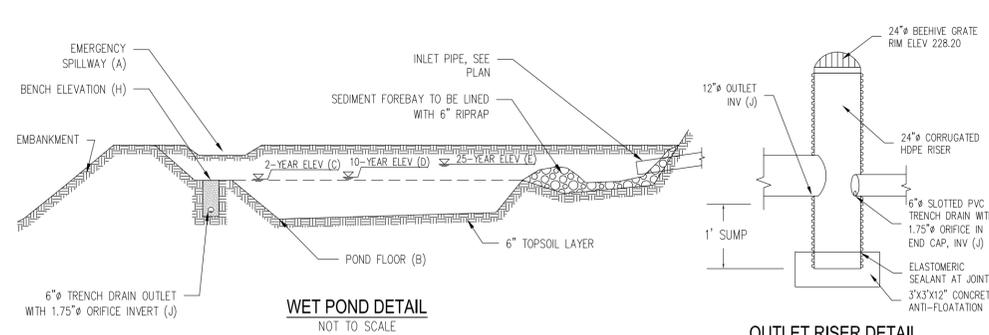
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NOTES AND DETAILS

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L5

SHEET: 5 OF 6



UNDERDRAIN PIPE BEDDING MATERIAL

COMPONENT MATERIAL	SIEVE NO.	GRADATION OF MATERIAL PERCENT BY WEIGHT PASSING STANDARD SIEVE
UNDERDRAIN BACKFILL MATERIAL (MDOT 703.22 TYPE B)	1"	90 TO 100
	3/4"	75 TO 100
	4"	50 TO 100
	20"	15 TO 50
	50"	0 TO 15
	200"	0 TO 5

CONSTRUCTION OVERSIGHT NOTE:

- INSPECTION BY A PROFESSIONAL ENGINEER WILL CONSIST OF WEEKLY SITE VISITS TO INSPECT THE INSTALLATION OF EACH POND'S EMBANKMENT CONSTRUCTION, STORMWATER INLET, UNDERDRAINED GRAVEL OUTLET, GRAVEL OUTLET FILTER MATERIAL MAKEUP AND PLACEMENT, OUTLET CONTROL STRUCTURE, SYNTHETIC LINER, AND EMERGENCY SPILLWAY CONSTRUCTION FROM INITIAL GROUND DISTURBANCE TO FINAL STABILIZATION OF THE POND. AN INSPECTION OF THE UNDERDRAINED GRAVEL OUTLET SHALL ALSO BE PERFORMED ONE YEAR AFTER THE FINAL STABILIZATION OF THE POND.

WET POND MAINTENANCE NOTES:

GENERAL INSPECTION: THE POND SHOULD BE INSPECTED AFTER EVERY MAJOR STORM IN THE FIRST FEW MONTHS TO ENSURE PROPER FUNCTION. THEREAFTER, THE POND SHOULD BE INSPECTED AT LEAST ONCE EVERY SIX MONTHS TO ENSURE THAT THE POND IS SLOWLY EMPTYING THROUGH THE GRAVEL FILTER TRENCH FOR A SHORT TIME AFTER THE STORM (12-24 HOURS).

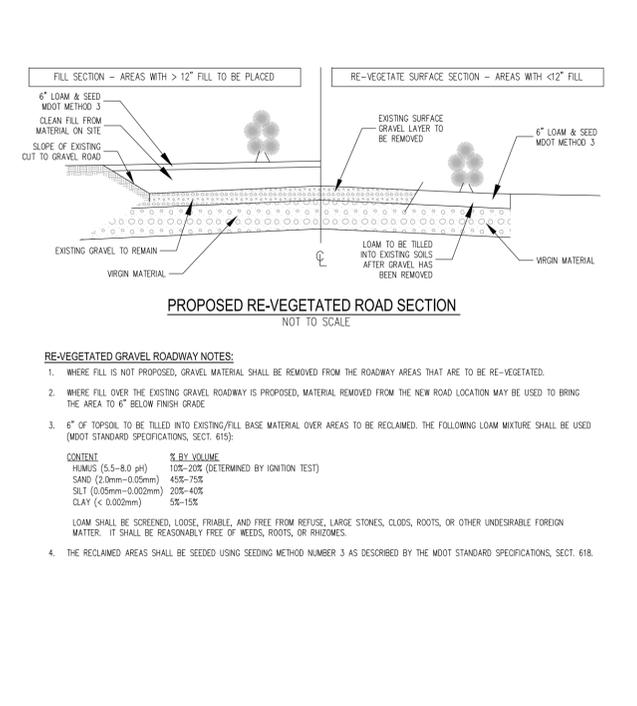
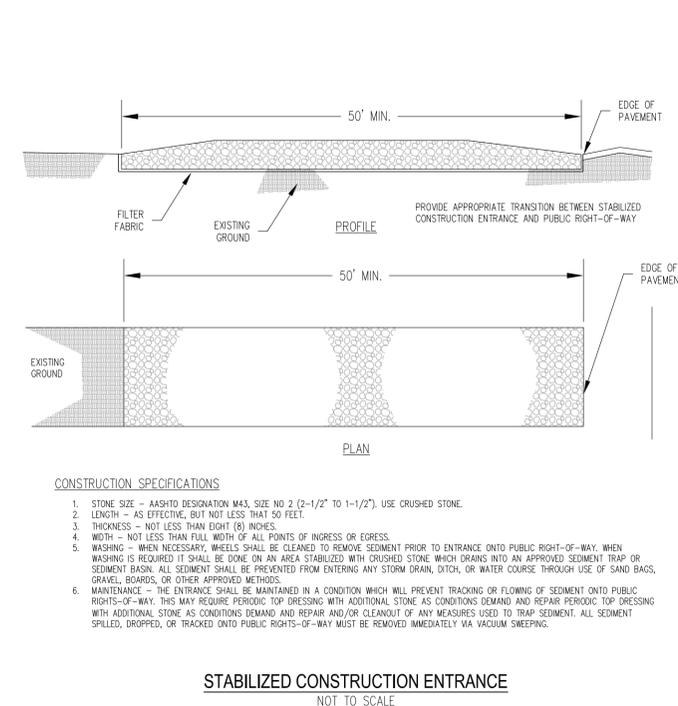
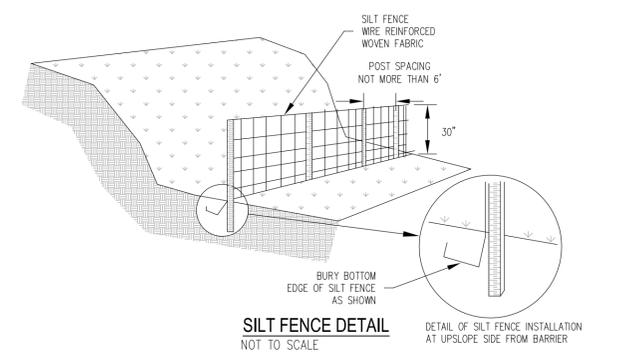
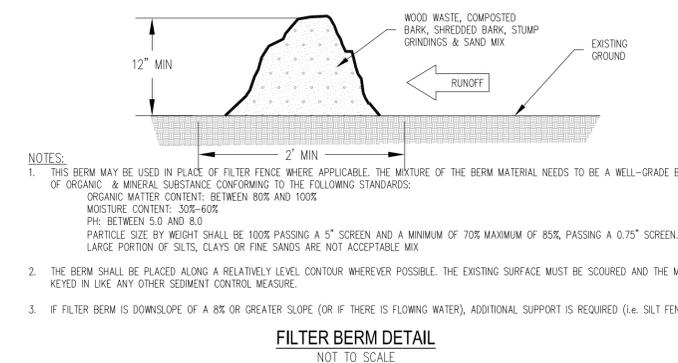
INLETS AND OUTLETS: THE INLET AND OUTLET OF THE PONDS SHOULD BE CHECKED PERIODICALLY TO ENSURE THAT FLOW STRUCTURES ARE NOT BLOCKED BY DEBRIS. ALL DITCHES OR PIPES CONNECTING PONDS IN SERIES SHOULD BE CHECKED FOR DEBRIS THAT MAY OBSTRUCT FLOW.

GRAVEL TRENCH: THE GRAVEL TRENCH SHOULD BE CLEAR OF CLOGGING MATERIAL (E.G. DECAYING LEAVES) SO THAT DISCHARGE THROUGH THE TRENCH IS NOT IMPEDED. THE TOP SEVERAL INCHES OF THE GRAVEL IN THE OUTLET TRENCH SHOULD BE REPLACED WITH FRESH MATERIAL WHEN WATER PONDS ABOVE THE PERMANENT POOL FOR MORE THAN 72 HOURS. THE SEDIMENTS REMOVED FROM THE WET POND SHOULD BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS.

EMBANKMENTS: WET PONDS SHOULD BE INSPECTED ANNUALLY FOR EROSION, SIDE SLOPE DESTABILIZATION, EMBANKMENT SETTLING OR OTHER SIGNS OF STRUCTURAL FAILURE. CORRECTIVE ACTIONS SHOULD BE TAKEN IMMEDIATELY UPON IDENTIFICATION OF A PROBLEM.

WET POND SCHEDULE

	SPILLWAY ELEV	BASIN FLOOR	2-YR ELEV	10-YR ELEV	25-YR ELEV	TEST PIT	DEPTH (inches)	EXIST GRADE	SHWT ELEV	BENCH ELEV	DRAIN INVERT ELEV	TRENCH PERC RATE (in/hr)	BEDRCK /WATER
	A	B	C	D	E					H	J		
POND 21	131.25	123.00	131.00	131.22	131.34	TP-47	156.00	131.65	130.50	130.00	127.45	6.00	N/A
POND 22	119.80	113.00	119.85	120.01	120.08	TP-48	71.00	118.00	117.00	118.60	116.10	6.00	N/A



MAINTENANCE PROCEDURES

THE FOLLOWING PROCEDURES WILL BE FOLLOWED FOR MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES AND EROSION & SEDIMENTATION CONTROL (ESC) MEASURES AT THIS SITE. NOTE: FOR THE PURPOSES OF THESE PROCEDURES, A SIGNIFICANT RAINFALL IS 1/2" IN A 24 HOUR PERIOD.

CONSTRUCTION INSPECTIONS WILL BE PERFORMED AT LEAST ONCE A WEEK AS WELL AS BEFORE, AND WITHIN 24 HOURS AFTER A STORM EVENT.

IF INSPECTIONS IDENTIFY AREAS IN NEED OF REPAIR, THOSE REPAIRS SHALL BE STARTED BY THE END OF THE NEXT WORK DAY AND COMPLETED WITHIN SEVEN DAYS (OR BEFORE THE NEXT STORM EVENT).

ALL CONSTRUCTION INSPECTIONS SHALL BE CONDUCTED BY SOMEONE WITH KNOWLEDGE OF EROSION AND STORMWATER CONTROL, INCLUDING THE STANDARDS AND CONDITIONS IN THE PERMIT.

THE SCOPE OF CONSTRUCTION INSPECTIONS INCLUDES THE EROSION CONTROL MEASURES AS WELL AS DISTURBED AREAS, MATERIAL STORAGE AREAS, AND LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE (STABILIZED CONSTRUCTION ENTRANCE).

THE CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF ALL STORMWATER AND ESC MEASURES UNTIL FINAL STABILIZATION OF THE SITE IS ACHIEVED. UPON STABILIZATION, J.G.'S REALTY LLC WILL BE RESPONSIBLE FOR LONG-TERM INSPECTION AND MAINTENANCE OF STORMWATER MANAGEMENT AND EROSION CONTROL MEASURES.

MAINTENANCE LOG

THE RESPONSIBLE PARTY SHALL ESTABLISH A MAINTENANCE LOG/PLAN FOR USE IN RECORDING MAINTENANCE ACTIVITIES. AS A MINIMUM, THE LOG SHALL INCLUDE THE DATE(S) OF ACTIVITIES, WHO PERFORMED THE DUTIES, WHAT WAS DONE (I.E. LOOKED AT DETENTION BERMS, CLEANED DROP INLETS, ETC.), THE RESULTS OF THE ACTIVITY (I.E. ALL STRUCTURES WERE IN GOOD SHAPE, OR, POND #44 NEEDS TO BE REPAIRED). IF ANY ITEM NEEDS TO BE REPAIRED, A FOLLOW-UP ENTRY SHALL SHOW THE DATE THAT REPAIRS WERE COMPLETED.

CONSTRUCTION INSPECTION AND CORRECTIVE ACTION DOCUMENTATION RECORDS WILL BE MAINTAINED BY THE CONTRACTOR FOR A MINIMUM OF THREE YEARS AND PROVIDED TO J.G.'S REALTY LLC.

LAND GRADING AND SLOPE STABILIZATION

ALL SLOPES SHOULD BE CHECKED PERIODICALLY TO SEE THAT VEGETATION IS IN GOOD CONDITION. ANY RILLS OR DAMAGE FROM EROSION AND ANIMAL BURROWING SHOULD BE REPAIRED IMMEDIATELY TO AVOID FURTHER DAMAGE. IF SEEPS DEVELOP ON THE SLOPES, THE AREA SHOULD BE EVALUATED TO DETERMINE IF THE SEEP WILL CAUSE AN UNSTABLE CONDITION. SUBSURFACE DRAINS OR GRAVEL MULCHING MAY BE REQUIRED TO SOLVE SEEP PROBLEMS. DIVERSIONS, BERMS, AND WATERWAYS IN THE LAND GRADING AREA SHOULD BE CHECKED TO SEE THAT THEY ARE FUNCTIONING PROPERLY. PROBLEMS FOUND DURING THE INSPECTIONS SHOULD BE REPAIRED. SLOPES AND ASSOCIATED PRACTICES UTILIZING VEGETATION SHOULD BE LIMED AND FERTILIZED AS NECESSARY TO KEEP THE VEGETATION HEALTHY. ENCROACHMENT OF UNDESIRABLE VEGETATION SUCH AS WEEDS AND WOODY GROWTH THAT IS NOT PLANNED SHOULD BE CONTROLLED TO AVOID PROBLEMS OF BANK STABILITY IN THE FUTURE.

STRAW OR HAY BALE BARRIER, SILT FENCE AND FILTER BERM

HAY BALE BARRIERS, SILT FENCES AND FILTER BERMS SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OF THE EDGES OF THE BARRIER, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED.

SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE BARRIER.

FILTER BERMS SHOULD BE RESHAPED AS NEEDED.

SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHOULD BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

TEMPORARY CHECK DAMS

REGULAR INSPECTIONS MUST BE MADE TO ENSURE THAT THE CENTER OF THE CHECK DAM IS LOWER THAN THE EDGES. EROSION CAUSED BY HIGH FLOWS AROUND THE EDGES OF THE CHECK DAM MUST BE CORRECTED. IF EVIDENCE OF SILTATION IN THE WATER IS APPARENT DOWNSTREAM OF THE CHECK DAM, THE CHECK DAM MUST BE INSPECTED AND ADJUSTED.

CHECK DAMS MUST BE CHECKED FOR SEDIMENT ACCUMULATION AFTER EACH SIGNIFICANT RAINFALL. SEDIMENT MUST BE REMOVED WHEN IT REACHES ONE HALF THE ORIGINAL HEIGHT OF BEFORE.

IF IT POSSIBLE, LEAVE THE CHECK DAM IN PLACE PERMANENTLY. IN TEMPORARY DITCHES AND SWALES, CHECK DAMS MUST BE REMOVED WHEN A PERMANENT LINING HAS BEEN ESTABLISHED. IF A CHECK DAM MUST BE REMOVED FROM A GRASS LINED DITCH, WAIT UNTIL THE GRASS HAS MATURED TO PROTECT THE DITCH OR SWALE. THE AREA BENEATH THE CHECK DAM MUST BE SEEDED AND MULCHED REMOVAL.

STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD)

EXITS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHALL BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL AND REDISTRIBUTED ON SITE IN A STABLE MANNER AND THE ENTRANCE RECONSTRUCTED. THE CONTRACTOR SHALL SWEEP OR WASH PAVEMENT AT EXITS, WHICH HAVE EXPERIENCED MUD-TRACKING ONTO THE PAVEMENT OR TRAVELED WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES OR WATERWAYS.

OVERWINTER CONSTRUCTION

MAINE EROSION AND SEDIMENT CONTROL BMP (3/2016)

THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15. IF THE CONSTRUCTION SITE IS NOT STABILIZED WITH PAVEMENT, A ROAD GRAVEL BASE, 75% MATURE VEGETATION COVER OR RIPRAP BY NOVEMBER 15 THEN THE SITE NEEDS TO BE PROTECTED WITH OVER-WINTER STABILIZATION. AN AREA CONSIDERED OPEN IS ANY AREA NOT STABILIZED WITH PAVEMENT, VEGETATION, MULCHING, EROSION CONTROL MATS, RIPRAP OR GRAVEL BASE ON A ROAD.

WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDER TAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. ALL AREA SHALL BE CONSIDERED TO BE DENUDED UNTIL THE SUBBASE GRAVEL IS INSTALLED IN ROADWAY AREAS OR THE AREAS OF FUTURE LOAM AND SEED HAVE BEEN LOAMED, SEEDED AND MULCHED. A COVER OF EROSION CONTROL MIX PERFORMS THE BEST.

ANY ADDED MEASURES, WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION, MUST BE INSTALLED. THESE MAY BE DEPENDENT UPON SITE AND WEATHER CONDITIONS AND THE ACTUAL SITE SIZE. TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION, CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED.

1. NATURAL RESOURCES PROTECTION
ANY AREAS WITHIN 100 FEET FROM ANY NATURAL RESOURCE, IF NOT STABILIZED WITH A MINIMUM OF 75% MATURE VEGETATION CATCH, SHALL BE MULCHED BY DECEMBER 1 AND ANCHORED WITH PLASTIC NETTING OR PROTECTED WITH AN EROSION CONTROL COVER.

DURING WINTER CONSTRUCTION, A DOUBLE ROW OF SEDIMENT BARRIERS (I.E. SILT FENCE BACKED WITH HAY BALES OR EROSION CONTROL MIX) WILL BE PLACED BETWEEN ANY NATURAL RESOURCE AND THE DISTURBED AREA. PROJECTS CROSSING THE NATURAL RESOURCE SHALL BE PROTECTED A MINIMUM DISTANCE OF 100 FEET ON EITHER SIDE FROM THE RESOURCE. EXISTING PROJECTS NOT STABILIZED BY DECEMBER 1 SHALL BE PROTECTED WITH THE SECOND LINE OF SEDIMENT BARRIER TO ENSURE FUNCTIONALITY DURING THE SPRING THAW AND RAINS.

2. SEDIMENT BARRIERS
DURING FROZEN CONDITIONS, SEDIMENT BARRIERS MAY CONSIST OF EROSION CONTROL MIX BERMS OR ANY OTHER RECOGNIZED SEDIMENT BARRIERS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF HAY BALES AND SEDIMENT SILT FENCES.

3. MULCHING
ALL AREA SHALL BE CONSIDERED TO BE DENUDED UNTIL SEEDED AND MULCHED. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 150 LB. PER 1,000 SQUARE FEET OR 3 TONS/ACRE (TWICE THE NORMAL ACCEPTED RATE OF 75 LBS./1,000 S.F. OR 1.5 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. EROSION CONTROL MIX MUST BE APPLIED WITH A MINIMUM 4 INCH THICKNESS.

MULCH SHALL NOT BE SPREAD ON TOP OF SNOW. THE SNOW WILL BE REMOVED DOWN TO A ONE INCH DEPTH OR LESS PRIOR TO APPLICATION. AFTER EACH DAY OF FINAL GRADING, THE AREA WILL BE PROPERLY STABILIZED WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MATTING. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED OR ADEQUATELY ANCHORED SO THAT GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH. BETWEEN THE DATES OF NOVEMBER 1 AND APRIL 15, ALL MULCH SHALL BE ANCHORED BY EITHER MULCH NETTING, ASPHALT EMULSION CHEMICAL, TRACKING OR WOOD CELLULOSE FIBER. THE COVER WILL BE CONSIDERED SUFFICIENT WHEN THE GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH.

DURING NOVEMBER 1ST, MULCH AND ANCHORING OF ALL EXPOSED SOIL SHALL OCCUR AT THE END OF EACH FINAL GRADING WORKDAY.

4. SOIL STOCKPILES
STOCKPILES OF SOIL OR SUBSOIL WILL BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A FOUR-INCH LAYER OF EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND REESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. ANY SOIL STOCKPILE WILL NOT BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100 FEET FROM ANY NATURAL RESOURCES.

5. SEEDING
BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES FINISHED AREAS SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS NOVEMBER 1ST AND THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED.

DORMANT SEEDING MAY BE SELECTED TO BE PLACED PRIOR TO THE PLACEMENT OF MULCH AND EROSION CONTROL BLANKETS. IF DORMANT SEEDING IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL RECEIVE 4' OF LOAM AND SEED AT AN APPLICATION RATE OF 5LBS./1,000 S.F. ALL AREAS SEEDED DURING THE WINTER WILL BE INSPECTED IN THE SPRING FOR ADEQUATE CATCH. ALL AREAS INSUFFICIENTLY VEGETATED (LESS THAN 75% CATCH) SHALL BE REVEGETATED BY REPLACING LOAM, SEED AND MULCH. IF DORMANT SEEDING IS NOT USED FOR THE SITE, ALL DISTURBED AREAS SHALL BE REVEGETATED IN THE SPRING.

OVERWINTER STABILIZATION

MAINE EROSION AND SEDIMENT CONTROL BMP (3/2016)

1. STABILIZATION OF DITCHES AND CHANNELS
ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. IF A DITCH OR CHANNEL IS NOT GRASS-LINED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE DITCH FOR LATE FALL AND WINTER MUST BE TAKEN.

SOD LINING: A DITCH OR CHANNEL MUST BE LINED WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES: PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL, AND ANCHORING THE SOD AT THE BASE OF THE DITCH WITH JUTE OR PLASTIC MESH TO PREVENT THE SOD FROM SLOUGHING DURING FLOW CONDITIONS.

STONE LINING: A DITCH OR CHANNEL MUST BE LINED WITH STONE RIPRAP BY NOVEMBER 15. A REGISTERED PROFESSIONAL ENGINEER MUST DETERMINE THE STONE SIZE AND LINING THICKNESS NEEDED TO WITHSTAND THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHIN THE DITCH. IF NECESSARY, THE CONTRACTOR WILL REGRADE THE DITCH PRIOR TO PLACING THE STONE LINING TO PREVENT THE STONE LINING FROM REDUCING THE DITCH'S CROSS-SECTIONAL AREA.

2. STABILIZATION OF DISTURBED SLOPES
ALL STONE-COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL SLOPES TO BE VEGETATED MUST BE SEEDED AND MULCHED BY SEPTEMBER 1. THE DEPARTMENT WILL CONSIDER ANY AREA HAVING A GRADE GREATER THAN 15% TO BE A SLOPE. IF A SLOPE TO BE VEGETATED IS NOT STABILIZED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.

TEMPORARY VEGETATION AND EROSION CONTROL MATS: BY OCTOBER 1, THE DISTURBED SLOPE MUST BE SEEDED WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET FOLLOWED BY INSTALLATION OF EROSION CONTROL MATS OR ANCHORED MULCH OVER THE SEEDING. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR FAILS TO COVER AT LEAST 75% OF THE SLOPE BY NOVEMBER 1, THEN THE CONTRACTOR WILL COVER THE SLOPE WITH A LAYER OF EROSION CONTROL MIX OR STONE RIPRAP AS DESCRIBED IN THE FOLLOWING STANDARDS.

SOD: THE DISTURBED SLOPE MUST BE STABILIZED WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES: THE CONTRACTOR PINNING THE SOD ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE CONTRACTOR WILL NOT USE LATE-SEASON SOD INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% (3H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.

EROSION CONTROL MIX: EROSION CONTROL MIX MUST BE PROPERLY INSTALLED BY NOVEMBER 15. THE CONTRACTOR WILL NOT USE EROSION CONTROL MIX TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% (2H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.

STONE RIPRAP: PLACE A LAYER OF STONE RIPRAP ON THE SLOPE BY NOVEMBER 15. THE DEVELOPMENT'S OWNER WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER TO BE INSTALLED BENEATH THE RIPRAP.

3. STABILIZATION OF DISTURBED SOILS
TEMPORARY VEGETATION: BY OCTOBER 1, SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3-LBS PER 1,000 SQUARE FEET. LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75-LBS PER 1,000 SQUARE FEET, AND ANCHOR THE MULCH WITH PLASTIC NETTING. MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER 1, THEN MULCH THE AREA FOR OVERWINTER PROTECTION AS FOLLOWS.

MULCH: BY NOVEMBER 15, MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150-LBS PER 1,000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. IMMEDIATELY AFTER APPLYING THE MULCH, ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.

MAINTENANCE
MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION SEASON. AFTER EACH RAINFALL, SNOW STORM OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUOUS FUNCTION. FOLLOWING THE TEMPORARY AND OR FINAL SEEDING AND MULCHING, THE CONTRACTOR SHALL IN THE SPRING INSPECT AND REPAIR ANY DAMAGES AND/OR BARE SPOTS. AN ESTABLISHED VEGETATIVE COVER MEANS A MINIMUM OF 85% TO 90% OF AREAS VEGETATED WITH VIGOROUS GROWTH.

STABILIZATION SCHEDULE BEFORE WINTER
SEPTEMBER 15 ALL DISTURBED AREAS MUST BE SEEDED AND MULCHED. ALL SLOPES MUST BE STABILIZED, SEEDED AND MULCHED. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE STABILIZED WITH MULCH OR AN EROSION CONTROL BLANKET.

OCTOBER 1 IF THE SLOPE IS STABILIZED WITH AN EROSION CONTROL BLANKET AND SEEDED. ALL DISTURBED AREAS TO BE PROTECTED WITH ANNUAL GRASS MUST BE SEEDED AT A SEEDING RATE OF 3-LBS PER 1,000 SQUARE FEET AND MULCHED.

NOVEMBER 15 ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED. SLOPES THAT ARE COVERED WITH RIPRAP MUST BE CONSTRUCTED BY THIS DATE.

DECEMBER 1 ALL DISTURBED AREAS WHERE GROWTH OF VEGETATION FAILS TO BE AT LEAST THREE INCHES TALL OR AT LEAST 75% OF THE DISTURBED SOIL IS COVERED VEGETATION, MUST BE PROTECTED FOR OVER-WINTER. NOTE: THE DATES GIVEN ARE FOR PROJECTS IN SOUTH-CENTRAL MAINE.

HOUSEKEEPING NOTES

*PER ME DEP CHAPTER 500 -- APPENDIX 'C'

1. SPILL PREVENTION. CONTROLS MUST BE USED TO PREVENT POLLUTANTS FROM CONSTRUCTION AND WASTE MATERIALS STORED ON SITE TO ENTER STORMWATER, WHICH INCLUDES STORAGE PRACTICES TO MINIMIZE EXPOSURE OF THE MATERIALS TO STORMWATER. THE SITE CONTRACTOR OR OPERATOR MUST DEVELOP, AND IMPLEMENT AS NECESSARY, APPROPRIATE SPILL PREVENTION, CONTAINMENT, AND RESPONSE PLANNING MEASURES.

2. GROUNDWATER PROTECTION. DURING CONSTRUCTION, LIQUID PETROLEUM PRODUCTS AND OTHER HAZARDOUS MATERIALS WITH THE POTENTIAL TO CONTAMINATE GROUNDWATER MAY NOT BE STORED OR HANDLED IN AREAS OF THE SITE DRAINING TO AN INFILTRATION AREA. AN "INFILTRATION AREA" IS ANY AREA OF THE SITE THAT BY DESIGN OR AS A RESULT OF SOILS, TOPOGRAPHY AND OTHER RELEVANT FACTORS ACCUMULATES RUNOFF THAT INFILTRATES INTO THE SOIL. DIKES, BERMS, SLUMPS, AND OTHER FORMS OF SECONDARY CONTAINMENT THAT PREVENT DISCHARGE TO GROUNDWATER MAY BE USED TO ISOLATE PORTIONS OF THE SITE FOR THE PURPOSES OF STORAGE AND HANDLING OF THESE MATERIALS. ANY PROJECT PROPOSING INFILTRATION OF STORMWATER MUST PROVIDE ADEQUATE PRE-TREATMENT OF STORMWATER PRIOR TO DISCHARGE OF STORMWATER TO THE INFILTRATION AREA, OR PROVIDE FOR TREATMENT WITHIN THE INFILTRATION AREA, IN ORDER TO PREVENT THE ACCUMULATION OF FINES, REDUCTION IN INFILTRATION RATE, AND CONSEQUENT FLOODING AND DESTABILIZATION.

3. FUGITIVE SEDIMENT AND DUST. ACTIONS MUST BE TAKEN TO ENSURE THAT ACTIVITIES DO NOT RESULT IN NOTICEABLE EROSION OF SOILS OR FUGITIVE DUST EMISSIONS DURING OR AFTER CONSTRUCTION. OIL MAY NOT BE USED FOR DUST CONTROL, BUT OTHER WATER ADDITIVES MAY BE CONSIDERED AS NEEDED. A STABILIZED CONSTRUCTION ENTRANCE (SCE) SHOULD BE INCLUDED TO MINIMIZE TRACKING OF MUD AND SEDIMENT. IF OFF-SITE TRACKING OCCURS, PUBLIC ROADS SHOULD BE SWEEP IMMEDIATELY AND NO LESS THAN ONCE A WEEK AND PRIOR TO SIGNIFICANT STORM EVENTS. OPERATIONS DURING DRY MONTHS, THAT EXPERIENCE FUGITIVE DUST PROBLEMS, SHOULD WET DOWN UNPAVED ACCESS ROADS ONCE A WEEK OR MORE FREQUENTLY AS NEEDED WITH A WATER ADDITIVE TO SUPPRESS FUGITIVE SEDIMENT AND DUST.

4. DEBRIS AND OTHER MATERIALS. MINIMIZE THE EXPOSURE OF CONSTRUCTION DEBRIS, BUILDING AND LANDSCAPING MATERIALS, TRASH, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS TO PRECIPITATION AND STORMWATER RUNOFF. THESE MATERIALS MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.

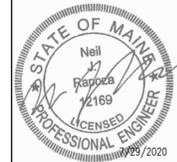
5. EXCAVATION DE-WATERING. EXCAVATION DE-WATERING IS THE REMOVAL OF WATER FROM TRENCHES, FOUNDATIONS, COFFER DAMS, PONDS, AND OTHER AREAS WITHIN THE CONSTRUCTION AREA THAT RETAIN WATER AFTER EXCAVATION. IN MOST CASES THE COLLECTED WATER IS HEAVILY SILTED AND HINDERS CORRECT AND SAFE CONSTRUCTION PRACTICES. THE COLLECTED WATER REMOVED FROM THE PONDED AREA, EITHER THROUGH GRAVITY OR PUMPING, MUST BE SPREAD THROUGH NATURAL WOODED BUFFERS OR REMOVED TO AREAS THAT ARE SPECIFICALLY DESIGNED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE, LIKE A COFFERDAM SEDIMENTATION BASIN. AVOID ALLOWING THE WATER TO FLOW OVER DISTURBED AREAS OF THE SITE. EQUIVALENT MEASURES MAY BE TAKEN IF APPROVED BY THE DEPARTMENT.

6. AUTHORIZED NON-STORMWATER DISCHARGES. IDENTIFY AND PREVENT CONTAMINATION BY NON-STORMWATER DISCHARGES. WHERE ALLOWED NON-STORMWATER DISCHARGES EXIST, THEY MUST BE IDENTIFIED AND STEPS SHOULD BE TAKEN TO ENSURE THE IMPLEMENTATION OF APPROPRIATE POLLUTION PREVENTION MEASURES FOR THE NON-STORMWATER COMPONENT(S) OF THE DISCHARGE. AUTHORIZED NON-STORMWATER DISCHARGES ARE:

- (a) DISCHARGES FROM FIREFIGHTING ACTIVITY;
- (b) FIRE HYDRANT FLUSHINGS;
- (c) VEHICLE WASHWATER IF DETERGENTS ARE NOT USED AND WASHING IS LIMITED TO THE EXTERIOR OF VEHICLES (ENGINE, UNDERCARRIAGE AND TRANSMISSION WASHING IS PROHIBITED);
- (d) DUST CONTROL RUNOFF IN ACCORDANCE WITH PERMIT CONDITIONS AND APPENDIX (C)(3);
- (e) ROUTINE EXTERNAL BUILDING WASHDOWN, NOT INCLUDING SURFACE PAINT REMOVAL, THAT DOES NOT INVOLVE DETERGENTS;
- (f) PAVEMENT WASHWATER (WHERE SPILLS/LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED, UNLESS ALL SPILLED MATERIAL HAD BEEN REMOVED) IF DETERGENTS ARE NOT USED;
- (g) UNCONTAMINATED AIR CONDITIONING OR COMPRESSOR CONDENSATE;
- (h) UNCONTAMINATED GROUNDWATER OR SPRING WATER;
- (i) FOUNDATION OR FOOTER DRAIN-WATER WHERE FLOWS ARE NOT CONTAMINATED;
- (j) UNCONTAMINATED EXCAVATION DEWATERING (SEE REQUIREMENTS IN APPENDIX C(5));
- (k) POTABLE WATER SOURCES INCLUDING WATERLINE FLUSHINGS; AND
- (l) LANDSCAPE IRRIGATION.

7. UNAUTHORIZED NON-STORMWATER DISCHARGES. THE DEPARTMENT'S APPROVAL UNDER THIS CHAPTER DOES NOT AUTHORIZE A DISCHARGE THAT IS MIXED WITH A SOURCE OF NON-STORMWATER, OTHER THAN THOSE DISCHARGES IN COMPLIANCE WITH APPENDIX C (6). SPECIFICALLY, THE DEPARTMENT'S APPROVAL DOES NOT AUTHORIZE DISCHARGES OF THE FOLLOWING:

- (a) WASTEWATER FROM THE WASHOUT OR CLEANOUT OF CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS OR OTHER CONSTRUCTION MATERIALS;
- (b) FUELS, OILS OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE;
- (c) SOAPS, SOLVENTS, OR DETERGENTS USED IN VEHICLE AND EQUIPMENT WASHING; AND
- (d) TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE.



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7/29/20		DATE
NJR	NJR	
6/14/20	5/1/20	
NJR	NJR	
4/24/20		DATE
NJR	INT.	

REVISED PER TOWN PLANNER COMMENTS	REVISIONS
3 REVISED NOTES SHEET L6	
2 RELOCATED ENTRANCE PER DOT REVIEW	
1 ISSUED FOR SUBMISSION TO DEP	
1 ISSUED FOR SUBMISSION TO TOWN	
NO.	

RECORD OWNER:
J.G.'S REALTY, LLC
OWNER ADDRESS:
309 OLD COLONY AVENUE,
SOUTH BOSTON, MA 02127

PROPOSED SITE DEVELOPMENT
LAND OF J.G.'S REALTY LLC - MAP R72/ LOT 17
ROUTE 4 (PORTLAND STREET)
BERWICK, YORK COUNTY, MAINE
PREPARED FOR:
SCOTT KEARNAN
CLIENT ADDRESS: 309 OLD COLONY AVENUE, SOUTH BOSTON, MA 02127



DATE: 04/09/2020
DRAWN BY: NJR
CHECKED BY: GRA
APPROVED BY: NJR

NOTES AND DETAILS

PROJECT NO: 19-352.00

L6

SHEET: 6 OF 6

PREPARED FOR PERMITTING ONLY, NOT FOR CONSTRUCTION
7/29/2020



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 Maine
 03908
 207-384-2550
 www.civcon.com

NO.	REVISIONS	INT.	DATE
1			

RECORD OWNER:
 36'S REALTY, LLC
 OWNER ADDRESS:
 309 OLD COLONY AVENUE,
 SOUTH BOSTON, MA 02127

PROPOSED SITE DEVELOPMENT
LAND OF 36'S REALTY LLC - MAP R72/ LOT 17
ROUTE 4 (PORTLAND STREET)
BERWICK, YORK COUNTY, MAINE

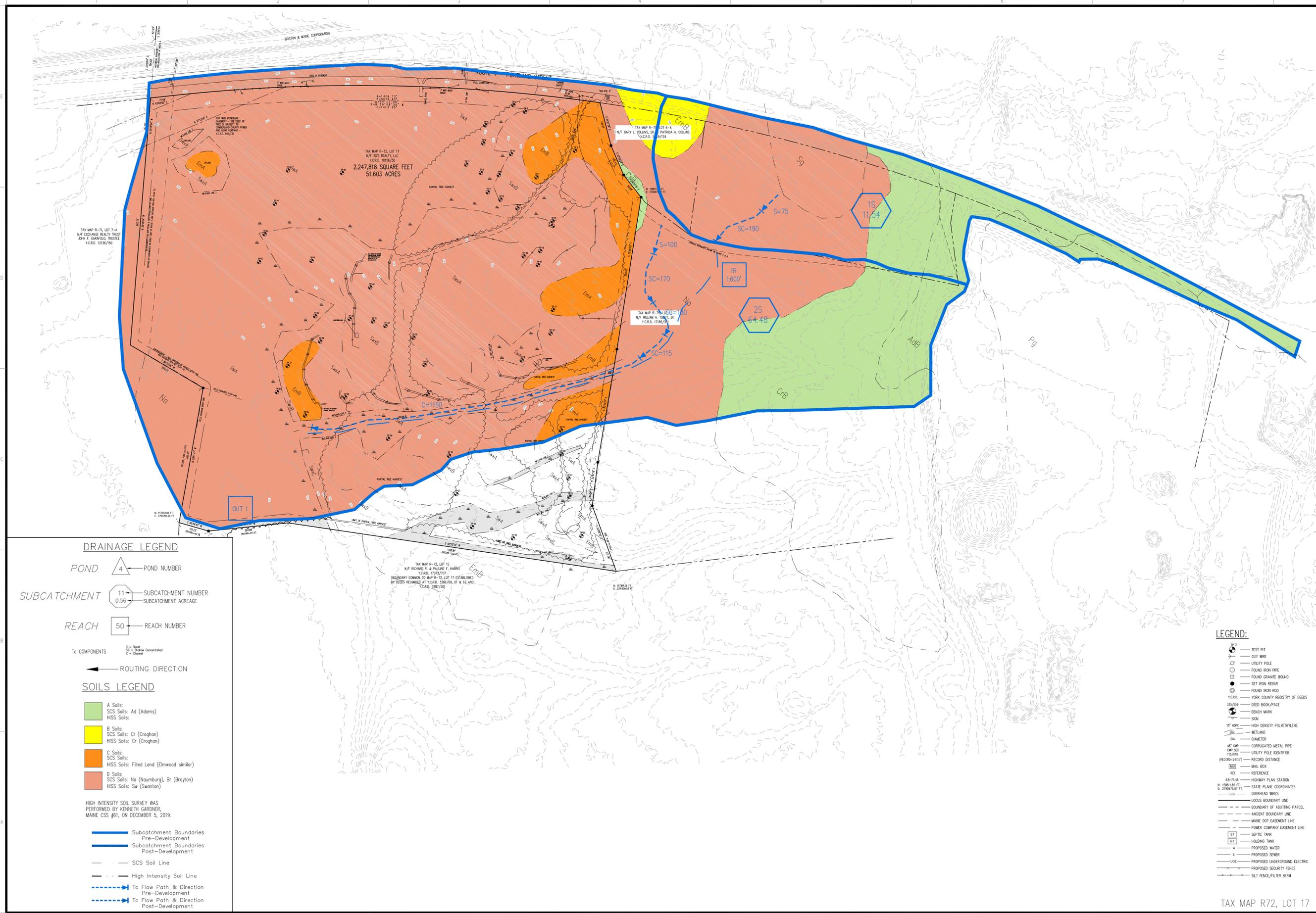
PREPARED FOR:
 SCOTT KEARNAN
 CLIENT ADDRESS: 309 OLD COLONY AVENUE, SOUTH BOSTON, MA 02127

DATE: 04/29/2020
 DRAWN BY: NJR
 CHECKED BY:
 APPROVED BY:

PRE-DEVELOPMENT
STORMWATER
MANAGEMENT PLAN

PROJECT NO: 19-352.00

D1
 SHEET: 1 OF 3



DRAINAGE LEGEND

POND 4 POND NUMBER

SUBCATCHMENT 11- SUBCATCHMENT NUMBER
 0.56- SUBCATCHMENT ACREAGE

REACH 50 REACH NUMBER

To COMPONENTS
 S = Silt
 C = Channel
 C = Channel
 ROUTING DIRECTION

SOILS LEGEND

- A Soils:
SCS Soils: Ad (Adams)
HSS Soils:
- B Soils:
SCS Soils: Cr (Croghan)
HSS Soils: Cr (Croghan)
- C Soils:
SCS Soils:
HSS Soils: Filled Land (Elmwood similar)
- D Soils:
SCS Soils: Na (Naumburg), Br (Brayton)
HSS Soils: Sw (Swanton)

HIGH INTENSITY SOIL SURVEY WAS PERFORMED BY KENNETH GARDNER, MAINE CSS #61, ON DECEMBER 5, 2019.

- Subcatchment Boundaries Pre-Development
- Subcatchment Boundaries Post-Development
- SCS Soil Line
- High Intensity Soil Line
- To Flow Path & Direction Pre-Development
- To Flow Path & Direction Post-Development

LEGEND:

- TEST PIT
- CLAY MISE
- UTILITY POLE
- FOUND IRON PIPE
- FOUND GRANITE BOUND
- SET IRON REBAR
- FOUND IRON ROD
- YORK COUNTY REGISTRY OF DEEDS
- DEED BOOK/PAGE
- BENCH MARK
- SIGN
- 10' HOPE - HIGH DENSITY POLYETHYLENE
- METLAND
- DIAMETER
- CORROGATED METAL PIPE
- UTILITY POLE CENTER
- RECORD DISTANCE
- MAIL BOX
- REFERENCE
- HIGHWAY PLAN STATION
- STATE PLANE COORDINATES
- LOUIS BOUNDARY LINE
- BOUNDARY OF ADJUTING PARCEL
- ANCIENT BOUNDARY LINE
- MAINE DOT EASEMENT LINE
- POWER COMPANY EASEMENT LINE
- SEPTIC TANK
- HOLDING TANK
- PROPOSED WATER
- PROPOSED SEWER
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED SECURITY FENCE
- SALT FENCE/FILTER BERM

TAX MAP R72, LOT 17



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NO.	REVISIONS	INT.	DATE
1			

RECORD OWNER:
 36'S REALTY, LLC
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 309 OLD COLONY AVENUE,
 SOUTH BOSTON, MA 02127

PROPOSED SITE DEVELOPMENT
LAND OF 36'S REALTY LLC - MAP R72/ LOT 17
ROUTE 4 (PORTLAND STREET)
Berwick, York County, Maine

PREPARED FOR:
 SCOTT KEARNAN
 CLIENT ADDRESS: 309 OLD COLONY AVENUE, SOUTH BOSTON, MA 02127

DATE: 04/29/2020
 DRAWN BY: NJR
 CHECKED BY:
 APPROVED BY:

POST-DEVELOPMENT
STORMWATER
MANAGEMENT PLAN

PROJECT NO: 19-352.00

D2

SHEET: 2 OF 3

PLOT DATE: 2/20/2020

DRAINAGE LEGEND

POND 4 POND NUMBER

SUBCATCHMENT 11 SUBCATCHMENT NUMBER
 0.56 SUBCATCHMENT ACREAGE

REACH 50 REACH NUMBER

To COMPONENTS S = Soil
 SC = Storm Concentrated
 C = Channel

SOILS LEGEND

*NOT HATCHED FOR CLARITY, SEE SHEET D1

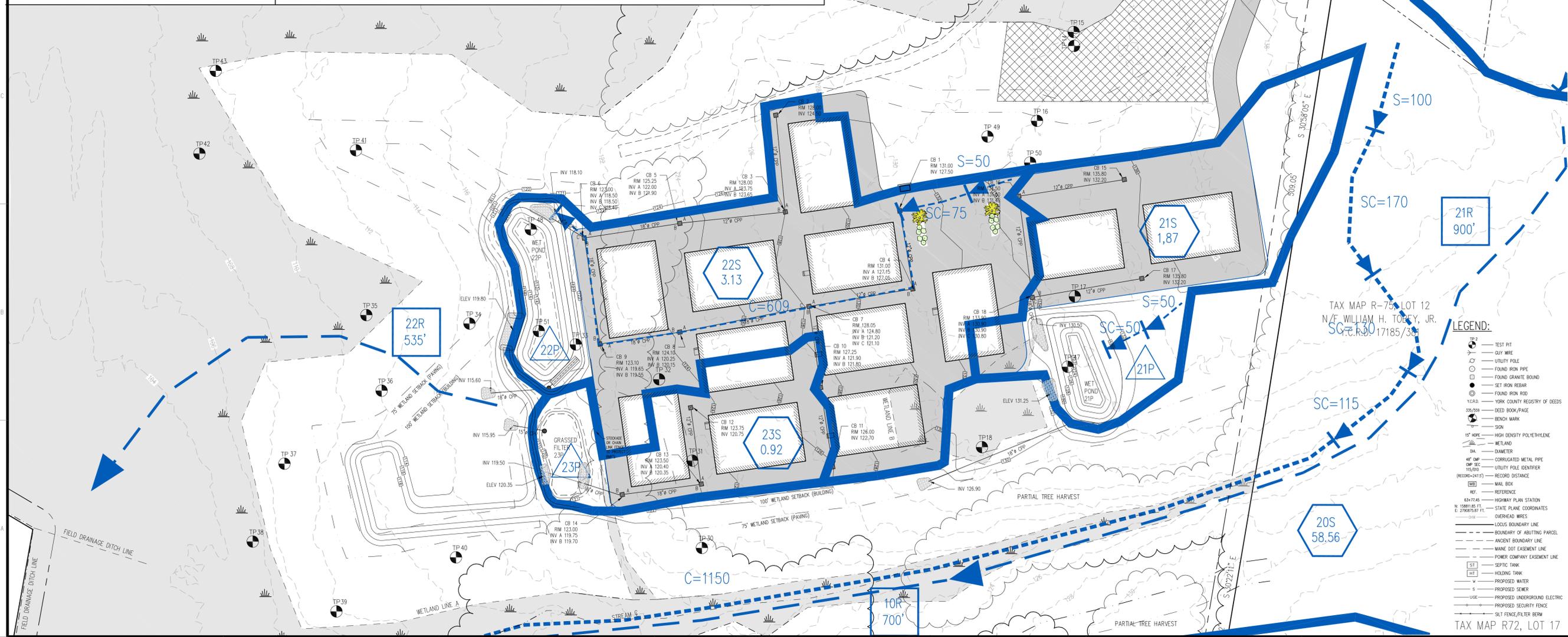
- A Soils: SCS Soils: Ad (Adams)
 HISS Soils:
- B Soils: SCS Soils: Cr (Craghan)
 HISS Soils: Cr (Craghan)
- C Soils: SCS Soils: Filled Land (Elmwood similar)
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HIGH INTENSITY SOIL SURVEY WAS PERFORMED BY KENNETH GARDNER, MAINE CSS #61, ON DECEMBER 5, 2019.

- Subcatchment Boundaries Pre-Development
- Subcatchment Boundaries Post-Development
- SCS Soil Line
- High Intensity Soil Line
- To Flow Path & Direction Pre-Development
- To Flow Path & Direction Post-Development

Flow Comparison

Event	Discharge Point Designation	Peak Runoff (cfs)		Change (cfs)
		Pre	Post	
2-Year Event	OUT 1	51.61	51.25	-0.36
10-Year Event	OUT 1	107.23	107.96	0.73
25-Year Event	OUT 1	156.25	156.13	-0.12
100-Year Event	OUT 1	254.04	250.66	-3.38



LEGEND:

- TEST PIT
- GUY WIRE
- UTILITY POLE
- FOUND IRON PIPE
- FOUND IRON PIPE
- FOUND GRANITE BOUND
- SET IRON REBAR
- FOUND IRON ROD
- Y.C.R.D. YORK COUNTY REGISTRY OF DEEDS
- DEED BOOK/PAGE
- BENCH MARK
- 1" HOPE HIGH DENSITY POLYETHYLENE
- WETLAND
- DIAMETER
- CORRUGATED METAL PIPE
- UTILITY POLE IDENTIFIER
- RECORDED DISTANCE
- MAIL BOX
- REFERENCE
- HIWAY PLAN STATION
- STATE PLANE COORDINATES
- OVERHEAD WIRES
- LOCUS BOUNDARY LINE
- BOUNDARY OF ABUTTING PARCEL
- ADJACENT BOUNDARY LINE
- MAINE DOT EASEMENT LINE
- POWER COMPANY EASEMENT LINE
- SEPTIC TANK
- HOLDING TANK
- PROPOSED WATER
- PROPOSED SEWER
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED SECURITY FENCE
- SILT FENCE/FILTER BERM

STORMWATER TREATMENT SPREADSHEET

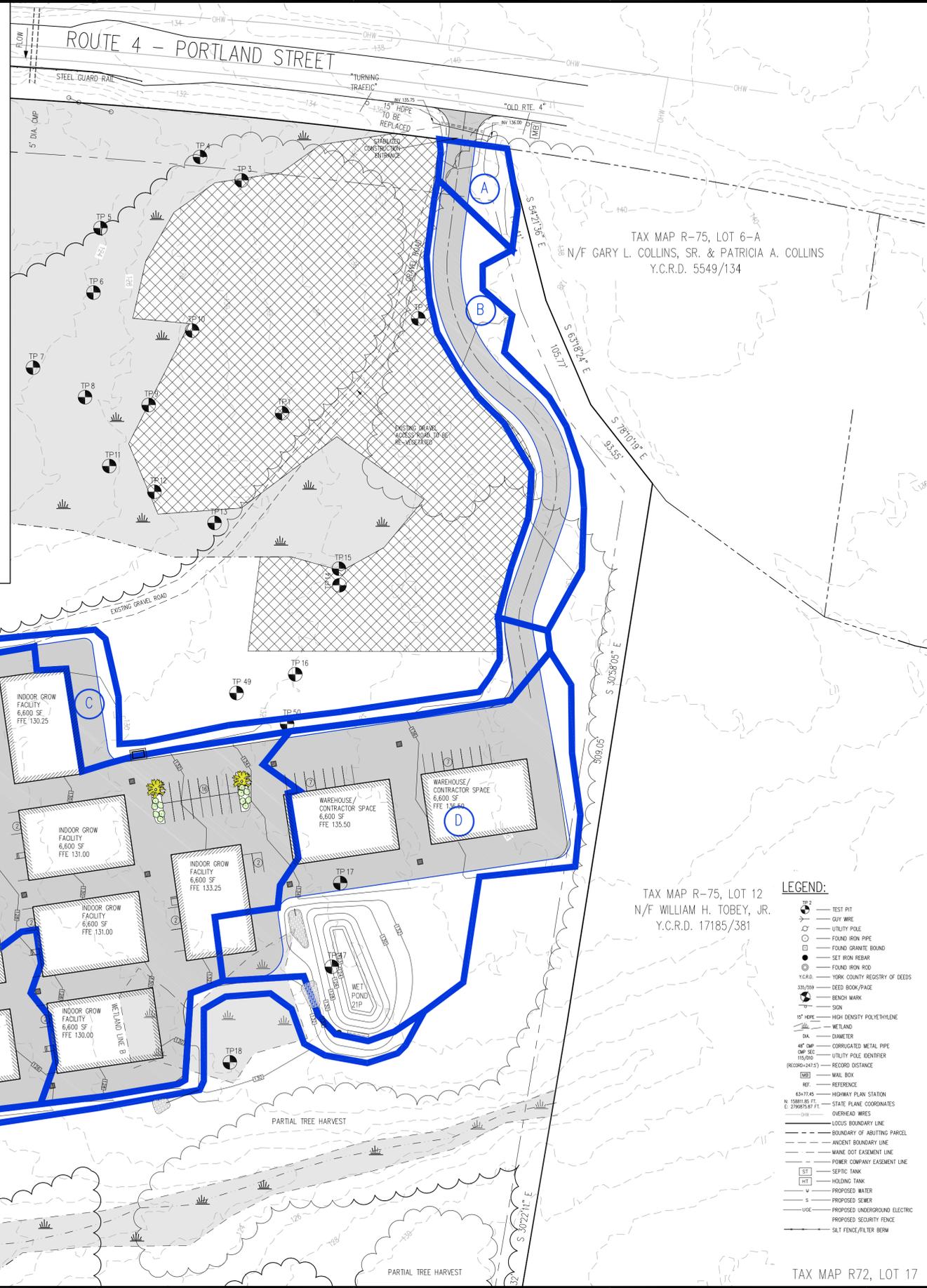
Area (See D3)	BMP Type	Developed area	Linear non-impv	Drives	Linear Impv.	Buildings	Lawn	Min BMP size	BMP provided	Untreated developed	Untreated linear dvlpd	Untreated linear impv	Untreated impervious	Treated impervious
A Route 4 entrance	Untreated	4,631	3,333	0	1,298	0	0	Untreated area	Untreated	4631	3333	1298	0	0
B Entry drive	Buffer	22,805	10,072	0	11,362	0	1,371	35 ft buffer	75' Roadside buffer	0	0	0	0	11,362
C Intersection to dvlpmnt	Untreated	15,692	0	4,065	1,440	0	10,187	Untreated area	Untreated	15692	0	1440	4065	0
D Area of industrial bldgs	Wet Pond	67,814	0	27,412	0	14,850	25,552	See attached	Wetpond 21 P	0	0	0	0	42,262
E Main area of dvlpmnt	Wet Pond	137,755	0	69,554	0	51,150	17,051	See attached	Wetpond 22 P	0	0	0	0	120,704
F Septic & grading	Untreated	42,333	0	0	0	0	42,333	Untreated area	Untreated	42333	0	0	0	0
G Corner of dvlpmnt	Filter	38,310	0	15,471	0	13,200	9,639	2,711 sf filter	2,816 sf Grassed Filter 23 P	0	0	0	0	28,671

TOTAL 329,340 13,405 116,502 14,100 79,200 106,133

TOTAL IMPERVIOUS AREA 209,802 sf 4.816 acres

TOTAL DEVELOPED AREA 329,340 sf 7.56 acres

PERCENT DEVELOPED AREA TREATED	81 %	>	80% MINIMUM REQUIRED TREATMENT
PERCENT IMPV AREA TREATED	99 %	>	95% MINIMUM REQUIRED TREATMENT
PERCENT LINEAR DEVELOPMENT TREATED	75 %	>	50% MINIMUM REQUIRED TREATMENT
PERCENT LINEAR IMPV AREA TREATED	81 %	>	75% MINIMUM REQUIRED TREATMENT



TAX MAP R-75, LOT 6-A
N/F GARY L. COLLINS, SR. & PATRICIA A. COLLINS
Y.C.R.D. 5549/134

TAX MAP R-75, LOT 12
N/F WILLIAM H. TOBEY, JR.
Y.C.R.D. 17185/381

- LEGEND:**
- TEST PIT
 - GUY WIRE
 - UTILITY POLE
 - FOUND IRON PIPE
 - FOUND GRANITE BOUND
 - SET IRON REBAR
 - FOUND IRON ROD
 - YORK COUNTY REGISTRY OF DEEDS
 - DEED BOOK/PAGE
 - BENCH MARK
 - SIGN
 - HIGH DENSITY POLYETHYLENE
 - WETLAND
 - DIAMETER
 - CORRUGATED METAL PIPE
 - UTILITY POLE IDENTIFIER
 - RECORD DISTANCE
 - MAIL BOX
 - REFERENCE
 - HIGHWAY PLUM STATION
 - STATE PLANE COORDINATES
 - OVERHEAD WIRES
 - LOTUS BOUNDARY LINE
 - BOUNDARY OF ADJUTING PARCEL
 - ANCIENT BOUNDARY LINE
 - WARE DOT EASEMENT LINE
 - POWER COMPANY EASEMENT LINE
 - SEPTIC TANK
 - HOLDING TANK
 - PROPOSED WATER
 - PROPOSED SEWER
 - PROPOSED UNDERGROUND ELECTRIC
 - PROPOSED SECURITY FENCE
 - SILT FENCE/FILTER BERM



CIVIL CONSULTANTS
Engineers
Planners
Surveyors
P.O. Box 100
South Berwick
Maine
03908
207-384-2550
www.civcon.com

NO.	REVISIONS	INT.	DATE
1			

RECORD OWNER:
36'S REALTY, LLC
OWNER ADDRESS:
309 OLD COLONY AVENUE,
SOUTH BOSTON, MA 02127

PROPOSED SITE DEVELOPMENT
LAND OF 36'S REALTY LLC - MAP R72/ LOT 17
ROUTE 4 (PORTLAND STREET)
BERWICK, YORK COUNTY, MAINE

PREPARED FOR:
SCOTT KEARNAN
CLIENT ADDRESS: 309 OLD COLONY AVENUE, SOUTH BOSTON, MA 02127

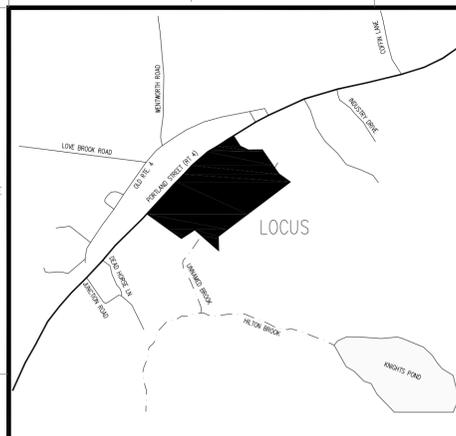
DATE: 04/29/2020
DRAWN BY: NJR
CHECKED BY:
APPROVED BY:

POST-DEVELOPMENT
STORMWATER
TREATMENT PLAN

PROJECT NO: 19-352.00

D3

SHEET: 3 OF 3



LOCUS

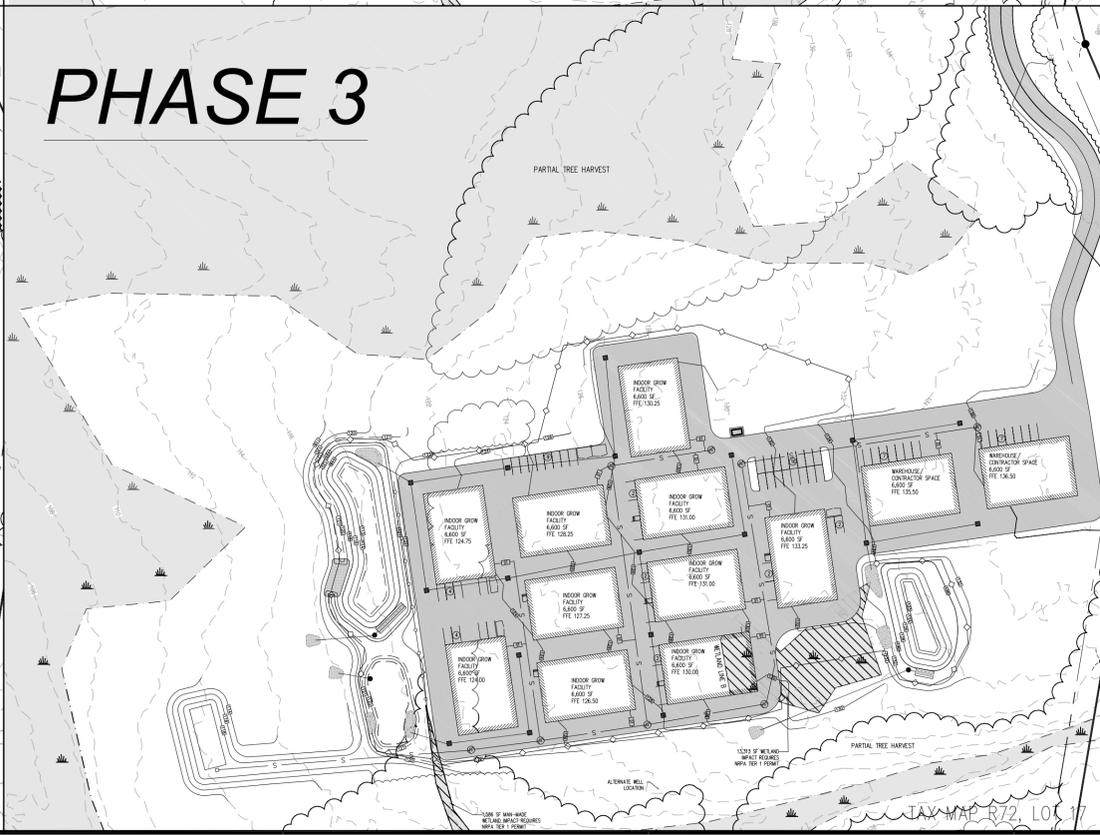
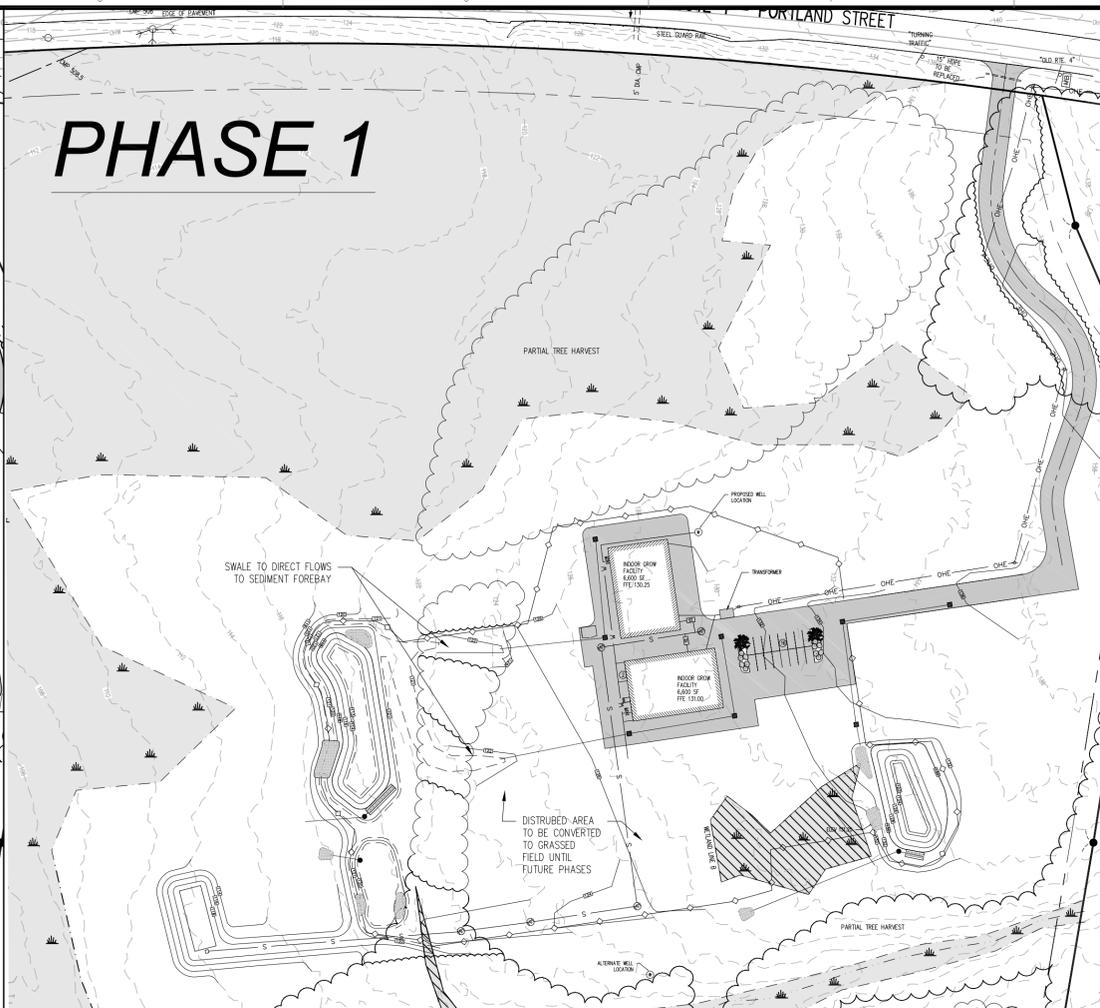
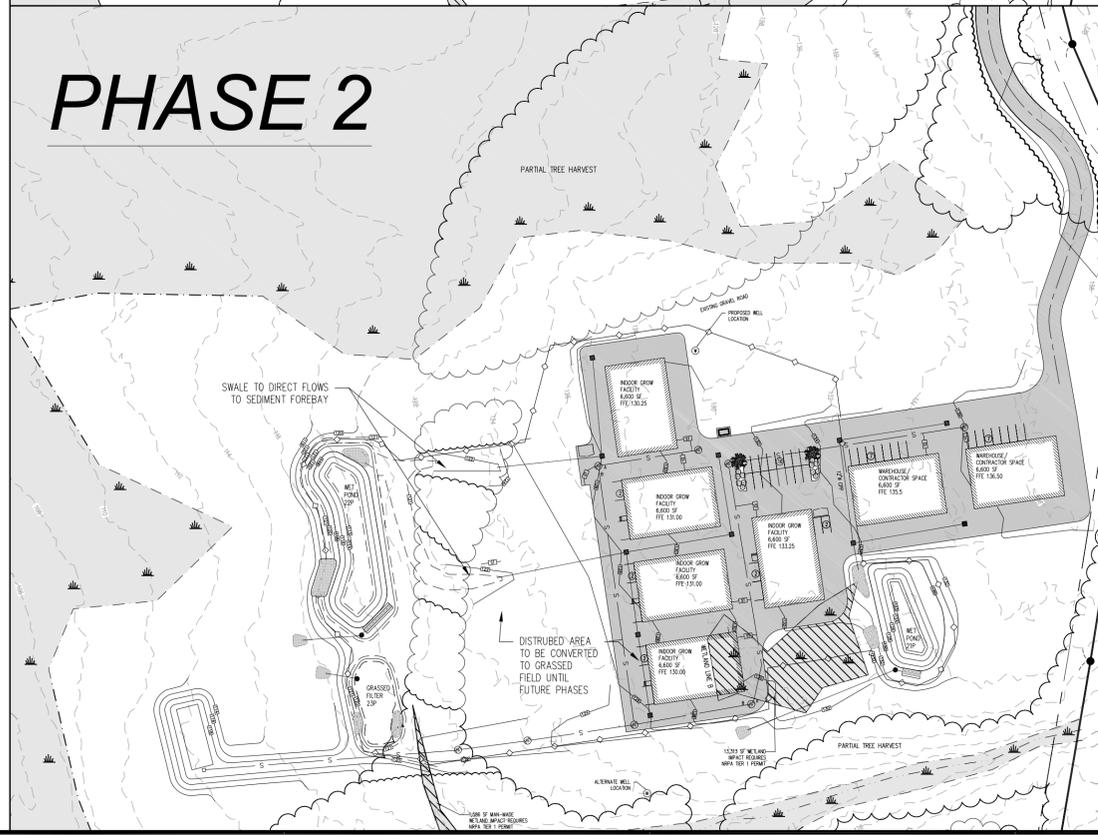
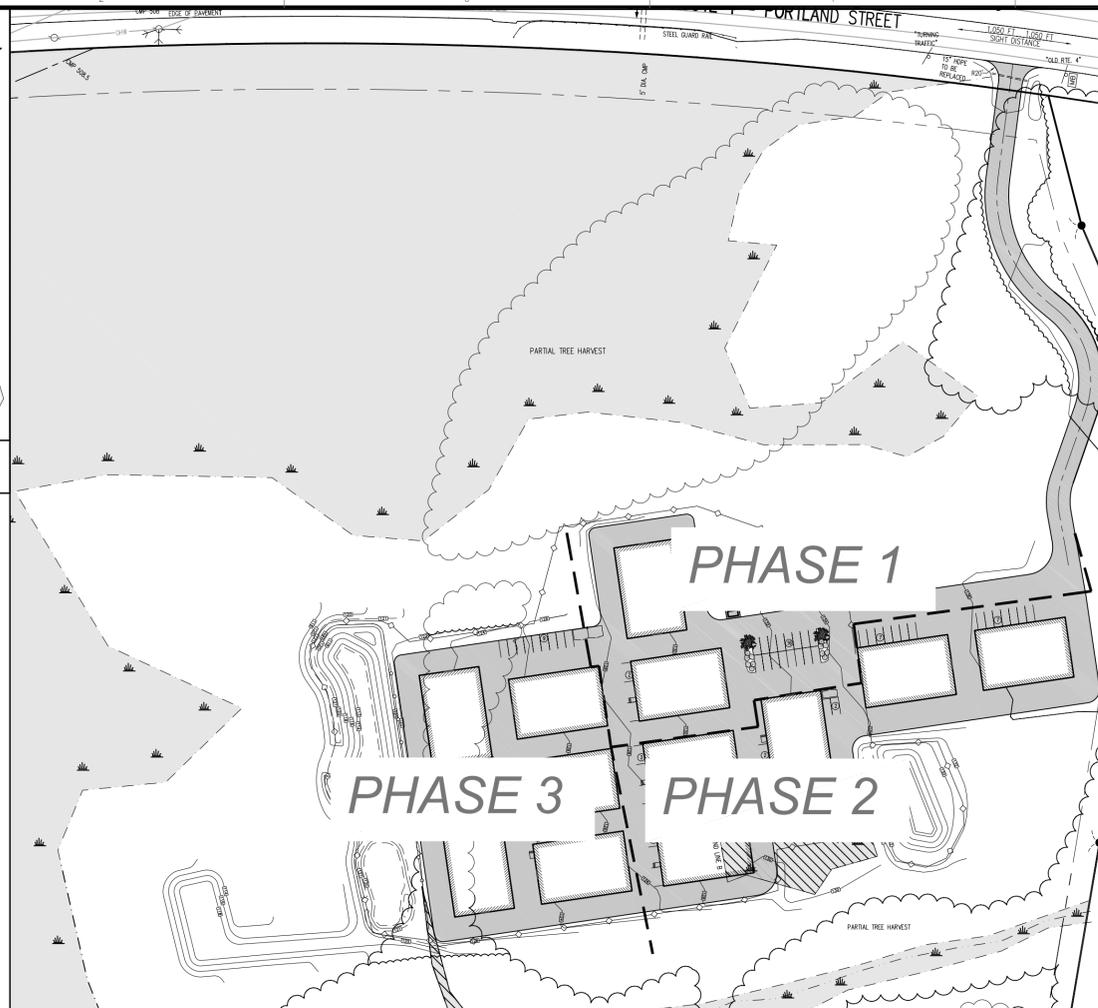
NOTES:

1. THIS PLAN HAS BEEN PREPARED TO INDICATE THE PROPOSED PHASING OF THE DEVELOPMENT. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT. REFER TO THE PROJECT DRAWINGS FOR SPECIFIC INFORMATION AND DETAILS NOT INDICATED ON THIS PLAN.
2. THE CONCEPTUAL TIMING OF THE PHASED CONSTRUCTION IS AS FOLLOWS:

A. PHASE 1 EROSION CONTROL	OCT 2020
B. PHASE 1 ACCESS DRIVE	OCT 2020
C. PHASE 1 SITE WORK /BMP'S	OCT 2020 - MARCH 2021
D. PHASE 1 BUILDINGS	MAY 2021
E. PHASE 1 PAVES	JULY 2021
F. PHASE 2 UTILITIES	MARCH 2022
G. PHASE 2 BUILDINGS	MAY 2022
H. PHASE 2 PAVES	SEPT 2022
I. PHASE 3 UTILITIES	MARCH 2023
J. PHASE 3 BUILDINGS	APRIL 2023
K. PHASE 3 PAVES	AUG 2023
- L. THE STORMWATER MANAGEMENT BMP'S ARE TO BE CONSTRUCTED DURING THE FIRST PHASE OF DEVELOPMENT. SUBSEQUENT PHASES SHALL BE CONSTRUCTED IN A MANNER THAT PROTECTS THE BMP'S FROM RECEIVING SEDIMENT LADEN RUNOFF. THE BMP'S SHALL BE INSPECTED OFTEN AND REPAIRS MADE AS NECESSARY PER THE "STORMWATER MAINTENANCE AND INSPECTION PLAN" ON FILE WITH THE MAINE DEP.
- M. PARTIAL DEVELOPMENT OF FUTURE PHASES IS ACCEPTABLE, PROVIDED THAT ALL AREAS WILL RECEIVE TREATMENT AS INDICATED IN THE STORMWATER MANAGEMENT PLAN APPROVED BY THE MAINE DEP.

LEGEND:

- TP 2 TEST PIT
- GW WIRE
- UTILITY POLE
- FOUND IRON PIPE
- FOUND GRANITE BOUND
- SET IRON REBAR
- FOUND IRON ROD
- Y.C.R.D. YORK COUNTY REGISTRY OF DEEDS
- 330/200 DEED BOOK/PAGE
- BENCH MARK
- 15" HOSE HIGH DENSITY POLYETHYLENE
- DA DIAMETER
- 48" CMP CORRUGATED METAL PIPE
- 15/0/0 UTILITY POLE IDENTIFIER
- (RECORD-247.5) RECORD DISTANCE
- REF. REFERENCE
- 63477.45 HIGHWAY PLAN STATION
- N. 1388185 FT. STATE PLANE COORDINATES
- E. 2706704 FT.
- OVERHEAD WIRES
- LOCUS BOUNDARY LINE
- BOUNDARY OF ADJUTING PARCEL
- ANCIENT BOUNDARY LINE
- MAINE DOT EASEMENT LINE
- POWER COMPANY EASEMENT LINE
- ST SEPTIC TANK
- HT HOLDING TANK
- PROPOSED WATER
- S PROPOSED SEWER
- UGR PROPOSED UNDERGROUND ELECTRIC
- PROPOSED SECURITY FENCE
- SILT FENCE/FILTER BEAM



PREPARED FOR PRESENTATION ONLY, NOT FOR CONSTRUCTION
4/24/2020

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Maine
03908
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NO.	REVISIONS	INT.	DATE
1			

RECORD OWNER:
3G'S REALTY, LLC
OWNER ADDRESS:
309 OLD COLONY AVENUE,
SOUTH BOSTON, MA 02127

PROPOSED SITE DEVELOPMENT
LAND OF 3G'S REALTY LLC - MAP R72/ LOT 17
ROUTE 4 (PORTLAND STREET)
BERWICK, YORK COUNTY, MAINE

1"=100'
0' 100'

DATE: 04/09/2020
DRAWN BY: NJR
CHECKED BY:
APPROVED BY:

PHASING PLAN

PROJECT NO: 19-352.00

PH1

SHEET: 1 OF 1

6.4 Village Overlay District – **Hybrid** Form-Based Code District

The purpose of **the Hybrid** Form-Based Code is to:

- Allow for a diversity of appropriate and compatible uses within a zoning district
- Provide a more concise process for design, review and approval of structures.
- Deliver a development outcome that is more consistent with a traditional pedestrian oriented street development pattern

Berwick’s Form-Based Code zoning district is the Village Overlay District which overlays portions of the R1, SC/I and C/I Zoning Districts.

FIGURE 1. — Map of Village Overlay District— See the Town of Berwick’s Zoning Map at berwickmaine.org/maps as the map may be amended from time to time.

6.4.1 General: Purpose and Intent

- A. The Village Overlay District is intended to promote the development of the former tannery site, which is bounded by Sullivan Street, Wilson Street and School Street. The establishment of the Village Overlay District is consistent with the vision presented in the Comprehensive Plan which includes the Berwick Downtown Vision Report and Implementation Plan.
- B. The Village Overlay District will utilize the former tannery site, transforming it into a new village center that repurposes older buildings and allows for new buildings that will offer economic and commercial opportunities while also recognizing the Town’s industrial past. The reuse of the industrial buildings along with new buildings, a new street, and new public and private spaces will become the foundation of a thriving downtown.
- C. The Form-Based Code establishes standards for use and design of new and existing buildings, including size, height and required features as well as criteria related to roads, sidewalks, parking areas and open space.

6.4.2 Village Overlay District

- A. Objectives
 1. The Village Overlay District will improve and expand Berwick’s downtown and provide connections to the open spaces and adjacent residential neighborhoods.
 2. The Village Overlay District will allow for repurposing of existing former industrial buildings for commercial and residential uses, thereby allowing for a core downtown area of higher density, mixed use, buildings including low-impact industry, offices, retail and other commercial businesses and multifamily housing.

3. Continuous open space (known as a greenway) will run through the former tannery site connecting the recreational river area and the downtown neighborhoods to the community open space near the former Estabrook School.
4. The Village Overlay District will have a tight network of streets, including a new main street, with wide sidewalks, street trees and buildings set close to the street or with frontage on pleasing outdoor public spaces. A greenway connects public open spaces and the downtown to adjacent neighborhoods.
5. A wide range of residential buildings; including single-family, two-family, town houses or row houses and apartment houses will be allowed in the district.

6.4.2.1 Design Standards

A. Key Design Features of the Village Overlay District:

- 3 to 4 story mixed use buildings on Main Street with front façade detailing
- Active interaction between public and private spaces
- Increased density
- Increased availability of on-street parking
- Wide sidewalks
- Street trees
- Small off-street parking areas
- Public commons, outdoor spaces for restaurants and open space for civic activities
- Well defined corner buildings at the Main Street intersections with Wilson and Sullivan Streets.
- Greenway connectivity between the downtown, the river and surrounding neighborhoods
- Underground power and utilities

6.4.2.2 Main Street Design Standards

*Refer to Figure 2 and Figure 3

The new street to be designated Main Street shall run east to west through the former tannery site, connecting to School Street at its eastern end and to Sullivan Street, ~~approximately opposite of Eleanor's Street,~~ at its western end.

Minimum Right-of-Way Width	60 feet
Curb face to curb face	40 feet
Minimum Traveled Way Width	24 feet total paved driving lanes (12-feet for each direction) Refer to Figures 2 and 3
Parking Lanes	Parallel, 8 feet wide, paved, total length of street except for pedestrian crossings and intersections
Minimum Sidewalk Width	8 feet
Minimum Grade	.5%
Minimum Angle of Street Intersections with School and Sullivan Streets	90 degrees
Pedestrian crossing	<ul style="list-style-type: none"> • Raised where feasible: approximately same height as the curb • Use pavers or material different in color and texture than the travel lanes but must be ADA-friendly. • Provide bump outs at pedestrian crossings to shorten length of travel from sidewalk to sidewalk. • Granite curbing
Landscaping	Provide street trees every 25 feet on center in tree grates or as necessary to allow for ample growth
Street Lighting	Lighting fixture types to be similar along Main Street, School Street and Sullivan Street See Figure 6.4.2.4 Street Lighting
Access	To minimize curb-cuts, access to parking areas and driveways servicing buildings both new and existing, shall be shared.
Utilities	All utilities, including power, shall be installed underground.

FIGURE 2.- MAIN STREET SECTION A- without planting strip along road

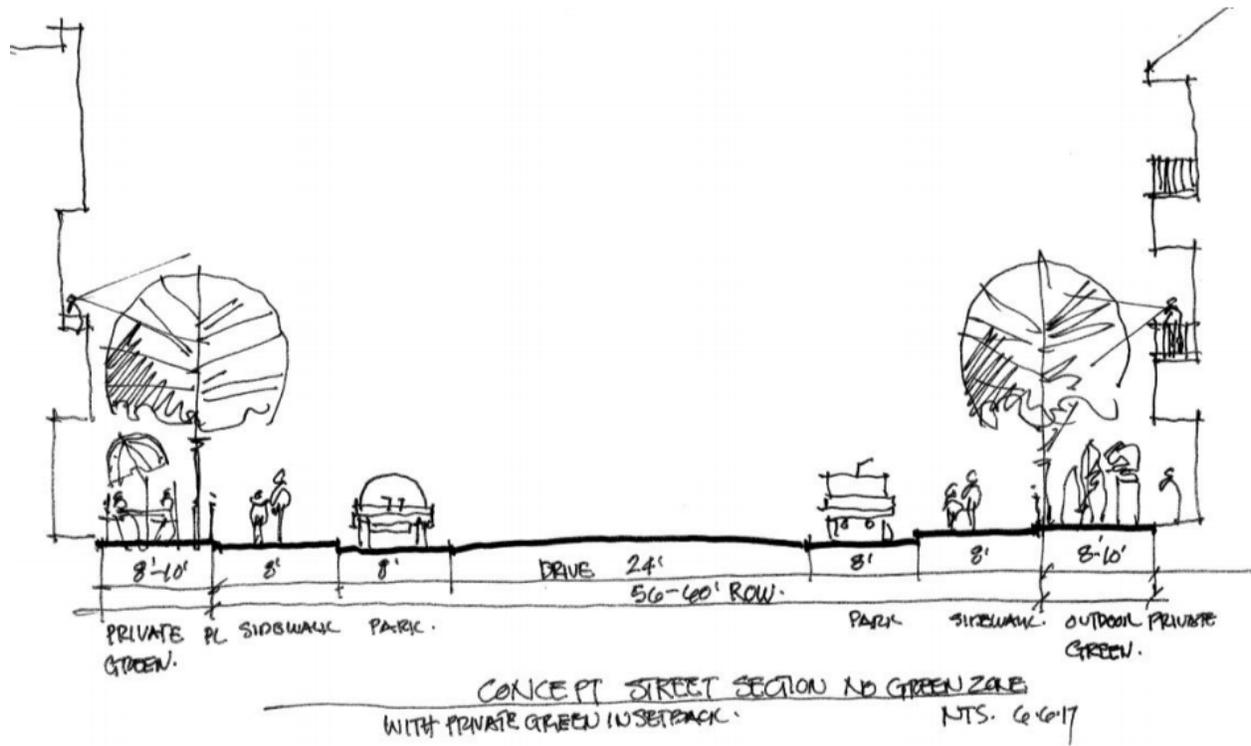
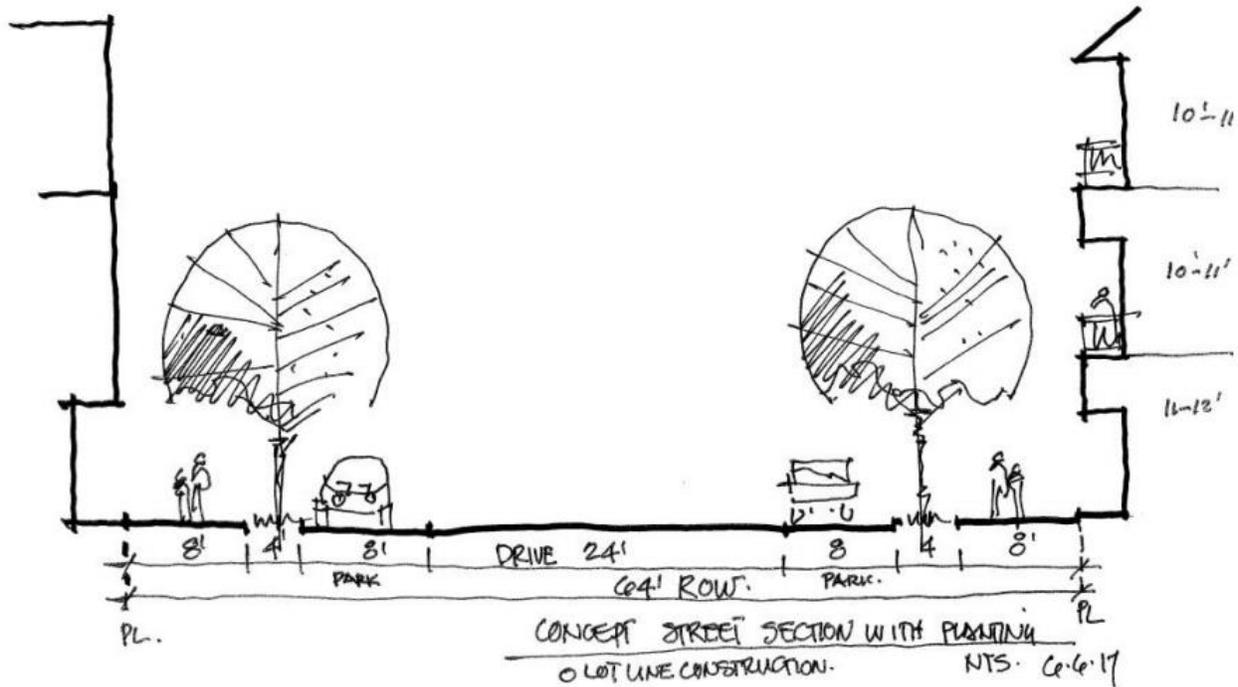


FIGURE 3. MAIN STREET SECTION B- with planting strip along road



6.4.2.3 **Access** Additional Streets

As redevelopment occurs within the former tannery site, portions of Sullivan Street, Wilson Street and School Street that abut the former tannery site shall be subject to new development and design standards. As parcels that abut the above-mentioned streets and others within the district are redeveloped, the following design standards shall apply

<u>Minimum Sidewalk Width</u>	<u>6 feet</u>
<u>Pedestrian crossings</u>	<ul style="list-style-type: none"> • Use materials different in color and texture than the travel lanes but must be ADA-friendly. • Granite curbing
<u>Access</u>	To minimize curb-cuts, access to parking areas and driveways servicing buildings both new and existing, shall be shared.
<u>Landscaping</u>	Provide street trees every 25 feet on center in tree grates or as necessary to allow for ample growth
<u>Street Lighting</u>	Lighting fixture types to be similar along Main Street, School Street and Sullivan Street See Figure 6.4.2.4 Street Lighting
<u>Utilities</u>	Utilities, including power, shall be located underground.

6.4.2.4 Street Lighting

All new street lighting added along Main Street, Sullivan Street, Wilson Street and School Street shall be in a style similar to Figure 4 below. Street lighting along Main Street must also include accessory arms for hanging banners and decorations.

FIGURE 4. - CONCEPT SITE LIGHTING-

Lighting Type	
 <p>Gooseneck</p>	Gooseneck Street Lamp LED Black post with candy cane arm *Approved light fixture for Main Street
	All other site and exterior building lighting are subject to Planning Board approval.
	All exterior lights shall have full cut off/fully shielded luminaries approved by the International Dark-Sky Association.

6.4.2.5 Open Space

- A. Redevelopment of the former tannery site requires 25% of the total site (comprised of the area bounded by Wilson Street, Sullivan Street, Saw Mill Hill and School Streets, excluding the area between Back Street, Sullivan Street and Saw Mill Hill) to be open space. This open space will be a combination of larger spaces suitable for public/civic events, greenways and smaller more intimate spaces. Refer to Section 6.4.4 Open Space/Greenways.

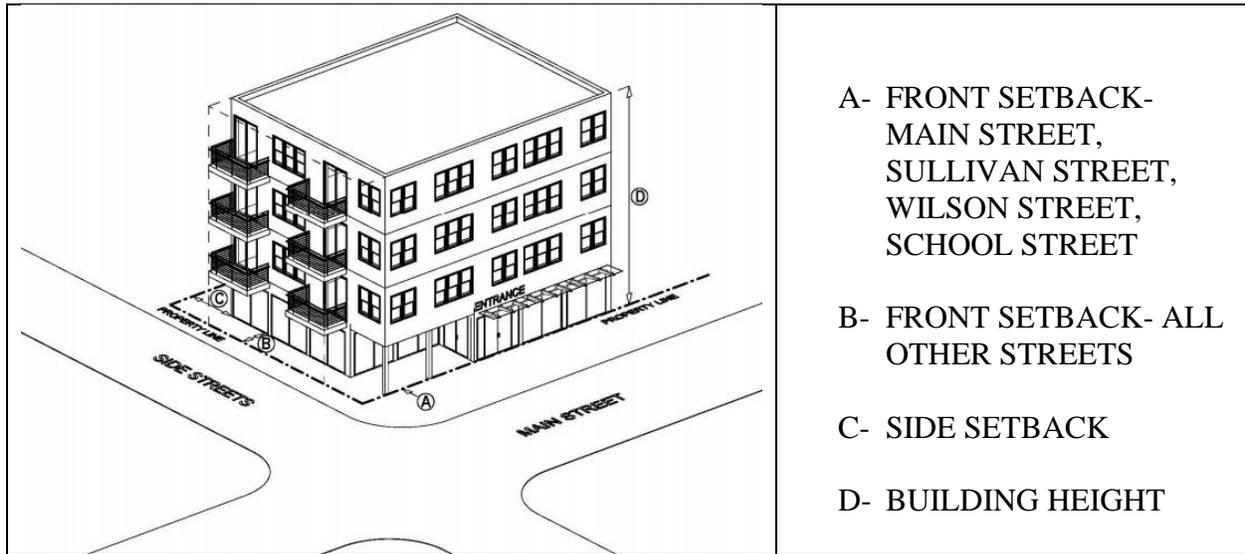
6.4.2.6 Building Standards and Features

- A. ~~New buildings shall be oriented to the street on which they have frontage, with large windows, covered entries, easy pedestrian access, and little to no setback from the street for business/commercial uses.~~ Buildings with first floor residential units shall be set back with small yards and/or porches and primary entrances facing the street. While not required, garages are encouraged for residential structures but shall be located in back of or to the side of the buildings.
- B. Building designs and construction shall meet all current energy codes and strive for near net zero. See Section 6.4.6 Energy and Sustainability.
- C. Best practices for storm water management and low-impact design are required. See Section 6.4.7 Storm water.
- D. Building materials, including siding and trim, shall be reviewed and approved by the Planning Board and shall be found consistent with the Design Guidelines as adopted by the Town.
- E. Residential uses on the first floor of a building shall be allowed in nonconforming structures in existence prior to May 12, 2015. However, first floor residential uses of nonconforming structures shall not be allowed if the building's footprint is expanded by 10% or more.
- F. All first-floor residential uses in new buildings with frontage on the new main street shall be reviewed by the Planning Board as a conditional use; and be Consistent with the terms of the Comprehensive Plan, which includes the Berwick Downtown Vision Report and Implementation Plan.
- G. **New residential construction shall** not exceed a 4:1 ratio of residential to non-residential use measured by constructed floor space. This statistic is tracked by the Planning Department and updated as new permits are issued. This ratio pertains to the 7.7-acre parcel formerly known as Prime Tanning and structures contained with frontage on Wilson Street, School Street, and Sullivan Street.

6.4.3 Dimensional Requirements

The following Figures and Tables set forth the dimensional requirements and design standards for structures, parking and external elements within the Village Overlay District.

Figure 5: VILLAGE OVERLAY DISTRICT BUILDING PLACEMENT



- A- FRONT SETBACK- MAIN STREET, SULLIVAN STREET, WILSON STREET, SCHOOL STREET
- B- FRONT SETBACK- ALL OTHER STREETS
- C- SIDE SETBACK
- D- BUILDING HEIGHT

BUILDING PLACEMENT (PRINCIPAL BUILDING)		
Front Setback: Main Street, Sullivan Street, Wilson Street and School Street	0 feet to 5 feet setback for non-residential uses except for restaurants which propose outdoor dining which shall have a front setback of between 10 and 15 feet. 5 feet to 15 feet setback for residential uses depending on whether porches or front yards or both are proposed. Buildings with frontage on School Street or Access Streets may be set back as needed to accommodate a drive through.	A
Front Setback: All other streets	Equal to the average setback for existing buildings within the same block.	B
Front Setback, Secondary Street: (Corner Lot)	0 feet to 10 feet setback for non-residential uses except for restaurants which propose outdoor dining which shall have a setback between 10 and 15 feet. 5 to 10 feet for residential uses	B
Side Setback:	0 to 5 feet (2)	C
Rear Setback:	10 feet minimum (2)	
Frontage Build out:	75% minimum at front setback	

Notes:

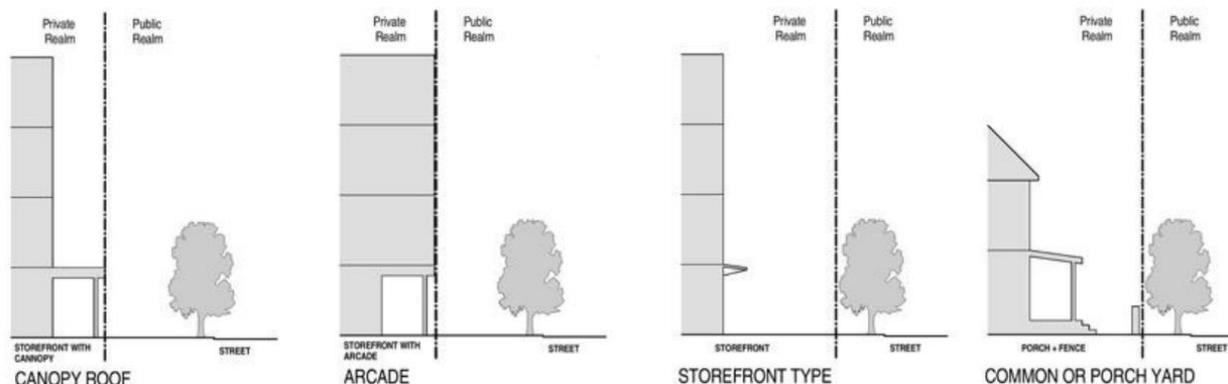
- (1) Building height shall not exceed immediately adjacent existing residential buildings by more than one story unless the existing building will be separated from the proposed building by more than 50 feet.
- (2) When a building is constructed adjacent to an existing single-family residence, the applicable side or rear setbacks shall not be less than 10 feet.

LOT OCCUPATION		
Maximum lot coverage	95%	
Lot Width	18 feet minimum, 150 feet maximum	

BUILDING FORM (PRINCIPAL BUILDING)		
Maximum building footprint	15,000 square feet	
Building Height:	2 story minimum, maximum of 4 stories/45 feet excluding unlivable attic space or as approved by Berwick Fire Department (see Note (1) above)	D
Entries	Primary entry door is encouraged along ground story facade facing the street on which the building has frontage.	
Façade Windows	20%-70% - first floor commercial uses must have 70% except for professional offices or financial or insurance services offices	
Front Façade Wall	Blank lengths of wall exceeding 12 linear feet are prohibited.	
Roof type	Gable, hip, flat	

BUILDING PLACEMENT (ACCESSORY)	
Front setback:	Principal building setback + 20 feet at minimum
Side setback:	0 feet minimum
Rear setback:	5 feet minimum

FIGURE 6: BUILDING SECTION- FRONTAGE TYPES



EXTERNAL ELEMENTS	
Fencing (residential):	A front yard fence, a minimum of 2 feet and a maximum of 4 feet in height is encouraged to maintain spatial edge of street. No chain link, vinyl, split rail, wire, or barbed wire is allowed.
Access:	A vehicle entry way to a parking or loading area shall be a maximum width of 18 feet. Pedestrian access from parking areas, garages or parking structures shall exit directly to a frontage line except for underground parking accommodations.
Building Projections:	No part of any building, except overhanging eaves, awnings, balconies, bay windows, and other architectural features shall encroach beyond the minimum front setback line.
Landscaping:	Landscaping is encouraged but shall not be an impediment on streets, sidewalks or travel ways. Street trees are encouraged. See Section 6.4.5

PARKING	
Residential	Vehicle parking areas shall be located only on driveways, in garages or designated parking areas and shall not extend into the street right of way or sidewalk. Residential parking areas and/or garages shall be located to the rear of the building whenever possible or to the side if rear location isn't achievable. Screening and/or fencing is required for parking areas

	along a street. Parking areas larger than 10 spaces require additional landscaping. See Section 6.4.3
Commercial	No on-site or off-street parking (see Section 6.4.3.2 below) is required for certain commercial uses, see Section 6.4.3. However, if on-site or offstreet parking is required or is to be provided, such parking shall be located to rear of the property to the greatest extent possible. Parking to the side is limited to no more than 40% of the lot width. Screening and/or fencing is required for parking areas along a street. Parking areas larger than 10 spaces require additional landscaping. See Section 6.4.3.
Low-Impact Industrial	Parking shall be located to rear of the property to the greatest extent possible. Parking to the side is limited to no more than 40% of the lot width. Screening and/or fencing is required for parking areas along a street. Parking areas larger than 10 spaces require additional landscaping. See Section 6.4.3.

6.4.4 Parking

Article 7.7 for parking requirements shall apply except as noted below.

6.4.4.1 Parking Waivers

The Planning Board may waive or adjust all requirements for parking within the Village Overlay District when it is not possible or in the best interest of the Town to meet the requirements.

6.4.4.2 Definitions

For the purposes of the Village Overlay District, the following definitions apply:

Off-street parking means parking located in a parking area or lot which is shared with other buildings and is not located on the lot for which the use is proposed

On-site parking means parking provided on the same lot as the building for which the proposed use is located.

On-street parking means parking along either a proposed or existing street.

6.4.4.3 General Parking Standards for Commercial, Office, Mixed-Use or Multi-family Structures in the Village Overlay District

- ~~A. On street parking along the new main street shall be parallel parking only.~~
- ~~B. All off street or on site surface parking areas shall be located to the rear of the building. If this is not possible, as determined by the Planning Board, the parking area shall be to the side of the building.~~
- ~~C. No off street or on site surface parking area may contain greater than 30 parking spaces.~~
- D. All off-street and on-site surface parking areas which are not located behind a building or are located along a street must be screened from the street (see Section 6.4.6 Landscaping).
- E. Any off-street or on-site parking area which contains greater than 10 spaces is required to have additional landscaping (see Section 6.4.5 Landscaping)
- F. Shared parking is encouraged. A plan describing how shared parking would work is required as part of application that proposes such parking.

6.4.4.4 Parking Standards for Certain Uses

- A. Retail uses located on the first floors of mixed-use buildings are not required to have on-site parking. If on-site parking is proposed for a retail use, the standards in 6.4 shall apply.
- B. Restaurants are not required to have on-site parking if they will seat 40 or fewer people. If on-site parking is proposed for such a restaurant use, the standards in 6.4 shall apply.

6.4.5 Open Space/Greenways

A. Objectives

The Village Overlay District shall include open spaces both public and private. Open space means landscaped green areas designed for a purpose such as civic gatherings, outdoor performances, playgrounds, or sitting. These open spaces may or may not also contain hardscaped or paved walkways, seating areas, performing areas or sidewalks. Open space which may include a walkway and primarily exists to connect from one place to another is a greenway. A continuous greenway shall connect the former tannery site to the Salmon Falls River to the south and to the open space adjacent to the former Estabrook School to the north. Such greenway may connect along the way to other open space.

Redevelopment of the former tannery site within the Village Overlay District requires 25% of the total site (comprised of the area bounded by Wilson Street, Sullivan Street, Saw Mill Hill and School Streets, excluding the area between Back Street, Sullivan Street and Saw Mill Hill) to be open space.

Developers shall coordinate with the Town on locations of open space, greenways and connections to adjacent community spaces, seating areas, residential housing and playgrounds.

B. Key Design Features

1. Sustainably landscaped, using drought-tolerant and when possible, native plantings
2. Shade trees
3. Benches
4. Continuous greenway through former tannery site
5. Green infrastructure and best practices storm water management, such as rain gardens to manage and filter storm water
6. Places to sit, play and gather for all ages
7. Public art

6.4.5.1 Design Standards

- A. Greenways or paved/hardscaped walkways must be a minimum of 8 feet wide.
- B. The required continuous greenway shall connect the public park at the intersection of Saw Mill Hill and School Streets to the Town owned land on Wilson Street adjacent to the former Estabrook School.
- C. Open space shall comprise 25% of the former tannery site comprised of the area bounded by Wilson Street, Sullivan Street, Saw Mill Hill and School Streets, excluding the area between Back Street, Sullivan Street and Saw Mill Hill.
- D. All open space which includes seating shall have either trees or shrubs to provide shade and/or a sense of enclosure.
- E. Shade trees shall be installed along greenways whenever feasible, as determined by the Planning Board.
- F. Greenways and open space shall be included on site plans and landscape plans submitted for consideration by the Planning Board.

6.4.6 Landscaping

A. Objectives

This section consists of landscaping and screening standards for use throughout the Village Overlay District. The Town of Berwick recognizes the aesthetic, ecological, and economic value of landscaping and requires its use to:

- Promote the reestablishment of vegetation in more densely settled areas for aesthetic, health, and urban wildlife reasons;
- Reduce storm water runoff pollution, temperature, and rate and volume of flow;
- Promote compatibility between land uses by reducing the visual, noise, and lighting impacts of specific development on users of the site and abutting uses;
- Unify development, and enhance and define public and private spaces;

- Promote the retention and use of existing non-invasive vegetation;
- Aid in energy conservation by providing shade from the sun and shelter from the wind.

B. Key Design Features

- Diversity of street trees
- Shade trees within the open spaces and along the continuous greenway
- Purpose-driven landscaped open spaces
- Landscaped parking areas
- Fencing • Hardscaped or paved walkways

6.4.6.1 Design Standards

Landscape plans shall be submitted for all projects for the Planning Board's review and approval.

A. Screening for Parking Lots

All parking lots not located behind a building or located along a street shall be screened as follows:

1. By trees and/or shrubs at least six feet tall, composed of at least 50% evergreen plantings, in numbers as determined by the Planning Board or;
2. By a fence between five and six feet tall, constructed of a material matching the finishes of surrounding buildings or;
3. By a combination of a fence four feet tall, constructed of a material matching the finishes of surrounding buildings, and deciduous trees and shrubs

B. Screening for Service and Loading Areas

1. All service areas for dumpsters, compressors, generators and similar items shall be screened as follows:
 - a. By a fence six feet tall, constructed of a material matching the finishes of surrounding buildings, surrounding the service area except for the necessary ingress/egress.
2. All areas to be used for loading that are not located within a parking area or that are not located behind a building shall be screened as follows:
 - a. By a fence six feet tall, constructed of a material matching the finishes of surrounding buildings, screening it from the street.

C. Landscaping for Parking Lots

All parking lots with more than ten parking spaces must:

1. Plant shade trees within planting strips at least four feet wide around the perimeters of the parking area at 15-20 foot intervals or

2. Provide a four foot wide interior planting strip within the parking area and plant shade trees at 15-20 foot intervals.
3. Shade trees shall have at minimum 1.5 inch caliper as measured six inches from the ground

D. Street Trees

1. Street trees shall be of a diversity of deciduous species to avoid decimation in the event of a disease or a pest and shall be non-fruit bearing
2. Street tree species shall be native when possible but shall be tolerant of salt and drought. Tree gators are required for the first several years after a tree is installed.
3. Street tree species chosen shall not be known for weak branching structure or a propensity for shallow roots that may cause sidewalk/walkway heaving.
4. Street trees shall have at minimum two inches caliper as measured six inches from the ground.

E. Types of Plantings (Trees, Shrubs, Perennials, Ornamental Grasses)

1. Native plants are preferred
2. Invasive species as defined by the State of Maine are prohibited
3. Herbaceous perennials and ornamental grasses are encouraged
4. Low maintenance, drought-tolerant plants are encouraged

F. Installation and Maintenance

1. All planting beds and strips shall be mulched either with compost or with a natural-colored bark mulch. No dyed mulches such as orange or red are permitted.
2. All trees shall have tree gators installed to provide moisture during their first years of being planted.
3. Any tree, including a street tree, shrub or plantings that are part of a plan, reviewed and approved by the Planning Board which does not survive for one full year after installation shall be replaced by the applicant at the applicant's cost.
4. Even if drought-tolerant, all plantings will require water at least occasionally the first year or two after planting in order to survive.
5. While plantings should be drought-tolerant, drip irrigation may be used if regulated by a timer and conditions. Irrigation may not be run indiscriminately.

6.4.7 Energy and Sustainability

- A. Site design and building placement shall be attentive to the surrounding environment including sun, wind and shade patterns related to existing buildings.

- B. Buildings must be built to meet IEEEC2015 standards. Building designs and construction shall meet all current energy codes. Energy efficiency with a goal of near net zero is strongly encouraged.
- C. Use of solar power, geothermal, and other alternative and sustainable power sources are encouraged.

6.4.8 Storm water

- A. All applications in the Village Overlay District shall be required to comply with the Town of Berwick's storm water regulations as found in Berwick's Zoning Ordinance.
- B. Green roofs, rain gardens, bioretention cells and other such low impact development is both strongly encouraged and preferred.

6.4.9 Application and Process

6.4.9.1 Application

- A. All applications must include:
 - 1. Village Overlay District application form.
 - 2. Site plans which meet the requirements of Article 9.8 and in addition must show:
 - a. All greenways, open space and sidewalks, both proposed and existing
 - b. The footprint of all existing abutting buildings
 - c. All existing or proposed utilities
 - d. All on-site parking, loading and service areas
 - 3. Building elevation drawings showing all four sides of the building including details such as windows, doors, trim, etc.
 - 4. A materials list to include the type of siding, roofing and trim.
 - 5. Landscape plan as a separate plan if a parking area and/or open space area, either public or private is proposed. Such plan shall include a planting list and hardscaping and/or fencing details.
 - 6. A storm water management plan prepared in accordance with Article 7.17 if required.
- B. The Planning Board may request additional plans or reports as they deem necessary at any time during the approval process.

6.4.9.2 Process

A. Prior to submitting the application, the Applicant shall meet with the Code Enforcement Officer and the Town Planner/Planning Consultant to discuss the application.

B. The process as described in Article 9.8 Conditional Use Permits and Site Plan Review shall be followed unless otherwise noted.

C. The Planning Board may, at the Applicant's expense, hire an engineer, consultant or other professional to review the plans. The Applicant shall be given an estimate of the cost of such services and shall submit that sum to the Town before being placed on the agenda for further discussion with the Planning Board. Any funds remaining after the Town has paid the review bill in full shall be remitted to the Applicant. If the Planning Board requires additional review or the funds are not sufficient to complete the review, the Applicant shall submit the necessary funds before being placed on the Planning Board agenda. No building permit may be issued until all review costs have been submitted in full by the Applicant to the Town.

6.4.9.3 Waivers

A. Submission Requirements.

1. The Planning Board may waive a submission requirement when it is shown by the Applicant that the circumstances of the site proposed for development are such that the requirements would not be applicable or would be an unnecessary burden upon the applicant and that such modification or waiver would not adversely affect abutting landowners or the general health, safety and welfare of the Town and where the waiver would not have the effect of nullifying the intent and purpose of the official zoning map, any ordinance, or the Comprehensive Plan.

2. The Applicant shall submit a written request and the reason for the waiver at the time of application submission.

3. The Board shall consider and accept or reject each waiver request separately. Each approved waiver request and the special circumstances which the Board considered before granting the waiver shall be included in written Findings of Fact.

B. Dimensional Requirements

1. Any request for variance of any dimensional requirements under this Ordinance shall be subject to the requirements for applications for variance under the Town's Zoning Ordinance and as required by 30-A M.R.S. § 4353(4) or any successor statute and shall be decided by the Town's Zoning Board of Appeals.

Personal Sawmill: A machine for sawing logs into lumber able to be moved from lot to lot, similar to a trailer, not to exceed 30 **50** horsepower.

Sawmill: A mill or machine for sawing logs into lumber, may be located in a structure and used as a commercial operation, or is greater than 30 **50** horsepower.

8.25.3. Location: Marijuana Establishments are allowed in the **RC/I &** R3 Zone only on properties which have frontage on Route 9 or 4

8.25.8 Permits

A. The number of Conditional Use permits granted for in each zone as of June 9, 2020 shall be the limit of permits granted in each zone. The number of Conditional Use permits in each zone shall be tracked and monitored by the Town of Berwick Community Development & Planning Office. This provision shall be reviewed by the Berwick Planning Board and amended as needed on an annual basis.

B. Marijuana Testing Facilities are exempt from the limit.