



PLANNING BOARD MEETING AGENDA

Thursday January 2, 2020
Town Hall Meeting Room
6:30 p.m.

Call to Order

Pledge of Allegiance

Introduction of Board Members

Public Comment

Approval of Minutes

1. December 19, 2019

Old Business

2. Preliminary Plan. Major Subdivision. 100 Old Pine Hill Road (R44-20) R1 & R2 Zone. NC Berwick LLC.

New Business

3. Conditional Use Application. Adult Use Marijuana Storefront. 513 Portland Street (R72-5) RC/I Zone. Tricann Alternatives.
4. Land Use Ordinance Amendments
5. Village Overlay & C/I District Expansion Request. 20 Rochester Street (U4-87). Dana Cotton.

Public Comment

Informational Items

Adjournment



PLANNING BOARD MEETING MINUTES

Thursday December 19, 2019

Town Hall Meeting Room

6:30 p.m.

Call to Order

Pledge of Allegiance

Introduction of Board Members

Regular Members Present:

Frank Underwood; Sean Winston; Nichole Fecteau; Michael LaRue

Regular Member Absent:

Dave Andreesen

Alternate Member Present:

David Ross-Lyons (Voting member)

Staff Members Present:

James Bellissimo, Planner; Jenifer McCabe, Code Enforcement Officer

Public Comment

Approval of Minutes

1. November 21, 2019

Motion: Frank Underwood motioned to approve the minutes as presented.

Second: Sean Winston

VOTED – 4-0-1 in favor

Motion Passed

In favor: Nichole Fecteau; Sean Winston; Frank Underwood; David Ross-Lyons

Opposed: None

Abstain: Michael LaRue

Public Hearing

2. Conditional Use Application. Medical Marijuana Storefront. 2 Bow Street (U4-49) SC/I Zone. Williams Greenery, LLC.

Donald Young of Bridge Street introduced himself. Mr. Young said the forum is not conducive to a robust conversation with debate. Mr. Young said the concerns of the community should be top on their mind. Mr. Young asked which entrance is going to be utilized for the business.

Old Business

2. Conditional Use Application. Medical Marijuana Storefront. 2 Bow Street (U4-49) SC/I Zone. Williams Greenery, LLC.

William Stilphen, owner of Williams Greenery, said he provided the signage and lighting plan as requested by the Board. Mr. Stilphen said the entrance will be Rochester Street. Mr. Stilphen said he opted for a more expensive security system so it covers everything.

Nichole Fecteau added a Condition of Approval that the security plan letter shall be submitted to the Planning Office before a Certificate of Occupancy is granted.

David Ross-Lyons asked about handicap access. Mr. Stilphen said there are railings on both sides of the stairs.

Motion: Frank Underwood motioned to Findings of Fact.

Second: David Ross-Lyons

VOTED – 5-0 in favor

Motion Passed

In favor: Nichole Fecteau; Sean Winston; Frank Underwood; David Ross-Lyons; Michael LaRue

Opposed: None

Abstain: None

Motion: Sean Winston motioned to approve the Conditions of Approval.

Second: Michael LaRue

VOTED – 5-0 in favor

Motion Passed

In favor: Nichole Fecteau; Sean Winston; Frank Underwood; David Ross-Lyons; Michael LaRue

Opposed: None

Abstain: None

Motion: Frank Underwood motioned to approve the application.

Second: David Ross-Lyons

VOTED – 5-0 in favor

Motion Passed

In favor: Nichole Fecteau; Sean Winston; Frank Underwood; David Ross-Lyons; Michael LaRue

Opposed: None

Abstain: None

New Business

Public Comment

Informational Items

Land Use Ordinance amendments will be considered throughout January and the beginning of February.

Great Falls Construction's two listening sessions are on Berwick Community Television's YouTube page. There are three more community sessions planned with the community in February, April and June.

Adjournment

Motion: David Ross-Lyons

Second: Sean Winston

VOTED – 5-0 in favor

Motion Passed

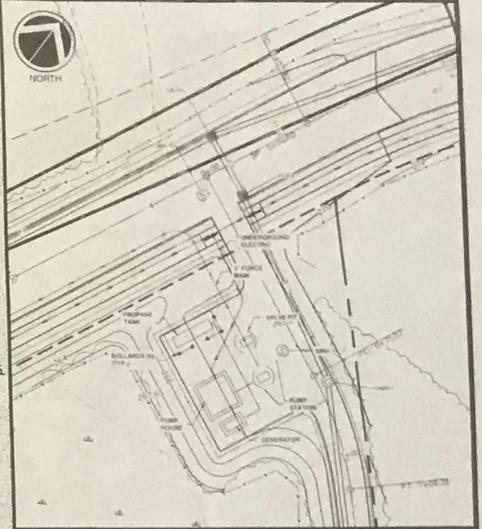
In favor: Nichole Fecteau; Sean Winston; Michael LaRue; David Ross-Lyons; Frank Underwood

Opposed: None

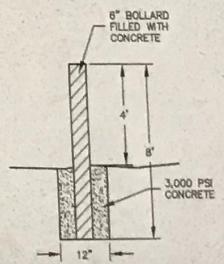
Abstain: None

Minutes prepared by Berwick Planner James Bellissimo, for consideration at the next Berwick Planning Board meeting.

Signed as Approved by the Board:



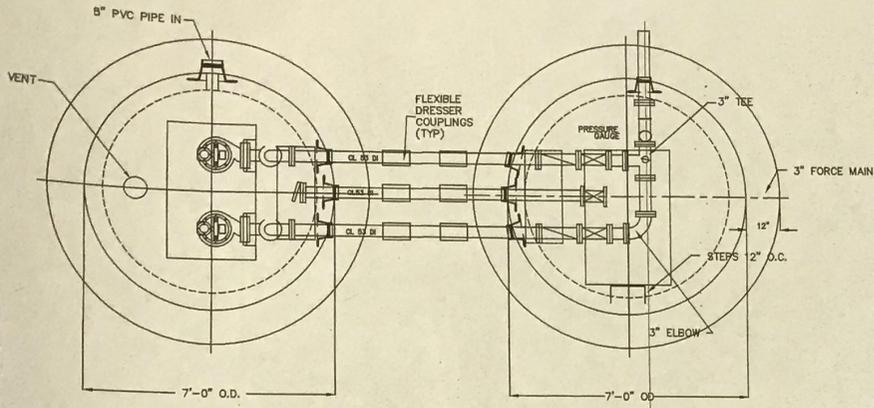
PLAN VIEW PUMP STATION



TYPICAL BOLLARD DETAIL
NOT TO SCALE

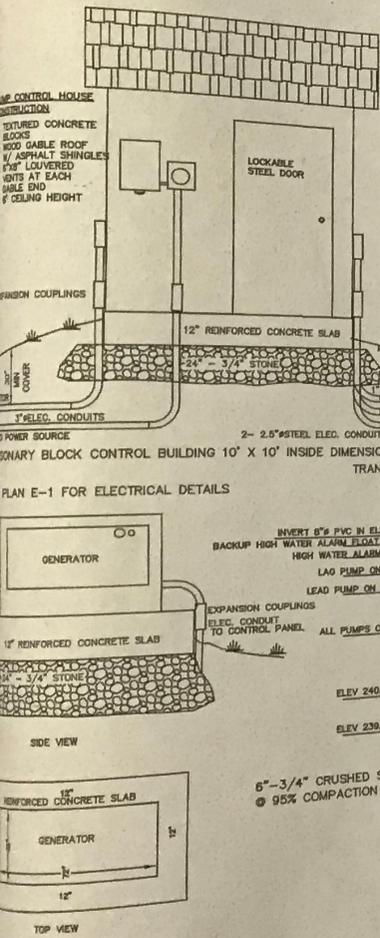
PUMP STATION & VALVE PIT SPECIFICATIONS

- I. PUMP CONTROL PANEL
 - ALL ITEMS TO BE CONTAINED IN A NEMA 4 WATERPROOF/LOCKING ENCLOSURE
 - 1) AUTOMATIC PUMP ALTERNATOR (FOR HANDS OFF OPERATION)
 - 2) 115 VOLT CONTROL CIRCUITS
 - 3) WATERPROOF COVER W/LOCKS (PROVIDE KEYS)
 - 4) THREE POSITION ALARM SWITCH (AUTO-OFF-TEST)
 - 5) NOTIFICATION CIRCUIT TO REQUIRE MANUAL RESET.
- II. REMOTE ALARM
 - ALL ITEMS TO BE CONTAINED IN OR ATTACHED TO A NEMA 4 WATERPROOF ENCLOSURE
 - 1) BLINKING RED ALARM LIGHT W/PROTECTIVE GUARD.
 - 2) ALARM HORN.
- III. ULTRASONIC LEVEL CONTROLS
 - 1) TO BE SIMILAR OR EQUAL TO HYDROGRANGER 1 AS MANUFACTURED BY MILLTRONICS INC.
 - 2) SHALL INCLUDE PROCESSOR/INSTRUMENT PANEL TO BE INSTALLED WITHIN CONTROL PANEL HOUSING. TRANSDUCER TO BE FULLY SEALED AGAINST CORROSION AND BE MOUNTED WITHIN THE WET WELL USING STAINLESS-STEEL HARDWARE. LEAVE EXTRA WIRE FOR HEIGHT ADJUSTMENT.
 - 3) LEAVE APPROXIMATELY 10' OF EXTRA TRANSDUCER WIRE COILED IN PUMP STATION FOR FUTURE ADJUSTMENT.
 - 4) BACKUP HIGH WATER ALARM TO BE PROVIDED WITH BATTERY BACKUP. (SEE PUMP STATION ELECTRICAL PLAN, SHEET E1 FOR DETAILS)
- IV. JUNCTION BOXES (IF REQUIRED IN PUMP STATION)
 - 1) WATER TIGHT EXPLOSION PROOF/CORROSION RESISTANT NEMA 7 ENCLOSURES
- V. VALVES
 - 1) CHECK VALVES - CAST IRON W/BRONZE SWING ARM TYPE CHECK VALVES. DESIGNED TO WORK IN EITHER THE HORIZONTAL OR VERTICAL POSITION WORKING PRESS. 150 LB. AWWA 3000S TO BE PROVIDED W/CLAMPER LIFTING ARM & ADJUSTABLE SPRING.
 - 2) PLUG VALVES - CAST IRON BODY VALVE W/WORKING PRESSURE 150 WSP/3000PSI.
- VI. ACCESS COVERS
 - 1) WATERPROOF ALUMINUM 30" X 48" FOR PUMP STATION & VALVE PIT LOCKING WITH 4 EXTRA KEYS
 - 2) H-20 LOADING
- VI. PIPE BOOTS
 - 1) LOCK JOINT FLEXIBLE NEOPRENE SLEEVE CAST IN.
 - 2) STAINLESS STEEL PIPE CLAMPS.
- VIII. BITUMINOUS COATING
 - 1) TWO COATS BITUMINOUS ALL EXTERIOR CONCRETE AND MASONRY SURFACES.
- IX. PUMPS
 - 1) TWO(2) - EQUAL TO FLOYD PUMPS CAPABLE OF 110 GPM @ 63' DYNAMIC HEAD. MODEL: 4P102181 3/4" DIA HORISORANGE 1" SOLID HANDLING. IMPELLER DIA 125 MM, R.S HP. 230 VOLT, 3 @ 3.440RPM ONE PUMP TO BE FITTED WITH FLOYD "MAX-FLUSH" SYSTEM VALVE
- X. PIPE & FITTINGS
 - 1) CLASS B3 DUCTILE IRON FL X FL PIPE TO EXTEND TO 1' OUTSIDE PUMP STATION.
 - 2) CHAINS - 3/8" STAINLESS STEEL CHAIN.
 - 3) HANGERS & FASTENERS - ALL STAINLESS STEEL.
 - 4) SLIDE AWAY COUPLINGS OF CAST IRON
- XI. PUMP CHAMBER
 - 1) PRECAST REINFORCED CONCRETE HAVING AN 180' LOADING
 - 2) TOP OF CHAMBER TO BE REINFORCED CONCRETE WITH WATERPROOF ALUMINUM COVER INTEGRALLY CAST IN.
- XII. ELECTRICAL
 - 1) ELECTRICAL CONDUIT TO BE UL APPROVED PVC.
 - 2) CONTROL BOX TO BE LOCATED AT LOCATION SHOWN ON SITE PLAN WITH AN AUDIO ALARM, A REMOTE RED ALARM LIGHT, AND RUNNING THE METERS.
 - 3) CONTRACTOR TO PROVIDE APPROPRIATE ELECTRICAL POWER DROP FROM NEAREST UTILITY POLE AS DESIGNATED BY CENTRAL MAINE POWER. ALL ARRANGEMENTS AND HOOK UP FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR TO INSTALL METERING EQUIPMENT AND BRING INSTALLED IN PVC AND STEEL CONDUITS MEETING ALL CODE AND REGULATION REQUIREMENTS
- XIII. PIPING
 - 1) GRAVITY PIPE - SDR 35 PVC
 - 2) FORCE MAIN - SDR 21 PVC
 - 3) ALL PIPING WITHIN THE PUMPSTATION, VALVE PIT, BETWEEN STRUCTURES, & TO 12" OUTSIDE THE VALVE PIT SHALL BE CLASS B3 DUCTILE IRON
 - 4) VENT PIPE RISER PIPE & CAP TO BE GALVANIZED STEEL
- XIV. PROPANE TANK
 - 1) INSTALL 1-1,000 GALLON TANK
 - 2) INSTALLATION TO COMPLY WITH ALL FEDERAL, STATE & MUNICIPAL REQUIREMENTS
- XV. FLOW CALCULATIONS
 - 17 UNITS @ 380 G/UNIT = 6,460 GPD
 - 6,460 GPD x 60 (MIN FACTOR) = 387,600 GPD
 - 387,600 GPD / 24 (HRS) = 16,150 GPH
 - MINIMUM PUMPING REQUIREMENT
 - STATE HEAD = 30'
 - FRICITION LOSS FOR 1,000' OF 3" SDR 21 PVC @ 110 GPM = 33'
 - TOTAL DYNAMIC HEAD 1 PUMP ON = 63' @ APPROXIMATELY 110 GPM
 - TWO PUMPS ON THRU 3" FORCE MAIN 127 GPM @ 72' D.H.

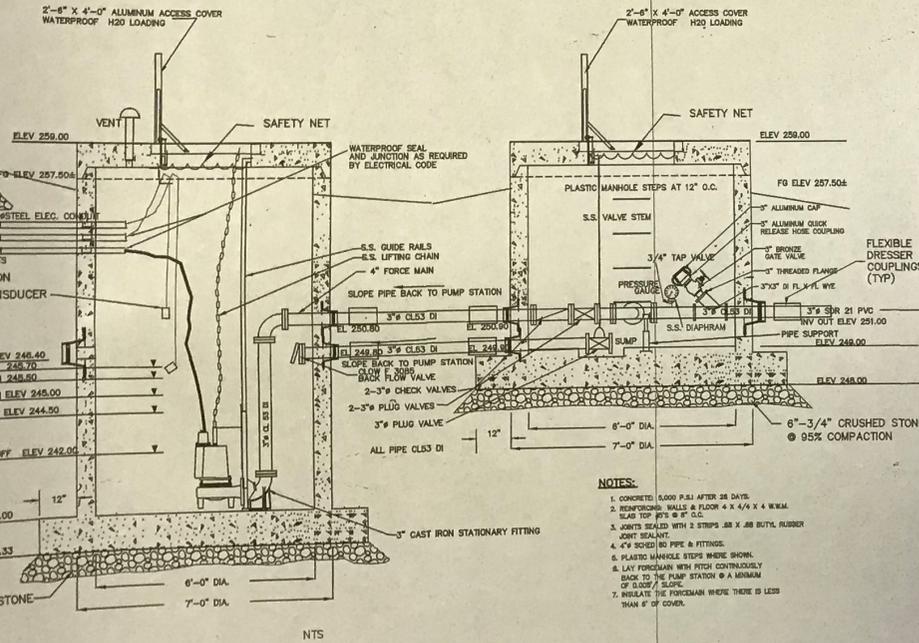


PUMP STATION
NTS

VALVE PIT
NTS



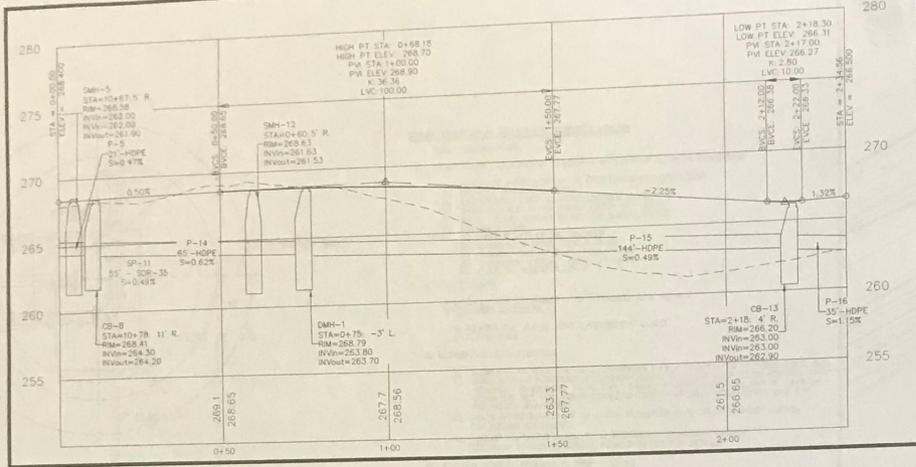
PLAN E-1 FOR ELECTRICAL DETAILS



NOTES:

1. CONCRETE (5,000 P.S.I) AFTER 28 DAYS.
2. REINFORCING WALLS & FLOOR 4 X 4/4 X 4 W/M. SLAB TOP PER 8" O.C.
3. JOINTS SEALED WITH 2 STRIPS 88 X .88 BUTYL RUBBER JOINT SEALANT.
4. 4" x 8" SLOPED 80 PIPE & FITTINGS.
5. PLASTIC MANHOLE STEPS WERE SHOWN.
6. LIFT FORCE MAIN WITH FITTINGS CONTINUOUSLY BACK TO THE PUMP STATION @ A MINIMUM OF 3% SLOPE.
7. INSULATE THE FORCE MAIN WHERE THERE IS LESS THAN 6" OF COVER.

BERWICK CROSSING BERWICK, MAINE 03901 PUMP STATION DETAILS PLAN		Atlantic Resource Consultants 541 US Route One Freeport, ME 04032 Tel: 207 869 9050
DRAWN: MP/KS DESIGNED: JAW/AD CHECKED: JAW/AD FILE NAME:	DATE: MARCH 06 2018 SCALE: AS SHOWN JOB NO: 17089	SHEET: C 304



PROFILE VIEW: ACCESS ROAD

HORIZ 1" = 20'
VERT 1" = 5'

BIORETENTION AND UNDERDRAIN FILTER NOTES

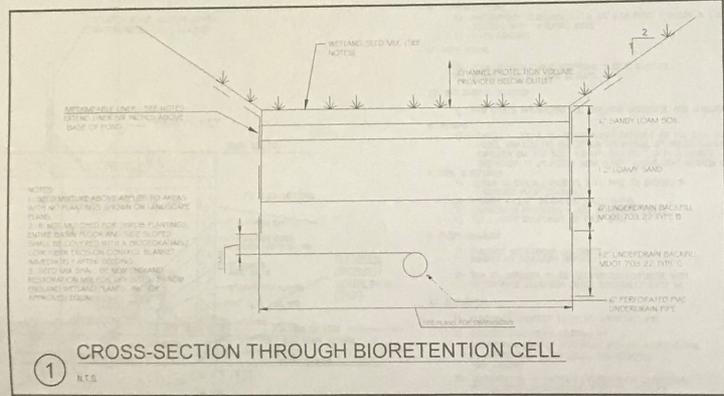
1. FILTER SOIL MATERIAL FOR UNDERDRAINED SOIL FILTERS AND BIORETENTION AREAS SHALL COMPRISE A TOPSOIL LAYER AND A LAYER OF LOAMY COARSE SAND AS FOLLOWS:
 - A. TOPSOIL LAYER SHALL BE SIX INCHES DEEP AND SHALL COMPRISE USDA SANDY LOAM TOPSOIL WITH 1% HUMIFIED ORGANIC MATTER AND MINIMAL CLAY CONTENT (1-4% ORGANIC MATTER MAY BE ADDED TO PROVIDE SUFFICIENT NITROGEN CONTENT TO SUPPORT PLANTINGS PROVIDED THAT THE TEXTURE REMAINS AS SPECIFIED).
 - B. THE LOAMY COARSE SAND LAYER SHALL BE 13 INCHES DEEP. THE PREFERRED MATERIAL SHALL HAVE A CLAY CONTENT 2% BUT HAVE BETWEEN 2% AND 15% PASSING THE #200 SIEVE, 15-40% PASSING THE #60, 70-100% PASSING THE #10, AND 85-100% PASSING THE #10.
2. FILTER SOIL MATERIAL SHALL BE PLACED IN 12-INCH LIFTS USING LOP EQUIPMENT OR BY HAND. LOP EQUIPMENT SHALL EXERT A GROUND PRESSURE OF LESS THAN 5 PSI AS STATED IN THE EQUIPMENT SPECIFICATION FROM THE MANUFACTURER. MATERIAL SHALL BE GRADGED TO PROVIDE AN EVEN SURFACE. SEEDS AND COVERED WITH EROSION CONTROL BLANKET.
3. UNDERDRAIN GRAVELS SHALL MEET THE SPECIFICATION REQUIREMENTS GIVE IN MOST SPECIFICATION 703.22.
4. SOIL FILTER MEDIA SHALL NOT BE INSTALLED UNTIL ALL UPSTREAM CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
5. APPROPRIABLE LINERS FOR BIORETENTION CELLS AND UNDERDRAINED FILTERS SHALL BE A STRING REINFORCED POLYETHYLENE MEMBRANE WITH A MINIMUM THICKNESS OF 24 MILS - EST-24 BY BEND APP AND LINER OR APPROVED EQUAL.

BIORETENTION CELL CONSTRUCTION NOTES

- CONSTRUCTION OVERSIGHT**
- THE APPLICANT WILL RETAIN THE SERVICES OF A PROFESSIONAL ENGINEER TO INSPECT THE CONSTRUCTION AND STABILIZATION OF ALL STORMWATER MANAGEMENT STRUCTURES. IF NECESSARY, THE INSPECTING ENGINEER WILL INTERPRET THE POCKET'S CONSTRUCTION PLAN FOR THE CONTRACTOR. ONCE ALL STORMWATER MANAGEMENT STRUCTURES ARE CONSTRUCTED AND STABILIZED, THE INSPECTING ENGINEER WILL NOTIFY THE DEPARTMENT IN WRITING WITHIN 30 DAYS TO STATE THAT THE POND HAS BEEN COMPLETED. ACCOMPANYING THE ENGINEER'S NOTIFICATION MUST BE A LOG OF THE ENGINEER'S INSPECTIONS GIVING THE DATE OF EACH INSPECTION, THE TIME OF EACH INSPECTION, AND THE ITEMS INSPECTED ON EACH VISIT, AND INCLUDE ANY TESTING DATA OR SOIL ANALYSIS DATA OF EVERY MINERAL SOIL AND SOIL MEDIA SPECIFIED IN THE PLANS AND USED ON SITE.

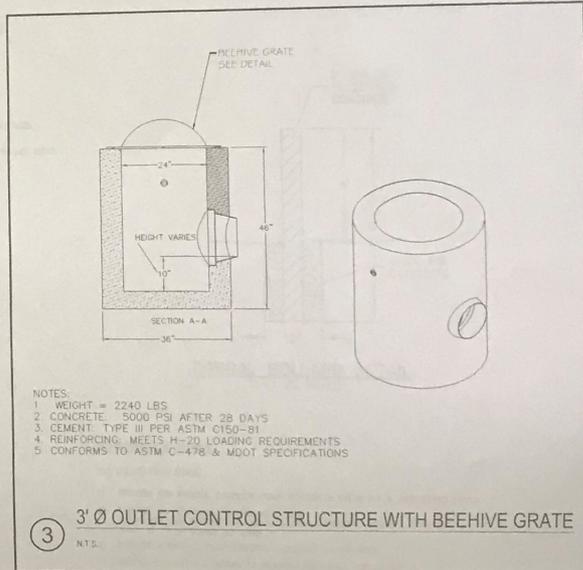
- BASIC STANDARDS - EROSION CONTROL MEASURES**
- MINIMUM EROSION CONTROL MEASURES WILL NEED TO BE IMPLEMENTED AND THE APPLICANT WILL BE RESPONSIBLE TO MAINTAIN ALL COMPONENTS OF THE EROSION CONTROL PLAN UNTIL THE SITE IS FULLY STABILIZED. HOWEVER, BASED ON SITE AND WEATHER CONDITIONS DURING CONSTRUCTION, ADDITIONAL EROSION CONTROL MEASURES MAY NEED TO BE IMPLEMENTED AND NEED TO BE MAINTAINED UNTIL THE SITE IS FULLY STABILIZED OR VEGETATION IS ESTABLISHED. A CONSTRUCTION LOG MUST BE MAINTAINED FOR THE EROSION AND SEDIMENTATION CONTROL INSPECTIONS AND MAINTENANCE.

THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES AS PUBLISHED IN 1991 BY THE CLAREMONT COUNTY SOIL AND WATER CONSERVATION DISTRICT AND THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION HAS BEEN CHANGED TO THE MAINE EROSION AND SEDIMENT CONTROL BMP'S PUBLISHED BY THE MAINE DEP IN 2001. ALL REFERENCES SHOULD BE CHANGED TO THE NEW MANUAL. [HTTP://WWW.MAINE.GOV/DEP/WQ/STANDARDS/BMPS/INDEX.HTM](http://www.maine.gov/dep/wq/standards/bmps/index.htm)



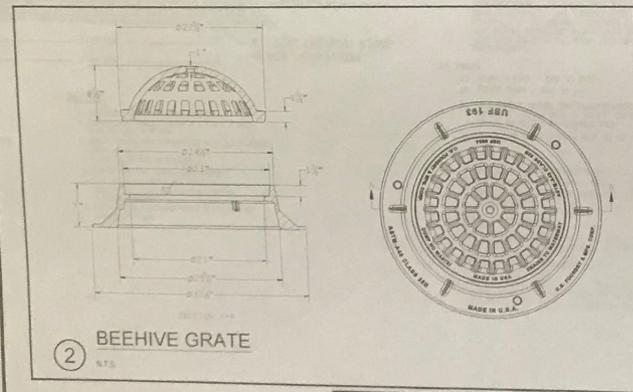
1 CROSS-SECTION THROUGH BIORETENTION CELL

1 N.T.S.



3 3' Ø OUTLET CONTROL STRUCTURE WITH BEEHIVE GRATE

3 N.T.S.



2 BEEHIVE GRATE

2 N.T.S.

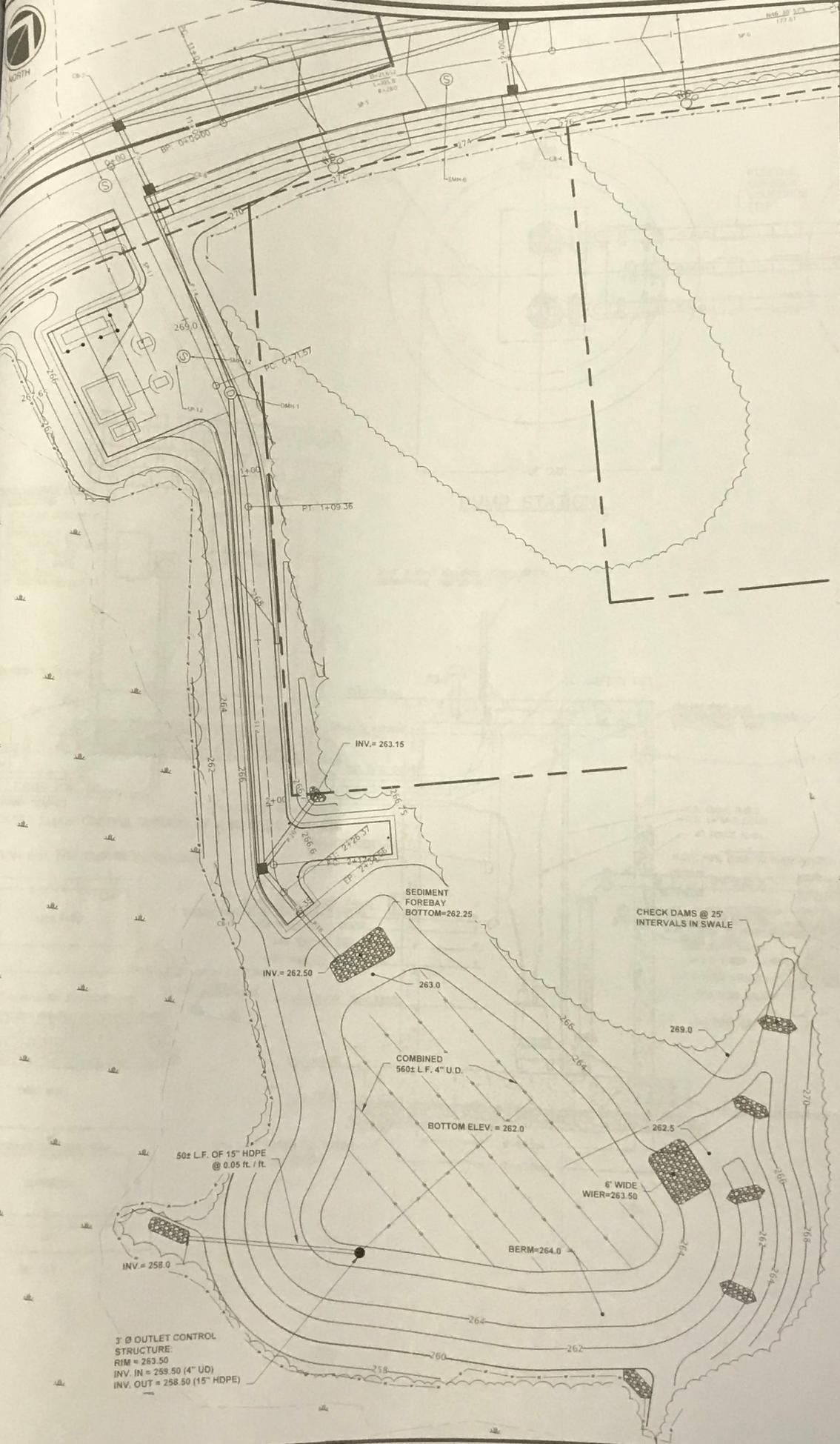
FOR PERMITTING ONLY
NOT FOR CONSTRUCTION

BERWICK CROSSING
BERWICK, MAINE 03901
SITE CIVIL DETAILS III

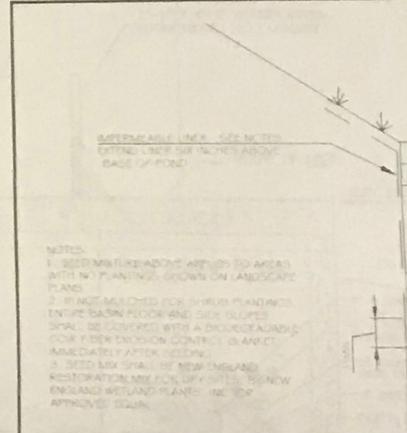
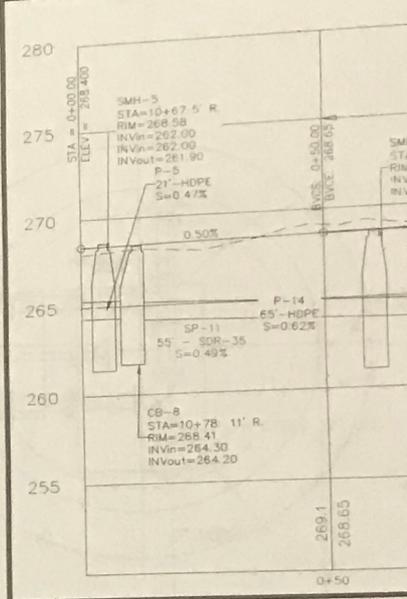
Atlantic Resource Consultants
541 US Route One
Freeport, ME 04032
Tel. 207.869.9050

GREAT LOTS OF MAINE LLC
34 WYLAND ROAD
SHEFFIELD, MAINE 04082

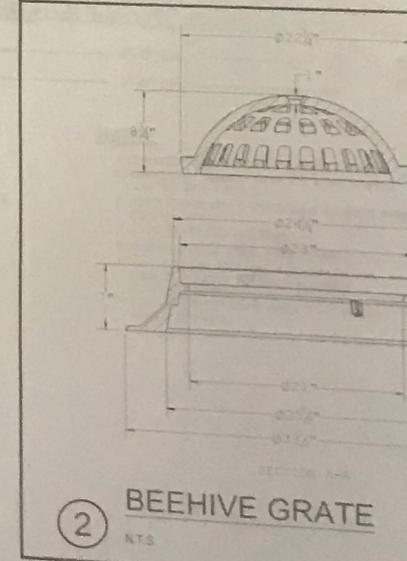
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DESIGNED	JAVIACU	SCALE	N.T.S.
CHECKED	JAVIACU	JOB NO.	17-059
FILE NAME			
SHEET	C-303		



PLAN VIEW: ACCESS ROAD & BIORETENTION AREA
SCALE 1" = 20'



1 CROSS-SECTION T
N.T.S.



2 BEEHIVE GRATE
N.T.S.

FOR PERMITTING ONLY
NOT FOR CONSTRUCTION

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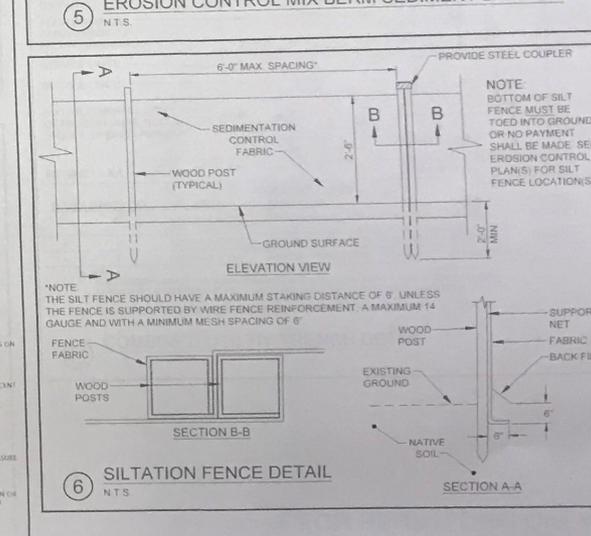
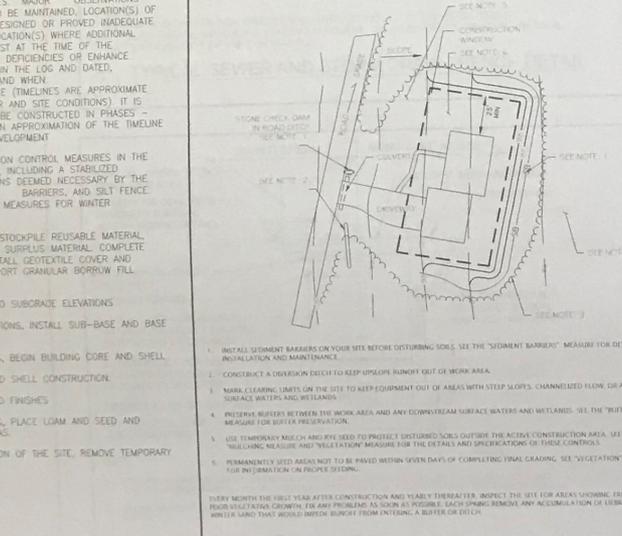
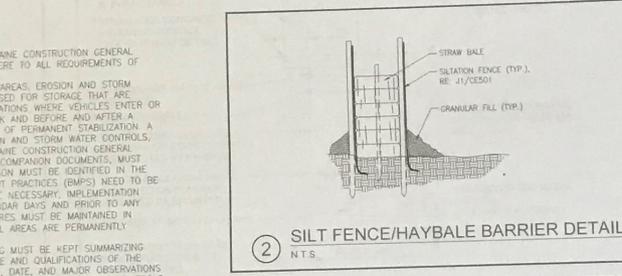
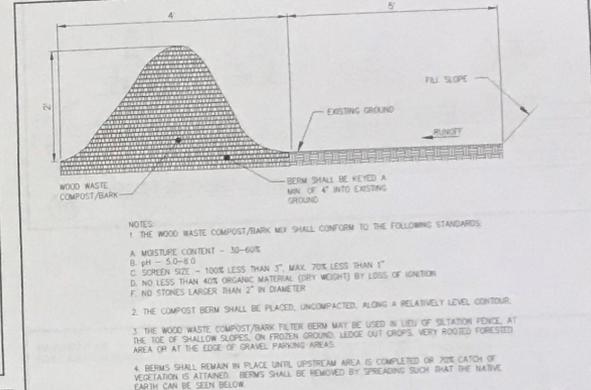
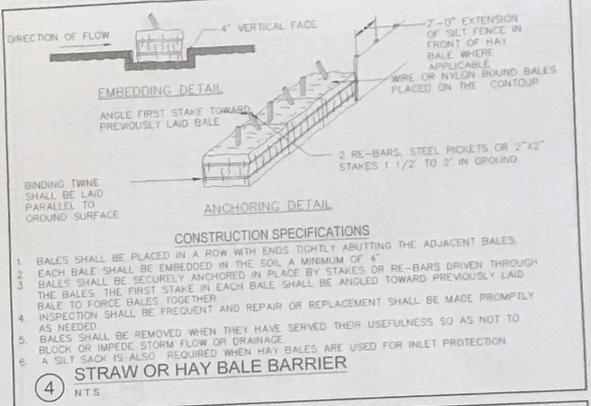
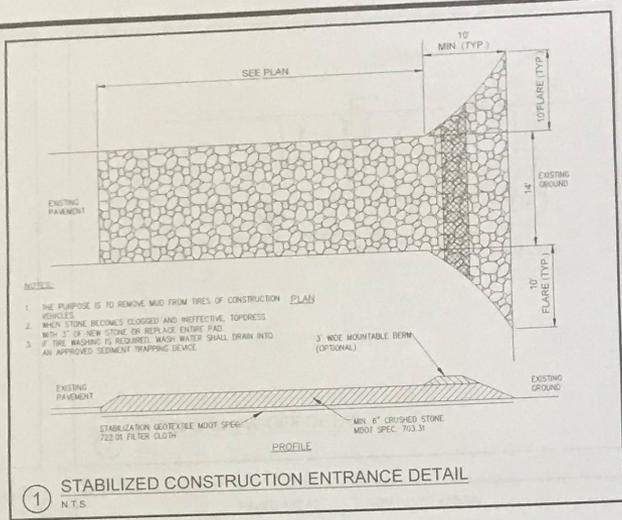
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REV	DATE	DESCRIPTION	REVISIONS

NORMAND COURT SUBDIVISION
 BERWICK, MAINE 03901

EROSION & SEDIMENTATION CONTROL NOTES AND DETAILS

GREAT LOTS OF MAINE, LLC
 38 W. ARL. RD. #333
 S. BROOK, NH 03871

Atlantic Resource Consultants
 541 US Route One
 Freeport, ME 04032
 Tel 207 869 9050

DRAWN	MP/VKS	DATE	FEBRUARY 12, 2018
DESIGNED	JAVIADJ	SCALE	N.T.S.
CHECKED	JAVIADJ	JOB NO.	12-050
TITLE NAME			
SHEET	C-300		

EROSION AND SEDIMENTATION CONTROL NOTES:

EROSION AND SEDIMENTATION CONTROL MEASURES INCLUDE THE USE OF GEOTEXTILE SEPARATION FABRIC ON SUBGRADE, STABILIZED CONSTRUCTION ENTRANCES, SILTATION FENCE, EROSION CONTROL MIX, STONE CHECK DAMS, HAY BARRIERS, CATCH BASIN INLET BARRIERS, CATCH BASIN SEDIMENTATION BAGS, EROSION CONTROL BLANKET, AND TEMPORARY SEEDING AND MULCHING AS REQUIRED. PERMANENT DEVICES INCLUDE THE USE OF RIP RAP AND STORM DRAIN AND CULVERT INLETS AND OUTLETS, RIP RAPPED SLOPES, AND PERMANENT VEGETATION.

IF IT IS ANTICIPATED THAT CONSTRUCTION MAY BEGIN AS SOON AS POSSIBLE FOLLOWING RECEIPT OF NECESSARY PERMITS, ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, 2003, OR AS CURRENTLY REVISED OR U.S. ENVIRONMENTAL PROTECTION AGENCY PUBLICATION 832/R-92-005 (SEPTEMBER, 1992) STORM WATER MANAGEMENT FOR CONSTRUCTION, CHAPTER 3, WHICHEVER IS MORE STRINGENT. ANY ADDITIONAL EROSION AND SEDIMENTATION CONTROL DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE, DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) PERSONNEL AND/OR MUNICIPAL OFFICIALS SHALL BE INSTALLED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATER BODIES, OR WETLANDS AS A RESULT OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR/REPLACEMENT/ MAINTENANCE OF ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF THE ABOVE PERSONNEL. DESCRIPTIONS OF ACCEPTABLE PERMANENT STABILIZATION FOR VARIOUS COVER TYPES FOLLOWS

- A. FOR SEEDED AREAS, PERMANENT STABILIZATION MEANS A 90% COVER OF THE DISTURBED AREA WITH MATURE, HEALTHY PLANTS WITH NO EVIDENCE OF WASHING OR RILLING OF THE TOPSOIL.
- B. FOR SODDED AREAS, PERMANENT STABILIZATION MEANS THE COMPLETE BINDING OF THE SOD ROOTS INTO THE UNDERLYING SOIL WITH NO SLUMPING OF THE SOD OR DIE-OFF.
- C. FOR MULCHED AREAS, PERMANENT MULCHING MEANS TOTAL COVERAGE OF THE EXPOSED AREA WITH AN APPROVED MULCH MATERIAL. EROSION CONTROL MIX MAY BE USED AS MULCH FOR PERMANENT STABILIZATION ACCORDING TO THE APPROVED APPLICATION RATES AND LIMITATIONS.
- D. FOR AREAS STABILIZED WITH RIP RAP, PERMANENT STABILIZATION MEANS THAT SLOPES STABILIZED WITH RIP RAP HAVE AN APPROPRIATE BACKING OF A WELL-GRADED GRAVEL OR APPROVED GEOTEXTILE TO PREVENT SOIL MOVEMENT FROM BEHIND THE RIP RAP. STONE MUST BE SIZED APPROPRIATELY.
- E. PAVED AREAS: FOR PAVED AREAS, PERMANENT STABILIZATION MEANS THE PLACEMENT OF THE COMPACTED GRAVEL SUBBASE IS COMPLETED.
- F. FOR OPEN CHANNELS, PERMANENT STABILIZATION MEANS THE CHANNEL IS STABILIZED WITH MATURE VEGETATION AT LEAST THREE INCHES IN HEIGHT, WITH WELL-GRADED RIP RAP, OR WITH ANOTHER NON-EROSIVE LINING CAPABLE OF WITHSTANDING THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHOUT RELIANCE ON CHECK DAMS TO SLOW FLOW. THERE MUST BE NO EVIDENCE OF SLUMPING OF THE LINING, UNDERCUTTING OF THE BANKS, OR DOWN CUTTING OF THE CHANNEL.

EROSION AND SEDIMENTATION CONTROL MEASURES

PRIOR TO THE BEGINNING OF CONSTRUCTION, THE STABILIZED CONSTRUCTION ENTRANCE AND TEMPORARY SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. IT IS THE INTENT THAT SILT FENCE BE INSTALLED DOWN GRADIENT OF ALL DISTURBED AREAS OF THE SITE. SILT FENCE SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS WILL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDE OF THE SILT BARRIERS. THIS SEDIMENT WILL BE SPREAD AND STABILIZED IN AREAS OF THE SITE NOT SUBJECT TO EROSION. SILT FENCE SHALL BE REPLACED AS NECESSARY TO PROVIDE PROPER FILTERING ACTION. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, THEY WILL BE REPLACED WITH A TEMPORARY CRUSHED STONE CHECK DAM. ALL CATCH BASINS AND FIELD INLETS, NEW OR EXISTING, THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS MUST BE PROTECTED DURING CONSTRUCTION. REMOVAL OF SOD, TREES, BUSHES AND OTHER VEGETATION AND SOIL DISTURBANCE WILL BE KEPT TO A MINIMUM WHILE ALLOWING PROPER SITE DEVELOPMENT. CRUBBINGS AND ANY UNUSABLE TOPSOIL SHALL BE STRIPPED AND REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN AN APPROVED MANNER. ANY SUITABLE TOPSOIL WILL BE STRIPPED AND STOCKPILED FOR REUSE IN FINAL GRADING. TOPSOIL WILL BE STOCKPILED AND NO OFF-SITE SEDIMENT NATURAL DRAINAGE IS NOT OBSTRUCTED AND NO OFF-SITE SEDIMENT DAMAGE WILL RESULT. IF A STOCKPILE IS NECESSARY, THE SIDE SLOPES OF THE TOPSOIL STOCKPILE WILL NOT EXCEED 2:1. TOPSOIL STOCKPILES WILL BE TEMPORARILY SEEDED WITH AROOSTOOK RYE, ANNUAL OR PERENNIAL RYE GRASS WITHIN 7 DAYS OF FORMATION, OR TEMPORARILY MULCHED IF SEEDING CANNOT BE DONE WITHIN THE RECOMMENDED SEEDING DATES. TEMPORARY DIVERSION BERMS AND DRAINAGE SWALES SHALL BE CONSTRUCTED AS NECESSARY. TEMPORARY STABILIZATION SHALL BE CONDUCTED WITHIN 7 DAYS OF INITIAL DISTURBANCE OF SOILS, PRIOR TO ANY RAIN EVENT, AND PRIOR TO ANY WORK SHUT DOWN LASTING MORE THAN ONE DAY. TEMPORARY STABILIZATION INCLUDES SEED, MULCH, OR OTHER NON-ERODABLE COVER. TEMPORARY SEEDING SPECIFICATIONS: WHERE SEEDING HAS BEEN COMPLETED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME, AND SEED. APPLY LIME AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SQUARE FEET) AND 10-10-10 (N-P205-K20) FERTILIZER AT A RATE OF 600 LBS PER ACRE (13.8 LB PER 1,000 SQUARE FEET). UNIFORMLY APPLY SEED AT THE RECOMMENDED SEEDING RATES AND DATES, AND ANCHOR WITH HAY OR STRAW MULCH AT A RATE OF 2 TONS PER ACRES, AND ANCHOR AS NECESSARY.

RECOMMENDED TEMPORARY SEEDING DATES AND APPLICATION RATES ARE AS FOLLOWS:
 AROOSTOOK RYE:
 RECOMMENDED SEEDING DATES: 8/15 - 10/1
 APPLICATION RATE: 112 LBS/ACRE
 ANNUAL RYE GRASS:
 RECOMMENDED SEEDING DATES: 4/1 - 7/1
 APPLICATION RATE: 40 LBS/ACRE
 PERENNIAL RYE GRASS:
 RECOMMENDED SEEDING DATES: 8/15 - 9/15
 APPLICATION RATE: 40 LBS/ACRE

- 9. PERMANENT SEEDING SPECIFICATION. IF A LANDSCAPE PLAN HAS BEEN PREPARED FOR THE PROJECT, SOIL PREPARATION AND SEED SPECIFICATIONS OF THAT PLAN SHALL SUPERSEDE THESE GENERAL PERMANENT SEEDING REQUIREMENTS. IT IS RECOMMENDED THAT PERMANENT SEEDING BE COMPLETED BETWEEN APRIL 1 AND JUNE 15 OF EACH YEAR. LATE SEASON SEEDING MAY BE DONE BETWEEN AUGUST 15 AND SEPTEMBER 15. AREAS NOT SEEDING OR WHICH DO NOT OBTAIN A SATISFACTORY GROWTH BY OCTOBER 15 SHALL BE SEEDING WITH AROOSTOOK RYE OR MULCHED AT RATES PREVIOUSLY SPECIFIED. SEE WINTER CONDITIONS NOTES FOR SEEDING STABILIZATION AFTER NOVEMBER 1.
 - AA. APPLY TOPSOIL TO A MINIMUM DEPTH OF 4 INCHES. MIX TOPSOIL WITH THE SUBSOIL TO A MINIMUM DEPTH OF 6 INCHES.
 - AB. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS. IN LIEU OF SOIL TESTS, APPLY GROUND LIMESTONE AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SQUARE FEET) AND GRANULAR, COMMERCIAL-GRADE, 10-10-10 (N-P205-K20) FERTILIZER AT A RATE OF 800 LBS PER ACRE (18.4 LBS PER 1,000 SQUARE FEET).
 - AC. UNIFORMLY APPLY SEED MIXTURE AT THE RECOMMENDED SEEDING RATES AND DATES, APPLY HAY OR STRAW MULCH AT A RATE OF 2 TONS PER ACRES, AND ANCHOR AS NECESSARY.

B. THE SEED MIXTURE FOR LAWN AND FILTRATION BASIN AREAS SHALL CONSIST OF SEEDS PROPORTIONED BY WEIGHT AS FOLLOWS:
 30% CREEPING RED FESCUE
 50% KENTUCKY BLUEGRASS
 20% ITALIAN/PERENNIAL RYE GRASS
 NOTE: SEED MIXTURE SHALL CONSIST OF AT LEAST TWO VARIETIES OF EACH TYPE OF GRASS. WHEN USED IN A FILTER BASIN, STORMWATER SHALL NOT BE DIRECTED TO THE BASIN UNTIL THE GRASS IS ESTABLISHED.

- 10. MULCH ALL AREAS SEEDING SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE.
- 11. DITCH LININGS, STONE CHECK DAMS, AND RIP RAP INLET AND OUTLET PROTECTION SHALL BE INSTALLED WITHIN 48 HOURS OF COMPLETING THE GRADING OF THAT SECTION OF DITCH OR INSTALLATION OF CULVERT.
- 12. RIP RAP REQUIRED AT CULVERTS AND STORM DRAIN INLETS AND OUTLETS SHALL CONSIST OF FIELD STONE OR ROUGH UNHEWN QUARRY STONE OF APPROXIMATELY RECTANGULAR SHAPE.
- 13. EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL PERMANENT SLOPES STEEPER THAN 15%, IN THE BASE OF DITCHES NOT OTHERWISE PROTECTED, AND ANY DISTURBED AREAS WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE (E.G. WETLANDS AND WATER BODIES). EROSION CONTROL BLANKET SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 14. TEMPORARY CONTROL MEASURES, SUCH AS SILT FENCE, SHALL BE REMOVED WITHIN 30 DAYS AFTER PERMANENT STABILIZATION IS ATTAINED.

- C. WINTER CONDITIONS
 - 1. "WINTER CONSTRUCTION" IS CONSTRUCTION ACTIVITY PERFORMED DURING THE PERIOD FROM NOVEMBER 1ST THROUGH APRIL 15TH. IF AREAS WITHIN THE CONSTRUCTION ACTIVITY ARE NOT STABILIZED WITH TEMPORARY OR PERMANENT MEASURES OUTLINED ABOVE BY NOVEMBER 15TH, THEN THE SITE MUST BE PROTECTED WITH ADDITIONAL STABILIZATION MEASURES THAT ARE SPECIFIC TO WINTER CONDITIONS. NO MORE THAN ONE ACRE OF THE SITE MAY BE WITHOUT STABILIZATION AT ONE TIME.
 - 2. SILT FENCE: IN LIEU OF PROVIDING THE 4" X 4" TRENCH, FOR FROZEN GROUND, STONY SOIL, THE PRESENCE OF LARGE ROOTS, OR OTHER PROHIBITIVE CONDITIONS, THE BOTTOM 8" TO 12" OF THE FABRIC MAY BE LAID ON EXISTING GRADE AND BACK FILLED WITH STONE ANCHORING MATERIAL, AS SHOWN ON THE DRAWINGS.
 - 3. HAY MULCH SHALL BE APPLIED AT TWICE THE STANDARD TEMPORARY STABILIZATION RATE. AT THE END OF EACH CONSTRUCTION DAY, AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE STABILIZED. MULCH MAY NOT BE SPREAD ON TOP OF SNOW.
 - 4. AFTER NOVEMBER 1ST OR THE FIRST KILLING FROST FOR THE REGION AND BEFORE SNOW FALL, ALL EXPOSED AND DISTURBED AREAS NOT TO UNDERGO FURTHER DISTURBANCE ARE TO HAVE DORMANT SEEDING. THE DORMANT SEEDING METHOD PREPARE THE SEEDBED, LIME AND FERTILIZE, APPLY THE SELECTED PERMANENT SEED MIXTURE AT DOUBLE THE REGULAR SEEDING RATE, AND MULCH AND ANCHOR DORMANT SEEDINGS NEED TO BE ANCHORED EXTREMELY WELL ON SLOPES, DITCH BASES AND AREAS OF CONCENTRATED FLOWS. DORMANT SEEDING REQUIRES INSPECTION AND RESEEDING AS NEEDED IN THE SPRING. ALL AREAS WHERE COVER IS INADEQUATE MUST BE IMMEDIATELY RESEEDING AND MULCHED AS SOON AS POSSIBLE.
 - 5. ALL VEGETATED DITCH LINES THAT HAVE NOT BEEN STABILIZED BY NOVEMBER 1ST, OR WILL BE WORKED DURING THE WINTER CONSTRUCTION PERIOD, MUST BE STABILIZED WITH AN APPROPRIATE STONE LINING BACKED BY AN APPROPRIATE GRAVEL BED OR GEOTEXTILE UNLESS SPECIFICALLY RELEASED FROM THIS STANDARD BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
 - 6. MULCH NETTING MUST BE USED TO ANCHOR MULCH ON ALL SLOPES GREATER THAN 8% UNLESS EROSION CONTROL BLANKETS OR EROSION CONTROL MIX IS BEING USED ON THESE SLOPES.

- D. HOUSEKEEPING
 - 1. SPILL PREVENTION. CONTROLS MUST BE USED TO PREVENT POLLUTANTS FROM CONSTRUCTION AND WASTE MATERIALS STORED ON-SITE, INCLUDING STORAGE PRACTICES TO MINIMIZE EXPOSURE OF THE MATERIALS TO STORM WATER, AND APPROPRIATE SPILL PREVENTION, CONTAINMENT, AND RESPONSE PLANNING AND IMPLEMENTATION.
 - 2. GROUNDWATER PROTECTION. DURING CONSTRUCTION, LIQUID PETROLEUM PRODUCTS AND OTHER HAZARDOUS MATERIALS WITH THE POTENTIAL TO CONTAMINATE GROUNDWATER MAY NOT BE STORED OR HANDLED IN AREAS OF THE SITE DRAINING TO AN INFILTRATION AREA. AN "INFILTRATION AREA" IS ANY AREA OF THE SITE THAT BY DESIGN OR AS A RESULT OF SOILS, TOPOGRAPHY AND OTHER RELEVANT FACTORS, ACCUMULATES RUNOFF THAT INFILTRATES INTO THE SOIL, DIKES, BERMS, SUMPS, AND OTHER FORMS OF SECONDARY CONTAINMENT THAT PREVENT DISCHARGE TO GROUNDWATER MAY BE USED TO ISOLATE PORTIONS OF THE SITE FOR THE PURPOSES OF STORAGE AND HANDLING OF THESE MATERIALS.
 - 3. FUGITIVE SEDIMENT AND DUST. ACTIONS MUST BE TAKEN TO ENSURE THAT ACTIVITIES DO NOT RESULT IN NOTICEABLE EROSION OF SOILS OR FUGITIVE DUST EMISSIONS DURING OR AFTER CONSTRUCTION. OIL MAY NOT BE USED FOR DUST CONTROL.
 - 4. DEBRIS AND OTHER MATERIAL. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER, MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
 - 5. COMPLY WITH THE REQUIREMENTS OF SECTION 024116, STRUCTURE DEMOLITION MANAGEMENT, FOR REMOVAL AND DISPOSAL OF CONSTRUCTION DEBRIS AND WASTE. TRENCH OR FOUNDATION DE-WATERING. THE COLLECTED WATER REMOVED FROM THE PONDED AREA, EITHER THROUGH GRAVITY OR PUMPING, MUST BE SPREAD THROUGH NATURAL WOODED BUFFERS OR REMOVED AREAS THAT ARE SPECIFICALLY DESIGNATED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE, LIKE A COFFER DAM SEDIMENTATION BASIN. AVOID ALLOWING THE WATER TO FLOW OVER DISTURBED AREAS OF THE SITE.

NOTES:
 1. THE...
 2. WHEN...
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 AN A...

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- E. INSPECTION AND MAINTENANCE
 - 1. THIS PROJECT IS COVERED BY THE MAINE CONSTRUCTION PERMIT. THE CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE GENERAL PERMIT.
 - 2. INSPECT DISTURBED AND IMPERVIOUS AREAS, EROSION WATER CONTROL MEASURES, AREAS USED FOR STORAGE EXPOSED TO PRECIPITATION, AND LOCATIONS WHERE THE SITE IS AT LEAST ONCE A WEEK AND BEFORE EACH STORM EVENT, PRIOR TO COMPLETION OF PERMANENT STABILIZATION. THE CONTRACTOR SHALL MAINTAIN RECORDS INCLUDING THE STANDARDS IN THE MAINE CONSTRUCTION PERMIT AND ANY DEP OR MUNICIPAL COMPANION DEPARTMENT. CONDUCT THE INSPECTION. THIS PERSON MUST BE A QUALIFIED INSPECTOR. IF BEST MANAGEMENT PRACTICES MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY, MUST BE COMPLETED WITHIN 7 CALENDAR DAYS AND BEFORE EACH RAINFALL. ALL MEASURES MUST BE EFFECTIVE OPERATING CONDITION UNTIL AREAS ARE STABILIZED.
 - 3. AN INSPECTION AND MAINTENANCE LOG MUST BE KEPT. THE SCOPE OF THE INSPECTION, NAME AND QUALIFICATION OF PERSON PERFORMING THE INSPECTION, DATE, AND RELATING TO OPERATION OF EROSION AND SEDIMENTATION AND POLLUTION PREVENTION MEASURES. MAJOR DEFICIENCIES MUST INCLUDE: BMPs THAT NEED TO BE MAINTAINED OR REPLACED, BMPs THAT FAILED TO OPERATE AS DESIGNED OR FOR A PARTICULAR LOCATION, AND LOCATION(S) WHERE BMPs ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION. FOLLOW-UP TO CORRECT DEFICIENCIES MUST BE INDICATED IN THE LOG. INCLUDE WHAT ACTION WAS TAKEN AND WHEN TAKEN.
 - F. CONSTRUCTION SCHEDULE & SEQUENCE (TIMELINES) AND WILL BE DEPENDENT ON WEATHER AND SITE CONDITIONS. ANTICIPATED THAT THE PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH THE SCHEDULES BELOW REPRESENT AN APPROXIMATION ASSOCIATED WITH EACH PHASE OF DEVELOPMENT.
 - 1. 1 WEEK - INSTALL TEMPORARY EROSION CONTROL MEASURES IN THE VICINITY OF THE CONSTRUCTION AREA, INCLUDING CONSTRUCTION ENTRANCE AT LOCATIONS DEEMED BY THE OWNER'S REPRESENTATIVE, SEDIMENT BARRIER, AND TEMPORARY EROSION CONTROL MEASURES. CONDITIONS SHALL BE IMPLEMENTED.
 - 2. 4 WEEKS - CLEAR STRIP THE SITE, STOCKPILE RIPOUT AND DISPOSE OF UNUSABLE AND/OR SURPLUS MATERIAL. MASS EARTHWORK AND GRADING. INSTALL GEOTEXTILE WORKING BASE OVER SUBGRADE. IMPORT GRANULAR MATERIAL.
 - 3. 4 WEEKS - FILL AND GRADE SITE TO SUBGRADE.
 - 4. 2-4 WEEKS - CONSTRUCT FOUNDATIONS, INSTALL MATERIALS.
 - 5. 4-6 WEEKS - CONSTRUCT UTILITIES, BEGIN BUILDING.
 - 6. 8-12 WEEKS - BUILDING CORE AND SHELL CONSTRUCTION.
 - 7. 20 WEEKS - BUILDING FIT OUT AND FINISHES.
 - 8. 4 WEEKS - FINAL GRADING, PAVING, PLACE LOAM FINISHED SURFACES IN OTHER AREAS.
 - 9. FOLLOWING PERMANENT STABILIZATION OF THE SITE, EROSION CONTROL MEASURES.

FOR PERMITTING ONLY
 NOT FOR CONSTRUCTION

GENERAL NOTES:

1. ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES ARE IN THE EXACT LOCATIONS SHOWN, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE AVAILABLE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND TAKE SUCH MEASURES CONSIDERED PRUDENT TO PROTECT SUCH UTILITIES DURING AND AFTER CONSTRUCTION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, OR RESTORING AND EXISTING UTILITIES DAMAGED DURING CONSTRUCTION. CALL 1-888-DIGSAFE.
2. THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL ALL REQUIRED LOCAL, STATE AND FEDERAL APPROVALS HAVE BEEN OBTAINED.
3. THE CONTRACTOR SHALL KEEP A COPY OF ALL PERMIT DOCUMENTS ON SITE FOR THE DURATION OF THE WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME FAMILIAR WITH ANY AND ALL PERMIT CONDITIONS ASSOCIATED WITH THE PROJECT APPROVALS AND TO ENSURE THAT THE SITE REMAINS IN COMPLIANCE WITH ALL PERMITS ISSUED BY LOCAL, STATE AND FEDERAL AUTHORITIES.
4. USE OF SITE - THE CONTRACTOR SHALL LIMIT USE OF THE SITE TO THOSE AREAS WITHIN THE LIMIT OF WORK. THE CONTRACTOR SHALL ENSURE THAT ACCESS IS MAINTAINED TO DRIVEWAYS, OPEN SPACE AREAS (EXCEPT THOSE UNDER CONSTRUCTION), AND ENTRANCES SERVING PREMISES ADJACENT TO THE PROJECT SITE.
5. THE CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR UNDERTAKING THE WORK IN A SAFE AND EFFICIENT MANNER, IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. ALL WORK AREAS SHALL BE CLEARLY DELINEATED AND FENCED APPROPRIATELY TO PREVENT UNAUTHORIZED ACCESS. OPERATION OF CONSTRUCTION EQUIPMENT OUTSIDE FENCED AREAS SHALL BE MINIMIZED TO THE EXTENT PRACTICAL. ALL EQUIPMENT OPERATION OUTSIDE OF CONSTRUCTION AREAS SHALL BE ACCOMPANIED BY APPROPRIATE PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL. THE SITE SHALL BE LEFT SECURE AND IN A SAFE AND ORDERLY MANNER AT THE END OF EACH WORK DAY.
6. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND PERFORM ALL WORK NECESSARY TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN ACCESS TO AND FROM THE SITE DURING CONSTRUCTION.
7. TRAFFIC CONTROL MEASURES, WHERE NECESSARY SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION), PUBLISHED BY THE FEDERAL HIGHWAYS ADMINISTRATION.
8. MATERIALS NOTED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT A LICENSED FACILITY, AT THE CONTRACTOR'S EXPENSE.

EARTHWORK NOTES:

1. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES NECESSARY TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND PROTECT DOWNSTREAM RECEIVING AREAS AND RESOURCES. THE AREA OF DISTURBANCE SHALL BE KEPT TO THE MINIMUM REQUIRED TO COMPLETE THE WORK AND ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF THE EARTHWORK. EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED AS NECESSARY AND ON A MINIMUM WEEKLY BASIS AND AFTER STORM EVENTS.
2. DEWATERING SHALL BE UNDERTAKEN AS NECESSARY TO MAINTAIN EXCAVATIONS IN A DRY AND STABLE CONDITION AND TO PROTECT ADJACENT STRUCTURES. ALL SEDIMENTS FROM TURBID DEWATERING EFFLUENT SHALL BE RETAINED ON SITE USING BEST MANAGEMENT PRACTICES SUCH AS DEWATERING PONDS AND FILTER BAGS.
3. THE SITE SHALL BE GRADED UNIFORMLY TO SMOOTH, EVEN SURFACES, FREE FROM IRREGULAR SURFACE CHANGES, TRIPPING HAZARDS, LOW SPOTS, OR AREAS OF POTENTIAL PONDING. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES AND ELEVATIONS INDICATED ON THE SITE PLANS.

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16,002 SQ. FT.

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15,833 SQ. FT.

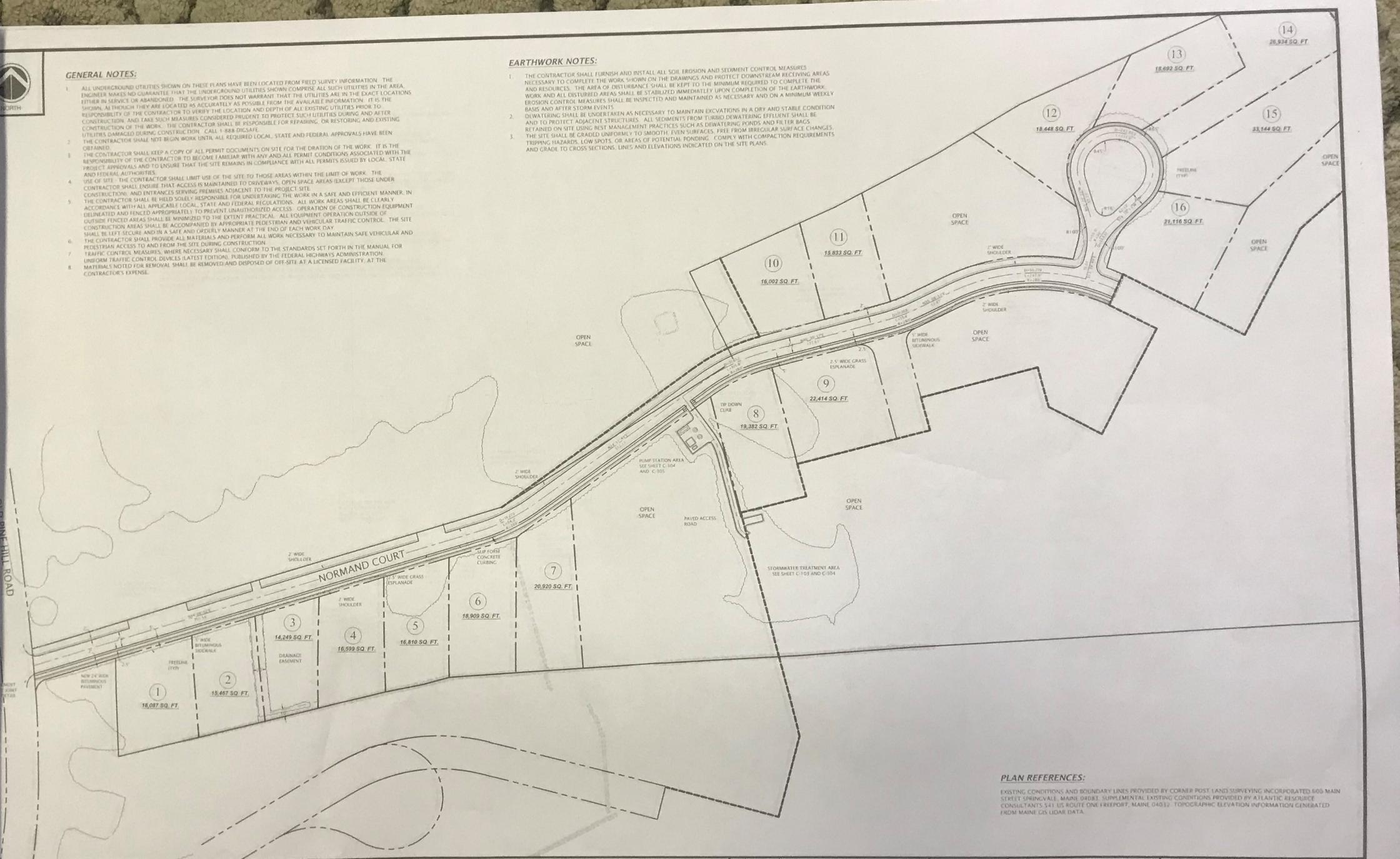


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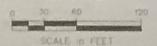


PLAN REFERENCES:

EXISTING CONDITIONS AND BOUNDARY LINES PROVIDED BY CORNER POST 1 AND SURVEYING INCORPORATED 600 MAIN STREET SPRINGVALE, MAINE 04083. SUPPLEMENTAL EXISTING CONDITIONS PROVIDED BY ATLANTIC RESOURCE CONSULTANTS 541 US ROUTE ONE FREEPORT, MAINE 04032. TOPOGRAPHIC ELEVATION INFORMATION GENERATED FROM MAINE GIS LIDAR DATA.

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NOT FOR CONSTRUCTION

SCALE



BERWICK CROSSING
BERWICK, MAINE 03901
SITE LAYOUT
& MATERIALS PLAN

Atlantic Resource Consultants
541 US Route One
Freeport, ME 04032
Tel: 207.869.9050

REV.	DATE	DESCRIPTION	ISSUED BY

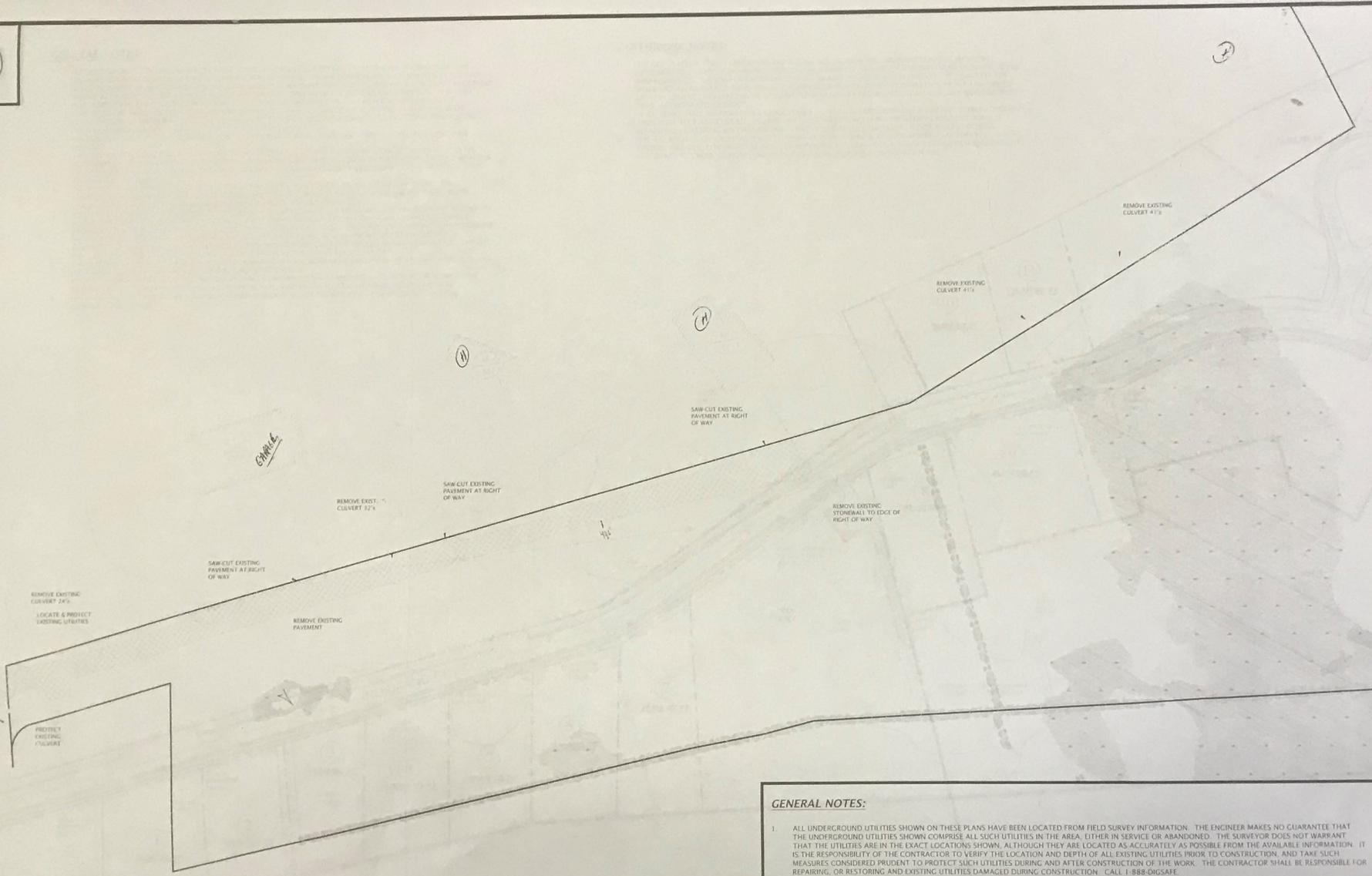
GREAT LIPS OF MAIN 114
30 W. THE BEALS
LEAVENWORTH, NH 03048

DESIGNED	MP/MS	DATE
JAVINS		11/16/20
CHECKED	JAWAD	JOB NO. 17403
FILE NAME		
SHEET	C-101	



ROAD

Construction



LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY LINE	---
=====	EDGE PAVEMENT	=====
-----	EDGE CONCRETE	-----
-----	PAVEMENT PAINT	-----
-----	GRAVEL ROAD	-----
-----	CURB	-----
-----	CHAIN LINK FENCE	-----
-----	STOCKADE FENCE	-----
-----	GUARDRAIL	-----
-----	BOLLARD	-----
-----	GAS	-----
-----	GAS GATE VALVE	-----
-----	GAS METER	-----
-----	WATER	-----
-----	WATER GATE VALVE	-----
-----	HYDRANT	-----
-----	SEWER	-----
-----	FORCE MAIN	-----
-----	SEWER MH	-----
-----	STORM DRAIN	-----
-----	UNDERDRAIN	-----
-----	CATCH BASIN	-----
-----	DRAINAGE MH	-----
-----	CULVERT	-----
-----	OVERHEAD UTILITY	-----
-----	UTILITY	-----
-----	UNDERGROUND UTILITY	-----
-----	TRANSFORMER PAD	-----
-----	ELECTRICAL MANHOLE	-----
-----	TELEPHONE MANHOLE	-----
-----	LIGHT POLE/WALL	-----
-----	UTILITY POLE	-----
-----	CONCRETE	-----
-----	EC BLANKET	-----
-----	FILTER BARRIER	-----
-----	RIPPRAP	-----

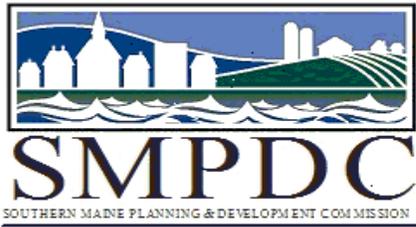
GENERAL NOTES:

- ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES ARE IN THE EXACT LOCATIONS SHOWN, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE AVAILABLE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND TAKE SUCH MEASURES CONSIDERED PRUDENT TO PROTECT SUCH UTILITIES DURING AND AFTER CONSTRUCTION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, OR RESTORING AND EXISTING UTILITIES DAMAGED DURING CONSTRUCTION. CALL 1-888-0USAFE.
- THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL ALL REQUIRED LOCAL, STATE AND FEDERAL APPROVALS HAVE BEEN OBTAINED.
- THE CONTRACTOR SHALL KEEP A COPY OF ALL PERMIT DOCUMENTS ON SITE FOR THE DURATION OF THE WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME FAMILIAR WITH ANY AND ALL PERMIT CONDITIONS ASSOCIATED WITH THE PROJECT APPROVALS AND TO ENSURE THAT THE SITE REMAINS IN COMPLIANCE WITH ALL PERMITS ISSUED BY LOCAL, STATE AND FEDERAL AUTHORITIES.
- USE OF SITE - THE CONTRACTOR SHALL LIMIT USE OF THE SITE TO THOSE AREAS WITHIN THE LIMIT OF WORK. THE CONTRACTOR SHALL ENSURE THAT ACCESS IS MAINTAINED TO DRIVEWAYS, OPEN SPACE AREAS (EXCEPT THOSE UNDER CONSTRUCTION), AND ENTRANCES SERVING PREMISES ADJACENT TO THE PROJECT SITE.
- THE CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR UNDERTAKING THE WORK IN A SAFE AND EFFICIENT MANNER, IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. ALL WORK AREAS SHALL BE CLEARLY DELINEATED AND FENCED APPROPRIATELY TO PREVENT UNAUTHORIZED ACCESS. OPERATION OF CONSTRUCTION EQUIPMENT OUTSIDE FENCED AREAS SHALL BE MINIMIZED TO THE EXTENT PRACTICAL. ALL EQUIPMENT OPERATION OUTSIDE OF CONSTRUCTION AREAS SHALL BE ACCOMPANIED BY APPROPRIATE PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL. THE SITE SHALL BE LEFT SECURE AND IN A SAFE AND ORDERLY MANNER AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND PERFORM ALL WORK NECESSARY TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN ACCESS TO AND FROM THE SITE DURING CONSTRUCTION.
- TRAFFIC CONTROL MEASURES, WHERE NECESSARY SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION), PUBLISHED BY THE FEDERAL HIGHWAYS ADMINISTRATION.
- MATERIALS NOTED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT A LICENSED FACILITY AT THE CONTRACTOR'S EXPENSE.



FOR PERMITTING ONLY
NOT FOR CONSTRUCTION

BERWICK CROSSING BERWICK, MAINE 03901 EXISTING CONDITIONS & REMOVALS PLAN		Atlantic Resource Consultants 541 US Route One Freeport, ME 04032 Tel. 207.869.8050	
DRAWN: MPM/MS DESIGNED: JAV/ADJ CHECKED: JAV/ADJ FILE NAME: SHEET: C-100	DATE: SCALE: 1" = 40' JOB NO: 17-000	GREAT LEAFS OF MAINE, LLC 28 WY. AVE. BOX 113 SEABROOK, NH 03824	



To: Berwick Planning Board
From: Lee Jay Feldman, Director of Planning
Date: 12/26/2019
Re: 513 Portland Street-Tricann-Adult Use Store front

I. Proposal

As you may recall, in October of 2018 this board approved a Medical Use and food prep facility for Tricann, LLC. In March they were back before this board seeking approval for a Medical Marijuana Storefront. Now Tricann is seeking approval to utilize the other portion of the building formally a Beauty shop to be used as an Adult use retail store.

The Adult use store front would be segregated by a separate entrance in the main lobby of the building with an operation schedule of 7 days a week and being open from 7am to 7pm daily. In expanding the operation, the business will go from 8 employees to approximately 25 employees.

The submission includes a revised architectural plan of the building and internal layout of the facility. The submission also shows the aerial of the facility with the proposed Employee parking area to the rear of the facility. Should the parking to the rear of the facility show that 25 employees can adequately park in this area? Rather than just showing the aerial maybe the applicant can explain employee rotation for work if proposed so not all 25 will be at the property at one time. This issue should be clarified.

Parking for the storefront portion of the building has not been calculated for this application at this time. I would suggest that the calculation needs to be based on Retail Sales and Office space as shown on the plan. Both the Retail and Office space would be calculated at a ratio of 1 space for ever 150 square feet of floor space this calculation is based on Article 7 section 7.8.C.3.i.

The submission also includes a security plan for your consideration.

II. Waivers

The application form includes Numerous waivers for your consideration. Under the Conditional Use portion of the submission nothing is checked for the inclusion of a Site Plan except that the Parking and Traffic circulation is checked based on the submission of the aerial photo. I am not sure that meets the needs of the board but that will be for the board to determine. Please review the waiver request carefully and the board may want to discuss this before finding the application complete.

III. Next Steps

1. Find the application complete or request additional information based on the checklist.
2. Set a date for the Public Hearing

PROJECT

TRICANN ALTERNATIVES

NAME

513 PORTLAND STREET
BERWICK, ME 03901

CLIENT

AARON BARTH

DRAWINGS

DRAWING No.	DRAWING NAME
SD-00	COVER SHEET
SD-01	EXISTING FLOOR PLANS - OPTION 1
SD-02	EXISTING ELEVATIONS
SD-03	PROPOSED COVER FLOOR PLAN - OPTION 1
SD-04	PROPOSED FIRST FLOOR PLAN - OPTION 1
SD-05	PROPOSED SECOND FLOOR PLAN - OPTION 1
SD-06	PROPOSED WEST & EAST ELEVATIONS
SD-07	PROPOSED SOUTH & NORTH ELEVATIONS
SD-08	PROPOSED SECTIONS - OPTION 1
SD-09	EXISTING FLOOR PLANS - OPTION 2
SD-10	PROPOSED COVER FLOOR PLAN - OPTION 2
SD-11	PROPOSED FIRST FLOOR PLAN - OPTION 2
SD-12	PROPOSED SECOND FLOOR PLAN - OPTION 2
SD-13	PROPOSED SECTIONS - OPTION 2



LASSEL
ARCHITECTS
378 MAIN STREET
SOUTH BERWICK, ME 03908
207 384 2049
lasselarchitects.com

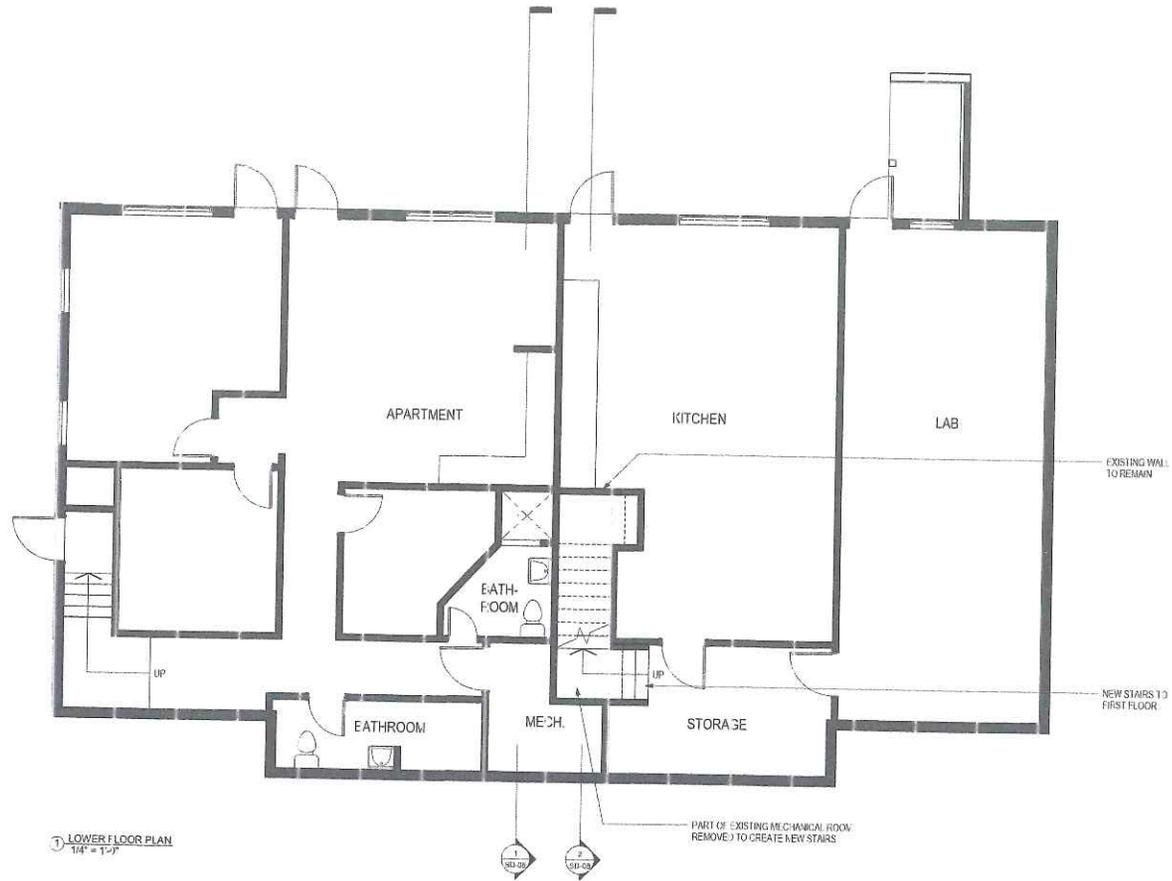
PREPARED BY: []
DATE: DEC 20 2019

DRAWN BY: []
CHECKED BY: []
DATE: []

COVER SHEET

SD-00

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1 LOWER FLOOR PLAN
 1/4" = 1'-0"

OWNER
AARON BARTH

PROJECT
TRICANN ALTERNATIVES

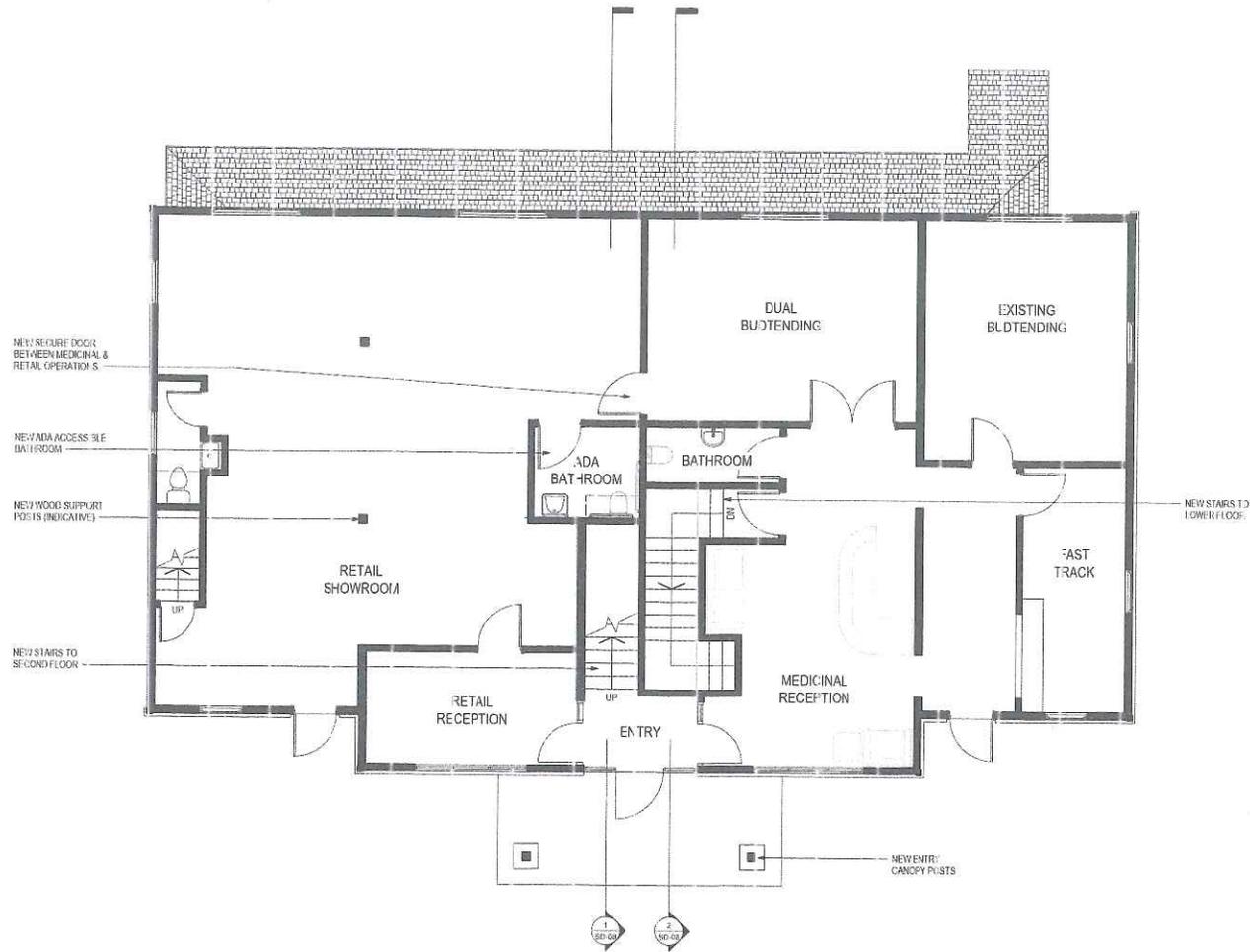
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REVISION	DATE	DESCRIPTION
01	10.17.19	ISSUE FOR PERMIT
02	08.20.19	ISSUE FOR PERMIT
03	08.11.19	ISSUE FOR PERMIT
04	08.02.19	ISSUE FOR PERMIT

PROJECT: SD-02
 DRAWING: SD-03
 TITLE: PROPOSED LOWER FLOOR PLAN - OPTION 1
 SCALE: 1/4" = 1'-0"

SD-03

10/20/2019 10:57 AM 210 C:\Users\lca\Documents\Projects\TRICANN\



1 FIRST FLOOR PLAN

 1/4" = 1'-0"

AARON BARTH

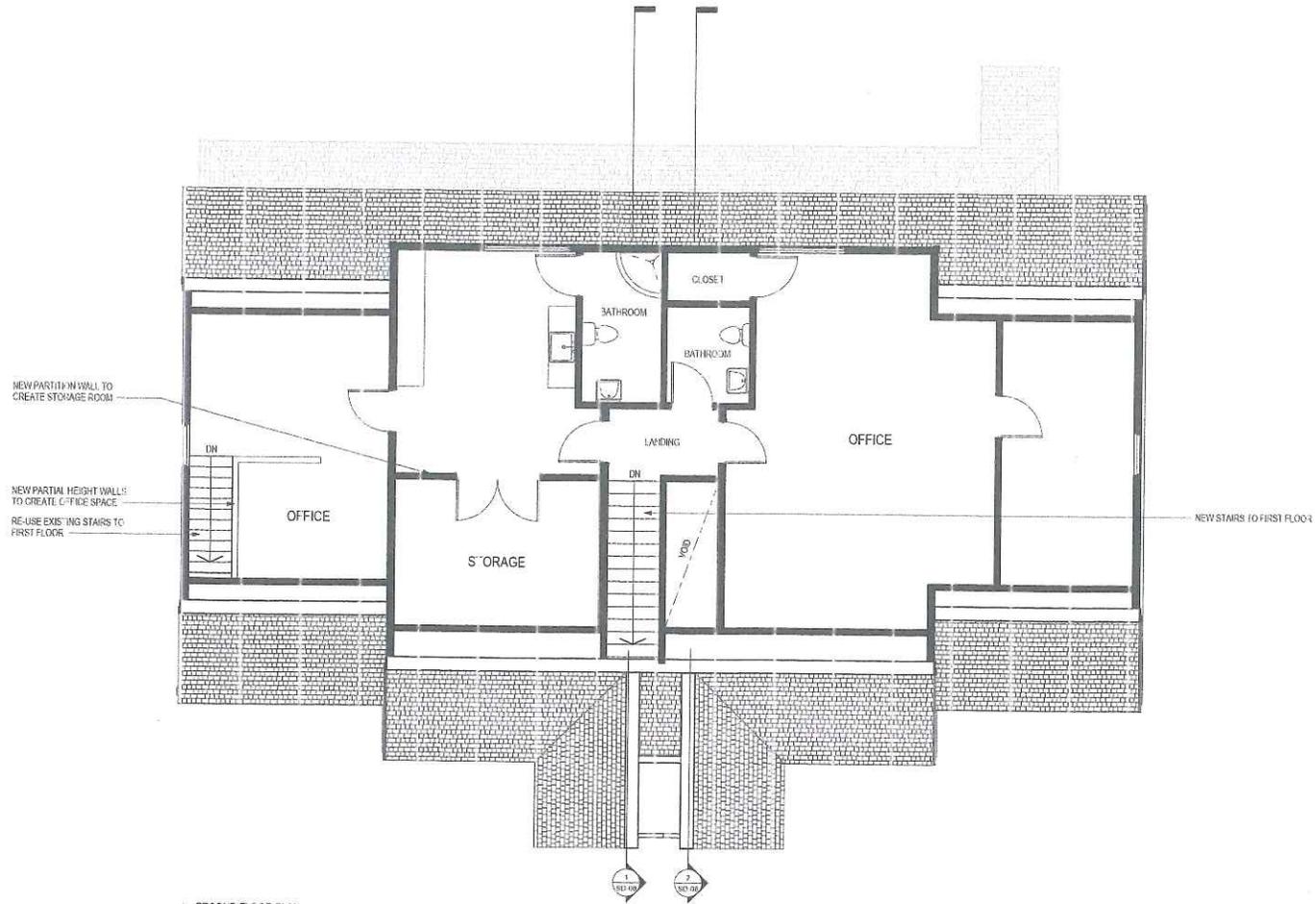
TRICANN ALTERNATIVES

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DESIGNER	LASSEL ARCHITECTS	PROJECT NAME	TRICANN ALTERNATIVES	PROJECT NUMBER	15-17
DATE	DEC. 2015	SCALE	1/4" = 1'-0"	PROJECT NAME	TRICANN ALTERNATIVES
DESIGNER	LASSEL ARCHITECTS	PROJECT NUMBER	15-17	PROJECT NAME	TRICANN ALTERNATIVES

PROPOSED FIRST FLOOR PLAN - OPTION 1

SD-04

12/16/2015 10:17 AM C:\Users\barth\Documents\2015\Tricann\15-17\15-17_01.dwg



1 SECOND FLOOR PLAN
 1/4" = 1'-0"

DATE
 AARON BARTH

TRICANN ALTERNATIVES

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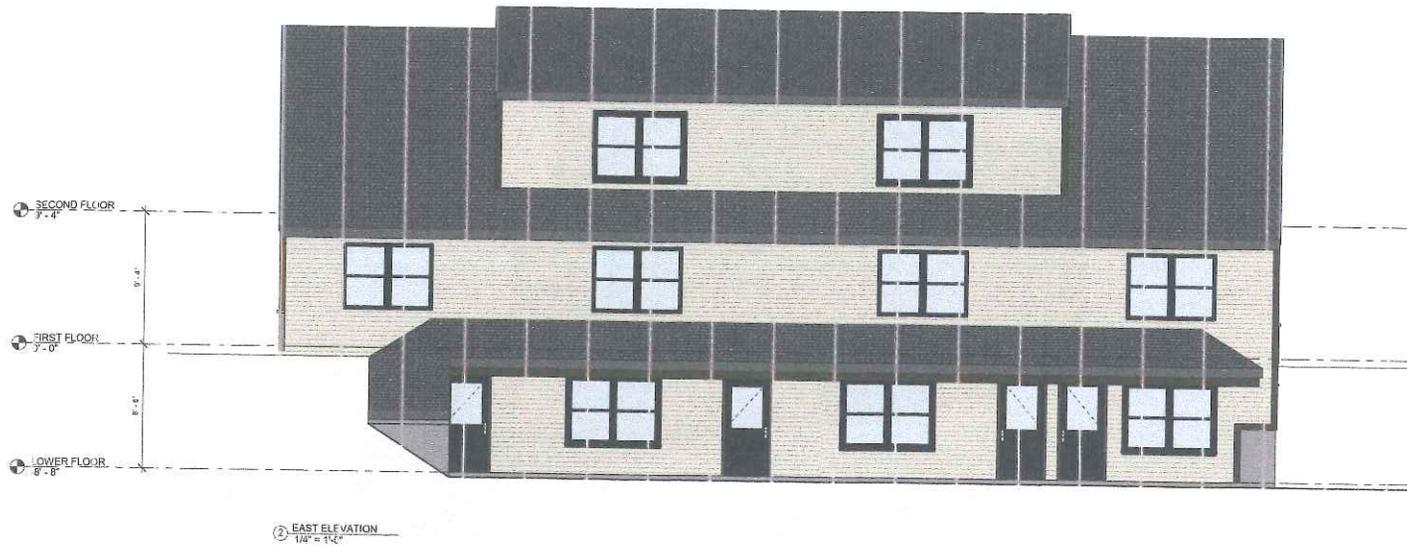
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NO.		DATE		SCALE		PROJECT NAME	
NO.		DATE		SCALE		PROJECT NAME	

SD-05

01/20/2019 10:17 AM - 2019 Lassel Architects 2019 All Rights Reserved



LASSEL
ARCHITECTS
 373 MAIN STREET
 SOUTH BURLINGTON, VT 05408
 802.244.2049
 lasselearchitects.com



DATE: AARON BARTH

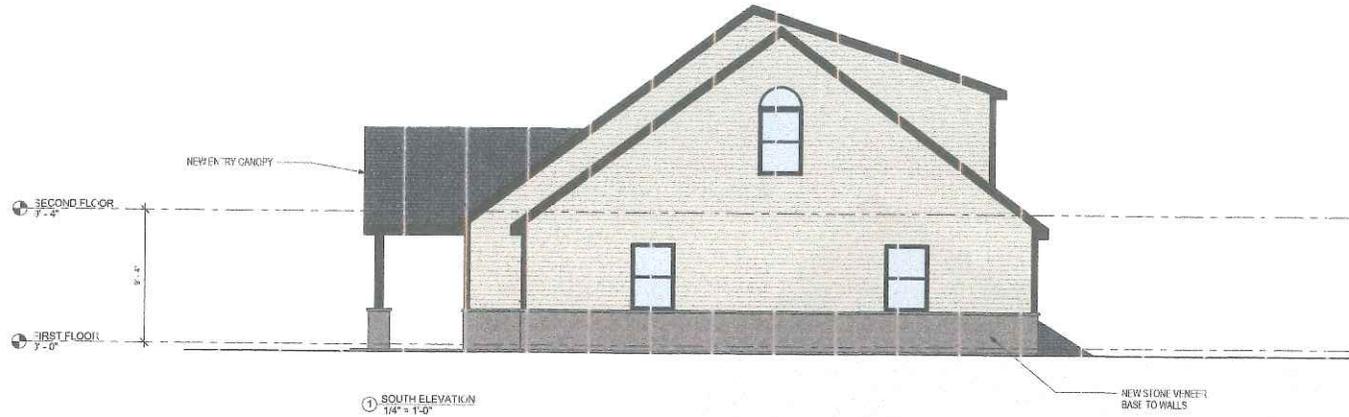
PROJECT: **TRICANN ALTERNATIVES**

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PROJECT NUMBER	DATE	DESCRIPTION
19-17		
DEC 2019		
SD-02		

PROPOSED WEST & EAST ELEVATIONS

SD-06



AARON BARTH

TRICANN ALTERNATIVES

REVISION NUMBER	DATE	DESCRIPTION
01	10.17	PROPOSED SOUTH & NORTH ELEVATIONS
02	10.28.19	
03	11.11.19	
04		
05		

SD-02 SD-07

10/28/2019 10:52 AM 2110 17_1.dwg (Project: 2110) 1/4" South & North Elevation



Town of Berwick

Where Tradition Meets Tomorrow

11 Sullivan Street, Berwick, Maine 03901

Phone: (207) 698-1101 Fax: (207) 698-5181

Website: www.berwickmaine.org

APPLICATION: CONDITIONAL USE PERMIT/SITE PLAN REVIEW

PLANNING BOARD REVIEW FEES (All Fees are Non-Refundable)		<input checked="" type="checkbox"/> \$500.00 Conditional Use Review <input type="checkbox"/> \$1,000.00* Site Plan Review * Site Plan Review requiring more than 10 hours of staff time will be billed at \$80/hour.		Site Plan Review[†] Please check any that apply: <input type="checkbox"/> Construction of 3,000 or more ft ² <input type="checkbox"/> Installment of 5,000 ft ² or more impervious surfaces. <input type="checkbox"/> Mobile Home Park <input type="checkbox"/> Extraction Industry <input type="checkbox"/> Multi-Family <input type="checkbox"/> None of the above			
PROPERTY DESCRIPTION	Parcel ID	Map: R72	Lot: 5	Zoning District: RCI	Total Land Area: 1.84	Part of a Subdivision (Y/N)	
	Physical Address	513 Portland Street Unit 1-10 Berwick ME 03901				Aquifer Protection (Y/N)	
						Shoreland Protection (Y/N)	
						Resource Protection (Y/N)	
						Special Flood Hazard Area (Y/N)	
APPLICANT OR REPRESENTATIVE INFORMATION	Name	Tricann Alternatives LLC		Mailing Address	513 Portland St Berwick ME 03901		
	Phone	207-704-2136		Email Address	Aron@Tricann.com		
PROJECT DESCRIPTION	Existing Use: Medical Cannabis Store front with Processing area						
	Project Name: Tricann Adult Use Store Front						
	Proposed Use Add in Adult use Cannabis Store front						
	Waiver(s) Requested:						

Planning Board meetings are the 1st and 3rd Thursday of each month at 6:30pm.

This application must be submitted at least **two weeks** in advance of the Planning Board meeting. On-going applications have a **one-week** submittal requirement. Please e-mail a complete application to planning@berwickmaine.org, submit the application fee and eight copies to the Planning Department with the requirements outlined on the other side of this application.

A Public Hearing and a site walk when necessary will be scheduled when the Planning Board finds the application complete. All expenses must be paid before a Certificate of Occupancy will be granted through the Code Enforcement Office. A performance guarantee may be required by the Planning Board.

CERTIFICATION. To the best of my knowledge, all information submitted with this application is true and correct.


 Signature of Applicant

12/11/2019
 Date

Submitted	Waiver Request	Conditional Use Application Requirements
<input checked="" type="checkbox"/>	N/A	List of Abutters located within 200 feet including tax map and lot number. Information can be found in the Assessing Database or GIS maps at www.berwickmaine.org
<input type="checkbox"/>	N/A	Right, Title and Interest to the Property: Copy of Deed, Purchase & Sale Agreement or subdivision approval.
<input type="checkbox"/>	<input type="checkbox"/>	Site Plan to include requirements in Section 9.8(F) of the Land Use Ordinance. Including: <input type="checkbox"/> Proposed buildings with room layout <input type="checkbox"/> Approximate boundaries of the parcel <input checked="" type="checkbox"/> Parking Plan <input checked="" type="checkbox"/> Traffic circulation with proposed exists and entrances <input type="checkbox"/> Lighting <input type="checkbox"/> Landscaping.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Written narrative describing proposed use including: <input type="checkbox"/> Total floor area <input type="checkbox"/> Ground coverage <input type="checkbox"/> Location of each proposed building <input type="checkbox"/> Setbacks to property line <input type="checkbox"/> Business Hours of Operation <input type="checkbox"/> Number of Employees <input type="checkbox"/> Materials to be Used Refuse/Garbage Disposal <input type="checkbox"/> Noise <input type="checkbox"/> Existing restrictions or easements on the site
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> External Plumbing Permit or permission letter to enter municipal water and sewer lines. OR on-site soils investigation report by licensed site evaluator.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Written statement documenting proposed Low Impact Design (LID) for the site to reduce storm water volumes. LID includes, but is not limited to: green roofs, rain gardens, tree wells, infiltration basins, and permeable pavement.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Materials to satisfy Section of 9.8.I.1 a through s as they apply to Conditional Use Review.

Submitted	Waiver Request	Site Plan Approval Requirements†
<input type="checkbox"/>	<input checked="" type="checkbox"/>	These requirements shall be met when the application meets any of the criterion of Section 9.8.E in the Land Use Ordinance.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Map or maps prepared at a scale of not less than 1" to 40'
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Perimeter survey of parcel certified by registered land surveyor Which meets all requirements of 9.8. criterion 2.b.i
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Topography indicating contours at intervals of not more than two feet in elevation unless otherwise specified by the Planning Board.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing and proposed locations and dimensions of any utility lines, sewer lines, water lines, easements, drainage ways, public or private ways
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location, ground floor area and elevations of buildings and other structures on site
<input type="checkbox"/>	<input checked="" type="checkbox"/>	On-site soils investigation which meets all requirements of 9.8.2.b.iv
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of on-site pedestrian and vehicular access ways, parking areas, loading and unloading facilities, design of ingress and egress of vehicles to and from the site on to public streets and curb and sidewalk lines
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Landscape plan showing location, type and approximate size of plantings and location and dimensions of all fencing and screening
<input type="checkbox"/>	<input checked="" type="checkbox"/>	A written statement that meets all 11 requirements of 9.8.F.2.c
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Materials to satisfy Section of 9.8.I.1 a through s as they apply to Site Plan Review.

Security plan for Town of Berwick:
Medical and Adult Use Cannabis Storefront,
Marijuana Infused Products and Oil Extraction Lab

- a. Tricann Alternatives, LLC
- b. Tricann Alternatives, 844-420-4325, and aaron@tricannalternatives.com
- c. New location to be determined, security plan based on floor plan submitted
- d. Cannabis Sales (Adult use and Medical), Cannabis extraction lab, commercial cannabis kitchen
- e. Hour of Operation: 7am to 7pm
- f. The location will be used for the sale of cannabis, oil extractions from raw cannabis plants and a commercial kitchen to make cannabis edibles, balms and capsules
- g. Aaron Barth, (207)-205-6448
- h. Business License: 81-4750375, Retail Certificate:1184446

Facility Security Requirements:

1. Lighting adequately illuminates all entry and exit points; Lights will be sufficient for observers to see cameras to record within 20 ft of all entry/ exit points
2. All doors and windows are lockable. Commercial grade locks will be used on all perimeter entry doors, as well as doors separating limited access areas from those areas open to visitors and customers.
3. No fence is present on property
4. Alarm sensors are present on all entry points and windows and are remotely monitored; Alarm system is remotely monitored by licensed security company capable of contacting the licensee and if necessary law enforcement. All windows will be lockable.
5. video cameras are present in all locations; cameras will be permanently fixed inside of each entry/exit point to allow for identification of persons entering and exiting premises and limited access areas. Cameras will be permanently fixed to allow the viewing of areas where marijuana plants, products, concentrates will be stored, prepped, and sold. Cameras will be fixed at the point of sale to allow identification of purchaser ensuring facial identity. Cameras will be fixed to allow recording of all activity within 20 ft of premises.
6. video cameras and storage meet all required specifications; Camera resolution will be 720 pixels or greater. Camera and storage system will be Internet protocol compatible. Cameras will record continuously for 24 hours at a minimum of 15 frames per second. All recordings will display accurate time and date. Surveillance storage system will be placed inside of safe room and/or on third party server. Recordings will be kept for minimum of 45 days.
7. Points of passage between public access areas, age restricted areas and limited access areas are lockable and/or monitored whenever people may be present in public areas.
8. In restricted retail areas, lockable and secure displays cases or counters of sufficient height to prevent public from handling marijuana plants/products without direct supervision of employee.

Tricann Alternatives LLC

Narrative

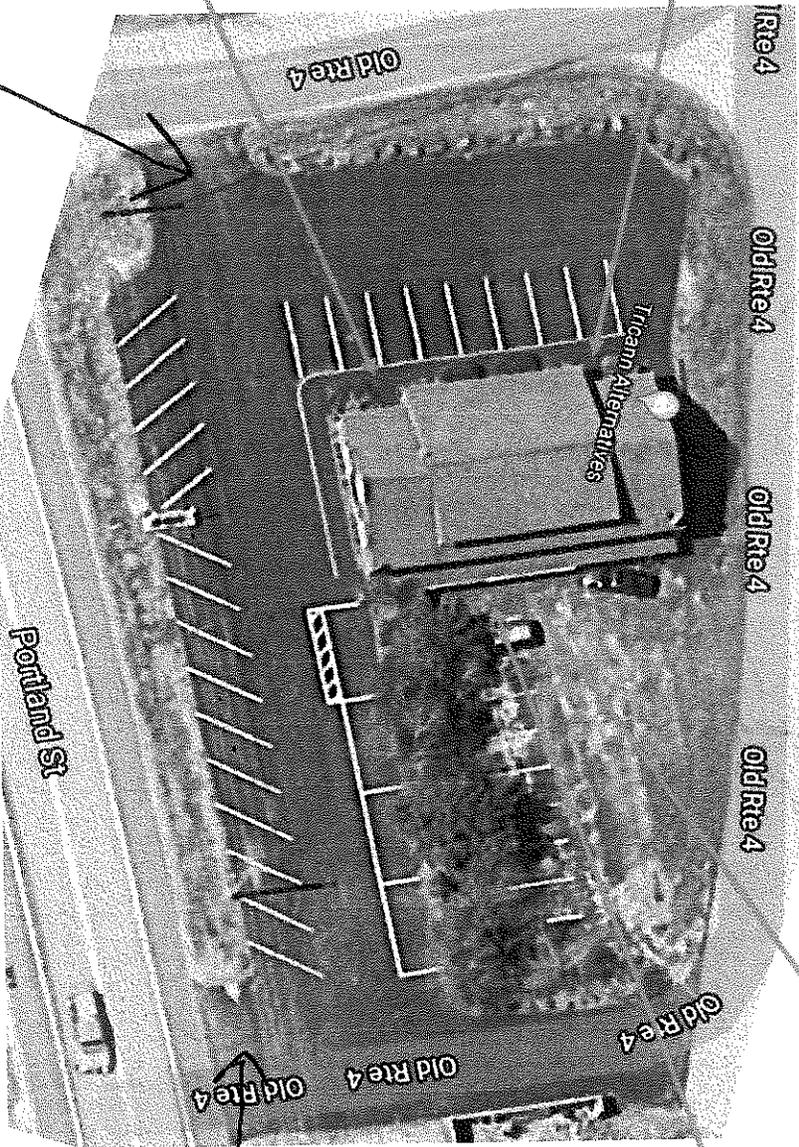
Tricann is a cannabis oriented company currently operating as a medical store front at 513 Portland St. Tricann is looking to include adult use retail sales into this location which will be physical separated by a separate entrance once within the main lobby. The hours of operations will parallel the existing hours which are 7am to 7pm 7 days a week.

Tricann is currently has 8 employees at 513 Portland St. in the medical side. We would anticipate having a total 20-25 employee's total.

Adult
use

Medical

Entrance



Employee
parking

Exit

List of Abutters within 200 feet of 513 Portland St.

- 1) Karl A. Bataran, 519 Portland St., Berwick ME 03901
- 2) Mark Pendergast, 320 Blackburry Hill Rd., Berwick Me 03901
- 3) Peter Pelletier, 4 Stone Lane, Berwick ME 03901
- 4) Gary Collins, PO Box 839 Berwick ME 03901

Tricann Parking Plan

To clarify the parking plan Tricann Currently has a total of 8 employees at the 513 Portland street location that are all scheduled at different times. The employee occupancy of the building at one time is no more than 4 employees on a shift.

Tricann anticipates to add an additional 5 employees per shift to occupy the adult use retail side. While maintaining the current staff on the medical side.

There are currently 13 parking spaces located in the rear of the building on the lower level. Thus leaving a total of 26 available spaces in the front and side upper parking lot for customer parking with 2 handicap locations.

The building is listed at 6,938 sq' with 4,625 sq' of office and retail with a ratio of 1 space for every 150 sq'. This allows for 30.83 spaces based on Article 7 Section 7.8.C.3.i.

8.25 Adult Use & Medical Marijuana

8.25.1. Purpose: The purpose of this section of the ordinance is to ensure that all cultivation, processing, storage, and distribution of Adult Use & Medical Marijuana does not have an adverse impact on the health, safety, and general welfare of the residents of the Town of Berwick, ME, while still allowing for treatment and alleviation of a qualifying patient's debilitating medical condition or symptoms associated with the qualifying patient's debilitating medical condition.

8.25.2. Exemptions: As an accessory use, Adult Use & Medical Marijuana Home Production shall be allowed in any qualifying patient's residence or any medical marijuana caregiver's primary year-round residence in every base zone and overlay zone.

8.25.3. Location:

~~Medical Marijuana Cooperatives and Medical Marijuana Production Facilities~~ are allowed in the R3 Zone only on properties which have frontage on Route 9. ~~or 4.~~

Adult Use & Marijuana Production Facilities and ~~Dispensaries~~ Medical Marijuana Storefronts cannot be within 1,000 feet of+:

- Any school – as measured from the nearest property line of the land used for the school to the nearest portion of the proposed business's building, via straight line measurement.
- Drug or Alcohol Treatment Facilities – as measured from the nearest property line of the land used for the treatment facility to the nearest portion of the proposed business's building, via straight line measurement.
- Child Care Centers – as measured from the nearest property line of the land used for child care purposes to the nearest portion of the proposed business's building, via straight line measurement.
- Other Marijuana Production Facilities & **Medical Marijuana Storefronts** – as measured from the nearest portion of the existing or pending center or store's building to the nearest portion of the proposed business's building, via straight line measurement.

+Marijuana Production Facilities permitted before Marijuana was defined in the Berwick Land Use Ordinance are subject to 500' setbacks from schools only.

8.25.4. Odor Control

All Marijuana Production Facilities and ~~Dispensaries~~ **Storefronts** must submit an odor control plan with the conditional use application.

A. Odor Control Plans shall consist of the following:

1. Specific Odor-emitting activity(ies) – This section should describe the odor emitting activities or processes (e.g., cultivation) that take place at the facility, the source(s) (e.g., budding plants) of those odors, and the location(s) from which they are emitted (e.g., flowering room)

2. Odor Mitigation Practices – For each odor-emitting source/process outlined in Section 1 of the odor control plan, specify the administrative and engineering controls the facility implements or will implement to control odors.

- The best control technology for marijuana cultivation facilities is carbon filtration.

8.25.5. Security

A. All growing of medical marijuana within a commercial production facility shall occur inside and only within a completely enclosed structure. This does not apply to home growing of medical marijuana.

B. Prior to granting approval, the Planning and/or Code Enforcement Department shall receive a written statement from the Berwick Chief of Police or designee that ~~security measures are acceptable and also consistent with State requirements.~~ the Department has reviewed the measures and if they have any recommendations.

8.25.6 Performance Standards

A. Signage and advertising. All signage and advertising for any facility responsible for the cultivation, manufacturing, sale or distribution of marijuana shall comply with all applicable provisions of the Land Use Ordinances.

~~B. Cultivation. If marijuana and/or products containing marijuana are sold on the same site, the cultivation area shall be no greater than 50% of the total floor area of the building.~~

C. Consumption.

- Pursuant Maine LR 2395 section 1501 subsection 2, marijuana in the Town of Berwick may only be consumed in a private residence or on private property. Such private property must not generally be accessible to the public and the consumption of marijuana or marijuana products must be explicitly permitted by the property owner. All other consumption limitations in Maine LR 2395 Section 1501 Subsection 2 shall apply in the Town of Berwick.

D. Visibility of activities. All activities of dispensaries, cultivation facilities, processing facilities and marijuana establishments shall be conducted indoors.

8.25.7 Permits

A. The following number of permits shall be issued and limited to:

- 1 Medical Marijuana Storefront in SC/I or C/I.
- 1 Medical Marijuana or Adult Use Production Facility in the R3 Zone on Route 9.
- 5 Medical Marijuana or Adult Use Storefronts (total) in RC/I
- 6 Medical Marijuana or Adult Use Production Facilities (total) in RC/I

Medical Marijuana Dispensary/Storefront: An entity registered pursuant to Section 6 of the State of Maine 10-144 CMR Chapter 122 Rules Governing the Maine Medical Use of Marijuana Program that acquires, possesses, cultivates, manufactures, delivers, transfers, transports, sells, supplies or dispenses marijuana, paraphernalia or related supplies and educational materials to qualifying patients and the primary caregivers of those patients.

OCT 2-2019

DANA R. CUTTON JR
20 ROCHESTER STREET P.O. BOX 922
BERWICK MAINE 03901
MAP U-4 LOT 87

I DANA CUTTON OF 20 ROCHESTER STREET
BERWICK MAINE WISH TO BE IN THE
OVERLAY DISTRICT ANRCOMMERCIAL
INDUSTRIAL ZONE

Dana R. Cutton Jr
603-842-2115