



# PLANNING BOARD MEETING AGENDA

Thursday May 7, 2020  
Town Hall Meeting Room  
6:30 p.m.

## **Call to Order**

## **Pledge of Allegiance**

## **Introduction of Board Members**

## **Public Comment**

## **Approval of Minutes**

1. April 16, 2020

## **Public Hearing**

2. Site Plan Review. Funeral Home (Service Business). Cemetery Road (R36-46) R2 Zone.  
Lang-Bibber Funeral Home

## **Old Business**

2. Site Plan Review. Funeral Home (Service Business). Cemetery Road (R36-46) R2 Zone.  
Lang-Bibber Funeral Home

## **New Business**

3. Site Plan Review. Solar Array (Essential Services & Construction over 3,000 ft<sup>2</sup>). 193  
Route 236 (R66 6-A) R2 Zone. Berwick Solar, LLC.
4. Site Plan Amendment. Commercial Storage. 387 School Street (R54-4) R2 Zone. PK  
Storage, LLC.

## **Public Comment**

## **Informational Items**

## **Adjournment**



# PLANNING BOARD MEETING MINUTES

Thursday April 16, 2020  
Town Hall Meeting Room  
6:30 p.m.

## Call to Order

## Pledge of Allegiance

## Introduction of Board Members

*Dave Andreesen; Sean Winston; Nichole Fecteau; Frank Underwood; Michael LaRue*

**Regular Member Absent:**

**Alternate Member Present:** *David Ross-Lyons (voting member)*

**Staff Members Present:** *Lee Jay Feldman, Director of Planning; James Bellissimo, Planner*

## Public Comment

## Approval of Minutes

### 1. March 5, 2020

James Bellissimo said the question on the March 5<sup>th</sup> minutes was if the Pond Road project was found complete, and upon review, the project was found complete by a vote of 5-0.

**Motion:** Frank Underwood motioned to approve the minutes.

**Second:** Sean Winston

**VOTED – 5-0 in favor**

## Motion Passed

In favor: Dave Andreesen; Sean Winston; Michael LaRue; Nichole Fecteau; Frank Underwood

Opposed: None

Abstain: None

April 2, 2020 Minutes

Frank Underwood asked to see the revised Findings of Fact on Silver Therapeutics.

**Motion:** Frank Underwood motioned to approve the minutes.

**Second:** Nichole Fecteau

**VOTED – 4-0-1 in favor  
Motion Passed**

In favor: Dave Andreesen; Sean Winston; Nichole Fecteau; Frank Underwood

Opposed: None

Abstain: Michael LaRue

## **Public Hearing**

2. Site Plan Review. Funeral Home. Cemetery Road (R36-46) R2 Zone. Lang-Bibber Funeral Home

One e-mail was sent in for the start of the Public Hearing. John Lapierre of 66 Cemetery Road asked about a potential existing easement on the site.

Geoff Aleva of Civil Consultants introduced himself as the representative of the applicant. Mr. Aleva said the Funeral Home will have two access points on Cemetery Road. Because of the site work required, the project required DEP permitting. Mr. Aleva said a caretaker's apartment will be on site.

John Lapierre of 66 Cemetery Road e-mailed several more comments and questions. Mr. Lapierre said Cemetery Road is not in good shape already and there is no room for on street parking. Mr. Lapierre said the process is unfair due to Governor's Stay at Home Orders.

The Planning Board discussed leaving the Public Hearing opening to ensure the process is fair. There was an extended discussion about process and procedures moving forward. The Board agreed on leaving the hearing open for an additional meeting. Lee Jay Feldman read through the Berwick Land Use Ordinance about needing to act on applications 30 days from the Public Hearing, the Ordinance reads shall and not may.

An additional question came in asking if there is no septic design, how is the application complete.

Frank Underwood asked if the 30-day clock is the first Public Hearing or when the Public Hearing is closed. The Board and Staff agreed to consult with the Town Attorney.

3. Site Plan Review. Adult Use Marijuana Cultivation Facility. 11 Pond Road (R70-16) RC/I Zone. CAF Realty of Maine.

Jerry and Alyson Graybill of 10 Pond Road introduced themselves as an abutter to the project. Ms. Graybill said they are in opposition of the proposal. Ms. Graybill asked if everyone had the opportunity to do a site walk. Ms. Graybill read the definition of frontage and read the location restrictions for Marijuana.

Ms. Graybill asked about the well water and how the use would affect the water quality. Ms. Graybill asked about how the wastewater would impact the groundwater.

Dave Andreesen paused the Public Hearing and asked the Board about the process.

Frank Underwood requested that the applicant address each of the three letters point by point. Mr. Underwood said he agreed the meeting should be face-to-face. Nichole Fecteau said with confusion on the Land Use Ordinance it is hard to navigate a hearing and clarifying the Ordinance. Sean Winston said the number of people in the hearing and some of the technological issues makes it challenging to continue.

Dave Andreesen asked if the 30-day requirement refers to the start of the Public Hearing or closing of the Public Hearing. Lee Jay Feldman said he would consult his attorney.

Frank Underwood asked about receiving a letter from The Town of South Berwick.

## **Old Business**

2. Site Plan Review. Funeral Home. Cemetery Road (R36-46) R2 Zone. Lang-Bibber Funeral Home

Lee Jay Feldman read through his memo and summarized the project to date. Mr. Feldman read one Conditional of Approval to provide the Town with a maintenance plan and log for the constructed stormwater features.

Geoff Aleva said the applicant feels there is enough overflow parking for 99% of services. If a larger service is needed, the service could be moved to another location or there would be a collaboration with the Cemetery to utilize the parking there and the Bibber Home would help people cross Cemetery Road.

Mr. Aleva said due to the size and nature of the use, the Funeral Chapel is allowed in the R2 Zone.

Frank Underwood asked about the covenants on the land acquired. Mr. Underwood reviewed the deed. Mr. Underwood requested any restrictions or covenants should be

carried forward onto the Site Plan. Mr. Underwood suggested a letter from the Cemetery Trustees.

Frank Underwood if there is a SIC number associated with Funeral Homes that the Board receives it to make sure they meet the waste standards.

Geoff Aleva addressed some of the covenant issues. Mr. Aleva said the sale went through the Cemetery Association but he will check to make sure there are no additional covenants restricting the land use.

3. Site Plan Review. Adult Use Marijuana Cultivation Facility. 11 Pond Road (R70-16) RC/I Zone. CAF Realty of Maine.

James Bellissimo addressed the frontage requirement. In the RC/I Zone certain Marijuana Establishments are allowed anywhere in the Zone. It is restricted to frontage on Route 9 in the R3 Zone.

Lee Jay Feldman read through his memo. Mr. Feldman pointed out the issues with the septic system easements. Mr. Feldman suggested that with the phasing, the applicant should provide an expected timeline for the phasing.

Michael Sievert of MJS Engineering introduced himself as the representative of the project. Mr. Sievert said a landscape engineer was brought on and the plan now includes a four-foot berm and different species of plants to screen the 13 Pond Road property. The total height for the plants will reach 14'-15' and that is done because the building is planned to have rooftop solar.

Mr. Sievert addressed questions about the septic easement. Mr. Sievert said there is a discrepancy between the recorded deed and recorded plan and can be fixed with a corrective deed.

Frank Underwood said he would weigh heavily on comments from the Fire Chief on access. Mr. Underwood reiterated he would like to see the applicant respond to each question on each letter before he would act on the application.

Two site walks were scheduled:  
Tuesday May 5 at 5PM and Thursday May 7 at 5PM

### **New Business**

4. Subdivision Amendment. 569 Portland Street (R72-9) RC/I Zone. Route 4 Self Storage and HP Cycles.

James Bellissimo read through his memo to the Board. The applicant is requesting a Minor Subdivision to a previously approved subdivision plan.

Neil Rapoza of Civil Consultants introduced himself as the representative on the project. Mr. Rapoza said the reason for the request is that several buildings are encroaching upon setbacks. Mr. Rapoza went over the recent history of lot splits and lot line adjustments. Frank Underwood asked why the third lot would need to be created if it is under the same ownership.

Nichole Fecteau and Frank Underwood said this would be a third lot on a private road which is not allowed unless the road is improved. Mr. Underwood suggested to complete the lot line adjustments to fix the setback issues.

### **Zoning Discussion**

Sean Winston said the Board should amend the ordinance so there is a requirement for frontage on Route 4.

### **Public Comment**

### **Informational Items**

The Board discussed the possibility of meeting in person while also meeting the social distancing guidelines.

### **Adjournment**

**Motion:** Michael LaRue motioned to adjourn.

**Second:** Sean Winston

**VOTED – 5-0 in favor**

**Motion Passed**

In favor: Dave Andreesen; Sean Winston; Michael LaRue; Nichole Fecteau; Frank Underwood

Opposed: None

Abstain: None

Minutes prepared by Berwick Planner James Bellissimo, for consideration at the next Berwick Planning Board meeting.

Signed as Approved by the Board:

\_\_\_\_\_

\_\_\_\_\_

**Town of Berwick Planning Board**  
**Site Plan Review - Findings of Fact**  
Applicant: Laing Bibber Funeral Home  
Cemetery Road (Map R36-Lot 46)  
**Date May 7, 2020**

This project is to construct a new 5,965 SF footprint funeral home building on the parcel located across from Evergreen Cemetery on Cemetery Road in Berwick, Maine. The 5.85 acre lot is situated in the Transitional Residential District (R2) zone. The new building will meet the 50 foot front setback and the 25 foot side and rear setbacks.

The lot is currently undeveloped woodlands. There will be 35,284 SF of new impervious area and approximately 75,000 SF of disturbance created as a result of this development. This includes the 5,965 SF proposed building, a 674 SF covered drop off area, and 28,645 SF of onsite parking and two new entrances for access to Cemetery Road. One of these will be located directly across the street from the northern entrance of the Evergreen Cemetery. This project requires a full Site Plan Review per the Town of Berwick Land Use Ordinance due to the construction of a building greater than 3,000 SF and the installment of more than 5,000 SF of impervious surface.

The project will require both a new private well and a new private septic system. The septic system will be designed by Civil Consultants using test pit information gathered from Ken Gardner on November 21, 2019. The proposed septic location is yet to be determined. Per section 7.17 of the Berwick Land Use Ordinance, Prior to final approval It would help to see the proposed septic system location and the separation from the proposed well.

Developments that create one or more acres of disturbed area shall meet the storm water management provisions specified in Chapters 500 and 502 of the Maine Department of Environmental Protection Stormwater Management rules. Since there will be less than an acre of impervious area, Chapter 500 requires only the basic standards be met. The applicant has received a stormwater permit from the Maine DEP. The current Stormwater design suggests that there will be a  $1.4 \pm$  cubic foot per second (cfs) increase in the water coming off the site during a 100-year storm. Although there are no runoff requirements for specific storm levels, the site has been designed to limit the storm water discharge off site. As part of this submission, an Erosion and Sedimentation Control Plan and a Stormwater Inspection and Maintenance Plan have been provided.

On March 5, 202 the applicant presented the proposal. One board member asked what happens to body fluids since the site is on a septic system? Are the fluids taken off site? The applicant indicated that they are not taken off site, the other facilities they have in Kennebunk and Wells have had no issues and have been in existence for many years.

The planning board found the application complete 5-0 and set a site walk date for the 19<sup>th</sup> of March at 5:30 and a Public Hearing to follow.

The Public Hearing was rescheduled for April 16<sup>th</sup>. At the Public Hearing one abutter was present and asked about a potential easement on the site, expressed concerns about the added traffic on Cemetery Road with the condition it is in and asked why there was not a septic system designed.

The Berwick Planning Board continued the Public Hearing to May 7<sup>th</sup>. During the meeting the Board vote \_\_\_ by vote of \_\_-.

### **Findings of Fact**

1. **Conformance with the Comprehensive Plan:** *All proposed conditional uses and site plans shall conform to the Comprehensive Plan of the Town of Berwick and with the provisions of all pertinent federal, state and local codes, ordinances, and regulations.*

**This application has been classified as a Service Business which is allowed in the zone which it is located.**

2. **Preserve and enhance the landscape:** *The landscape shall be preserved in its natural state insofar as practicable by minimizing tree removal, disturbance of soil, retaining existing vegetation during construction. After construction is complete, landscape shall be designed and planted that will define, soften or screen the appearance of off street parking areas from the right of way and abutting properties and/or structures in order to enhance the physical design of the building(s) or site, and to minimize the encroachment of the proposed use on the neighboring land uses.*

**The applicant has designed the project to minimize impacts to the landscape due to the stormwater design and wetlands that surround the site. The applicant has received a Maine DEP chapter 500 permit as well. The site has had a substantial amount of landscaping added to soften the visual impacts and enhances the stormwater design.**

3. **Relationship of the proposed buildings to the environment:** *Proposed structures shall be related harmoniously to the terrain and to the existing buildings in the vicinity which have a visual relationship to the proposed buildings. Special attention shall be paid to the bulk, location and height of the building(s) and such natural features such as slope, soil type and drainage ways.*

**The site has been designed to minimize wetland impacts and stormwater impacts.**

4. **Vehicular access:** *The proposed site layout shall provide for safe access and egress from public and private roads by providing adequate location, numbers and controls of access points including site distances, turning lanes, traffic signalization when required by existing and projected traffic flow on municipal road systems.*

**Access has been designed to minimize vehicle impacts. This site will not be utilized on a daily basis. By virtue of this being a demand driven business there will be times where no traffic will enter or leave the site on a regular basis.**

5. **Parking and circulation:** *The layout and design of all vehicular and pedestrian circulation, including walkways, interior drives, and parking areas shall provide for safe general interior circulation, separation of pedestrian and vehicular traffic, service traffic, loading areas, and arrangements and use of parking areas.*

**The site design is self-contained and interior circulation is not an issue**

6. **Surface water drainage:** *Adequate provision shall be made for surface drainage so that removal of surface waters will not adversely affect neighboring properties, downstream conditions, soil erosion or the public storm drainage system. Whenever possible, on-site absorption of unpolluted run-off waters shall be utilized to permit groundwater recharge on the site.*

**The site has natural wetlands surrounding the site. The applicant has designed the site so that the added water will flow to the wetlands. The site has received a Maine DEP stormwater permit with this design.**

7. **Existing utilities:** *The development shall not impose an unreasonable burden on sewers, sanitary and storm drains, water lines or other public utilities*

**The applicant has received capacity letter and approval from those public utilities being impacted.**

8. **Advertising features:** *The size, location, design, lighting and materials of all exterior signs and outdoor advertising structures or features shall not detract from the design of proposed buildings and structures and the surrounding properties.*

**The applicant proposes on sign on the front of the property. This sign must meet the sign standards prior to a permit being issued**

9. **Special features of the development:** *Exposed storage areas, exposed machinery installation, service areas, truck loading areas, utility buildings and similar structures shall have sufficient setback and screening to provide an audio/visual buffer to minimize their adverse impact on other land uses within the development area and surrounding properties.*

**The applicant proposes no outside storage or accessory structures. The building will be set back 100+feet off the road as designed**

10. **Exterior lighting:** *All exterior lighting shall be designed to minimize adverse impact on neighboring properties.*

**Outside lighting has been designed to minimize impacts and meets Dark Sky requirements**

11. **Emergency vehicle access:** *Provisions shall be made for providing and maintaining convenient and safe emergency vehicle access to all buildings and structures.*

**This site meets design requirements for emergency vehicle access.**

12. **Municipal services:** *The development will not have an unreasonable adverse impact on the municipal services including municipal road systems, fire department, police department, solid waste program, sewer treatment plant, school, open spaces, recreational programs and facilities, and other municipal service and facilities.*

**Impacted departments have commented on this project and suggested they have no issues with the project.**

13. **Will not result in water or air pollution:** *In making this determination, it shall at a minimum consider: The elevation of the land above sea level and its relationship to the floodplains, the nature of soils and subsoils and their ability to adequately support waste disposal; the slope of the land and its attest on effluents; and the applicable state and local health and water resources regulations.*

**The site is relatively flat, soils have shown the ability to pass HHE 200 septic system and a Maine DEP Stormwater permit has been issued**

14. **Has sufficient water available for the reasonably foreseeable needs of the development** *(this is usually considered to be ten years approximately).*

**A private well is proposed on the site. This will not impact the Public water supply.**

15. **Will not cause an unreasonable burden on an existing water supply,** *if a municipal or community water supply is to be utilized.*

**A private well is proposed on the site. This will not impact the Public water supply.**

16. **Will not cause soil erosion or reduction in the capacity of the land to hold water** *so that dangerous or unhealthy conditions may result.*

**Maine DEP Has issued a stormwater permit. The applicant has also put together a maintenance plan to assure that the system will continue to work correctly. The applicant has also provided an appropriate soil and erosion control plan.**

17. **Will provide for adequate sewerage waste disposal.**

**The applicant has provided soils analysis for the HHE 200 septic system design**

18. **Will not have adverse effects on the scenic or natural beauty of the area, aesthetics, or rare and irreplaceable natural areas.**

**The site design is set back off the street a considerable amount. This use is allowed in the current zone.**

19. **The developer has adequate financial and technical capacity to meet the above stated standards.**

**All of the information required to be submitted providing this proof has been provided.**

20. **Whenever situated in whole or in part within 250 feet of any pond, lake or river, will not adversely affect the quality of such body of water or affect the shoreline of such body of water, based on the standards outlined in Section 9.8.I.1.j.**

**This site is outside the above standard so it is not applicable**

21. **Low Impact Design:** *Each applicant is required to submit a statement to the Planning Board documenting proposed Low Impact Design (LID) for the site, which will help to reduce storm water volumes and help to enhance storm water quality. LID includes, but is not limited to, green roofs, rain gardens, tree wells, infiltration basins and permeable pavement.*

**The applicant has received a Maine DEP stormwater permit meeting the standards that the state has set forth.**

Conditions of Approval:

1. The landowner provide a copy of the stormwater maintenance log to the town's Code Enforcement Officer on a yearly basis.
2. The applicant provide a bond, letter of credit or other form of surety to the town's planning department prior to the start of construction. The value of the bond shall be equal to the cost of the stormwater system and stabilization of the project if it is not completed. Once the project is completed according to the design the Surety will be returned to the applicant.

This approval is contingent on the fact that the Findings of Fact were not available the evening of the approval therefore the findings or approval could be modified at the time the Planning board reviewed the Findings of Fact.

I, David Andreesen, certify that I am Chair of the Planning Board of the Town of Berwick, Maine, a Planning Board established pursuant to Maine State Statute (30 MRSA § 1917 and Title 30-A § 4401) and I further certify that this decision was approved by the Planning Board at its meeting of May 7, 2020

Vote to find the application Complete

Vote to approve

Vote on Findings of Fact

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David Andreesen, Chair, Berwick Planning Board



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**PLANNING BOARD MEMORANDUM  
TOWN OF BERWICK, PLANNING DEPARTMENT**

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**TO:** BERWICK PLANNING BOARD  
**FROM:** JAMES BELLISSIMO, PLANNER  
**SUBJECT:** BERWICK SOLAR, LLC – SITE PLAN REVIEW  
**DATE:** MARCH 19, 2020  
**CC:**

Berwick Solar, LLC proposes to install a 12.58-acre solar array in the Transitional Residential (R2) Zone. The Use is defined as Essential Services which is allowed by right in the zone. The project is reviewed as a Site Plan Review due to the construction of more than 3,000 square feet and the addition of 5,000 or more ft<sup>2</sup> of impervious surface. The project will add 0.8 acres or 34,848 ft<sup>2</sup> of impervious surface, this includes the road, concrete pads and mounting posts. Solar arrays are generally considered pervious because there is space between the arrays. There will be no additional buildings, well, or septic system constructed on the site. A chain link fence will be constructed around the solar array.

The applicant requested a Condition of Approval to perform a survey before construction and had asked for a waiver for the survey at application submittal. They asked for such a waiver because after Planning Board approval, the applicant will have to submit a competitive proposal to the Maine PUC. Staff requested the survey to be completed, as of April 30, 2020 the survey has not been submitted to the Town but it is expected for it to be completed before approval.

The applicant has also requested waivers for soil, traffic management and stormwater management and has provided an explanation in their application for each waiver request. The applicant noted they will be required to obtain a DEP stormwater permit as a precondition for construction.

According to the applicant, the array will not be visible from the roadway (Route 236, Pigtail Lane?) due to existing vegetation.

Inverters will generate a small hum during the day and produce no sound in the nighttime. The decibel level in the Berwick Land Use Ordinance is set at 60 decibels measured 4' above ground at the property boundary.

The approximate setbacks to property lines have been provided: Front Yard 388', Side Yard 58' and Rear Yard 1,344'. The R2 Zone's setbacks are 25' Side and Rear and 50' Front.

Once the array is constructed, there will be no full-time employees. Employees will service the site on a part-time basis for routine mowing or equipment service.

### **Planning Board Discussion Points & Decisions**

1. Deliberate on waivers requested
  - a. Survey, soil survey, traffic study, stormwater management plan

### **WAIVER REQUESTS**

The applicant makes the following waiver requests.

- Perimeter survey of parcel certified by registered land surveyor which meets all requirements of 9.8. criterion 2.b.i

The applicant requests that the perimeter survey be a pre-condition for receiving a permit after receiving Planning Board approval, including demonstration that the Project design adheres to the setbacks presented in this application. This approach seems reasonable given the flexibility in siting individual solar arrays and the overall available development area.

- On-site soils investigation which meets all requirements of 9.8.2.b.iv

No water supply or wastewater disposal systems will be required for this Project. During construction, anticipated water usage will include use of bottled drinking water or water trucked in from municipal sources for construction personnel and dust abatement. Water for dust abatement and HDDs will be from publicly accessible, off-site water sources, excluding streams, brooks, and groundwater sources. Surface water withdrawals will be conducted in accordance with the requirements of 38 M.R.S. § 470-B and, if applicable, pond water level regulations in 06-096 CMR Chapter 587. Water for dust abatement will be distributed via a tanker truck.

- Traffic Study

The facility will not be manned and as a result no impacts to traffic are anticipated, therefore with concurrence from the Planning Board a Traffic Study will not be conducted for this Project.

- Stormwater Management Plan

The surface specification for the roadway will be gravel and the level of impervious surfaces at the site (i.e., roadways, concrete pads, and mounting posts for panels) will be insignificant. Therefore, with concurrence from the Planning Board, a stormwater plan will not be completed for this Project.

2. Determine application completeness.
  - a. If complete, set the Public Hearing and Site Walk.



February 27, 2020

Lee Jay Feldman  
Director of Planning  
Town of Berwick  
11 Sullivan Street  
Berwick, Maine 03901

Re: **Application for Site Plan Review  
Berwick Solar Project**

Dear Mr. Feldman:

On behalf of Berwick Solar, LLC (the Applicant), Vanasse, Hangen, Brustlin, Inc. (VHB) is pleased to submit a Conditional Use Permit / Site Plan Review application and supplemental materials for Berwick Solar, LLC (the Project) to be located at 193 Route 236 in Berwick.

Please find enclosed the required application form and the following Attachments:

- Written Narrative, Waiver requests, and Low Impact Design statement;
- Abutting Property Owners;
- Notice of Option;
- Statement on compliance with Berwick Performance Standards;
- Site Plan Waivers and Statement on conformance; and
- Site Plans.

**Project Overview:**

Berwick Solar, LLC is proposing the installation of a solar farm array consisting of approximately of 7,492 solar panels. The total Project area will be ~12.58 acres (including a chain link fence surrounding the solar array). The Project is designed to maximize solar energy output and minimize impacts on the environment, surrounding landowners and land uses, and to comply with federal, state and local land use regulations. The Project does not involve or require any new public or private water supply, sewage disposal, solid waste disposal, new paved surfaces, or new parking.

Please note the following regarding select performance standards and applicability to the Project:

- The facility will not be manned and as a result no impacts to traffic are anticipated, therefore with concurrence from the Planning Board a Traffic Study will not be conducted for this Project.
- The surface specification for the roadway will be gravel and the level of impervious surfaces at the site (i.e., roadways, concrete pads, and mounting posts for panels) will be insignificant. Therefore, with concurrence from the Planning Board, a stormwater plan will not be completed for this Project.



- Applicant has a vested interest in ensuring that soils are suitable for the development and will complete geotechnical borings prior to construction. In addition, publicly available data suggests the soils would be suitable. As such, given the nature of this Project and its construction needs, with concurrence from the Planning Board a soil survey will not be conducted at this time.
- The Applicant is coordinating with the Berwick Fire Chief regarding the availability of fire hydrants and/or fire ponds or provision of fire protection services for this Project; as such, this submittal does not include a statement from the Fire Chief.

Thank you for your timely review of the enclosed materials. Please do not hesitate to contact me at if you have any questions regarding the Project at [gpaquette@VHB.com](mailto:gpaquette@VHB.com) or (207) 889-3102. We look forward to meeting with you and the Planning Board to discuss the Project.

Sincerely,

A handwritten signature in blue ink, appearing to read "Gil Paquette".

Gil Paquette CWB, PWS  
Managing Director

#### Attachments

#### Cover Letter CC:

Stephen G. Eldridge, Town Manager  
Thomas Wright, Board of Selectmen  
Noah Cobb, Board of Selectmen  
Edwin Ganiere, Board of Selectmen  
Kenneth D. Manning, Jr., Board of Selectmen  
Mark Pendergast, Board of Selectmen  
Dave Andreesen, Planning Board  
Nichole Fecteau, Planning Board  
Michael LaRue, Planning Board  
David Ross-Lyons, Planning Board  
Frank Underwood, Planning Board  
Sean Winston, Planning Board  
Robert Perschy, Highway Foreman  
Dennis Plante, Fire Chief  
Timothy Towne, Police Chief



# Town of Berwick

Where Tradition Meets Tomorrow

11 Sullivan Street, Berwick, Maine 03901

Phone: (207) 698-1101 Fax: (207) 698-5181

Website: [www.berwickmaine.org](http://www.berwickmaine.org)

## APPLICATION: CONDITIONAL USE PERMIT/SITE PLAN REVIEW

<b>PLANNING BOARD REVIEW FEES</b> <i>(All Fees are Non-Refundable)</i>		<input checked="" type="checkbox"/> \$500.00 <b>Conditional Use Review</b> <input checked="" type="checkbox"/> \$1,000.00* <b>Site Plan Review</b> <i>* Site Plan Review requiring more than 10 hours of staff time will be billed at \$80/hour.</i>		<b>Site Plan Review<sup>+</sup></b> Please check any that apply: <input checked="" type="checkbox"/> Construction of 3,000 or more ft <sup>2</sup> <input type="checkbox"/> Installment of 5,000 ft <sup>2</sup> or more impervious surfaces. <input type="checkbox"/> Mobile Home Park <input type="checkbox"/> Extraction Industry <input type="checkbox"/> Multi-Family <input type="checkbox"/> None of the above			
<b>PROPERTY DESCRIPTION</b>	Parcel ID	Map: R-66	Lot: 6-A	Zoning District: R2	Total Land Area: 29.9	Part of a Subdivision (Y/N)	N
	Physical Address	193 Route 236 Berwick, ME 03901				Aquifer Protection (Y/N)	N
						Shoreland Protection (Y/N)	N
						Resource Protection (Y/N)	N
						Special Flood Hazard Area (Y/N)	N
<b>APPLICANT OR REPRESENTATIVE INFORMATION</b>	Name Gil Paquette, agent for Berwick Solar, LLC			Mailing Address	VHB 500 Southborough Drive, Suite 105B South Portland, ME 04106-6928		
	Phone	207-889-3102		Email Address	gpaquette@vhb.com		
<b>PROJECT DESCRIPTION</b>	<u>Existing Use:</u> Undeveloped						
	<u>Project Name:</u> Berwick Solar, LLC						
	<u>Proposed Use:</u> Utility solar facility						
	<u>Waiver(s) Requested:</u> Perimeter survey, soil survey, traffic study, stormwater management plan						

**Planning Board meetings are the 1<sup>st</sup> and 3<sup>rd</sup> Thursday of each month at 6:30pm.**

This application must be submitted at least **two weeks** in advance of the Planning Board meeting. On-going applications have a **one-week** submittal requirement. Please e-mail a complete application to [planning@berwickmaine.org](mailto:planning@berwickmaine.org), submit the application fee and eight copies to the Planning Department with the requirements outlined on the other side of this application.

A Public Hearing and a site walk when necessary will be scheduled when the Planning Board finds the application complete. All expenses must be paid before a Certificate of Occupancy will be granted through the Code Enforcement Office. A performance guarantee may be required by the Planning Board.

**CERTIFICATION. To the best of my knowledge, all information submitted with this application is true and correct.**

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

Submitted	Waiver Request	Conditional Use Application Requirements
<input checked="" type="checkbox"/>	N/A	List of Abutters located within 200 feet including tax map and lot number. Information can be found in the Assessing Database or GIS maps at <a href="http://www.berwickmaine.org">www.berwickmaine.org</a>
<input checked="" type="checkbox"/>	N/A	Right, Title and Interest to the Property: Copy of Deed, Purchase & Sale Agreement or subdivision approval.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Site Plan to include requirements in Section 9.8(F) of the Land Use Ordinance. Including: <input checked="" type="checkbox"/> Proposed buildings with room layout <input checked="" type="checkbox"/> Approximate boundaries of the parcel <input checked="" type="checkbox"/> Parking Plan <input checked="" type="checkbox"/> Traffic circulation with proposed exists and entrances <input checked="" type="checkbox"/> Lighting <input checked="" type="checkbox"/> Landscaping.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Written narrative describing proposed use including: <input checked="" type="checkbox"/> Total floor area <input checked="" type="checkbox"/> Ground coverage <input checked="" type="checkbox"/> Location of each proposed building <input checked="" type="checkbox"/> Setbacks to property line <input checked="" type="checkbox"/> Business Hours of Operation <input checked="" type="checkbox"/> Number of Employees <input checked="" type="checkbox"/> Materials to be Used Refuse/Garbage Disposal <input checked="" type="checkbox"/> Noise <input checked="" type="checkbox"/> Existing restrictions or easements on the site
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> External Plumbing Permit or permission letter to enter municipal water and sewer lines. OR on-site soils investigation report by licensed site evaluator.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Written statement documenting proposed Low Impact Design (LID) for the site to reduce storm water volumes. LID includes, but is not limited to: green roofs, rain gardens, tree wells, infiltration basins, and permeable pavement.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Materials to satisfy Section of 9.8.I.1 a through s as they apply to Conditional Use Review.

Submitted	Waiver Request	Site Plan Approval Requirements <sup>†</sup> These requirements shall be met when the application meets any of the criterion of Section 9.8.E in the Land Use Ordinance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Map or maps prepared at a scale of not less than 1" to 40'
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Perimeter survey of parcel certified by registered land surveyor Which meets all requirements of 9.8. criterion 2.b.i
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Topography indicating contours at intervals of not more than two feet in elevation unless otherwise specified by the Planning Board.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Existing and proposed locations and dimensions of any utility lines, sewer lines, water lines, easements, drainage ways, public or private ways
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location, ground floor area and elevations of buildings and other structures on site
<input type="checkbox"/>	<input checked="" type="checkbox"/>	On-site soils investigation which meets all requirements of 9.8.2.b.iv
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of on-site pedestrian and vehicular access ways, parking areas, loading and unloading facilities, design of ingress and egress of vehicles to and from the site on to public streets and curb and sidewalk lines
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscape plan showing location, type and approximate size of plantings and location and dimensions of all fencing and screening
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A written statement that meets all 11 requirements of 9.8.F.2.c
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Materials to satisfy Section of 9.8.I.1 a through s as they apply to Site Plan Review.

## **Attachment A**

### **Narrative**

## **PROJECT NARRATIVE**

Berwick Solar, LLC (Applicant) is proposing the installation of solar array consisting of approximately 7,492 solar panels (Project). The total area impacted will be ~12.58 acres, including a chain link fence surrounding the solar array. The Project is designed to maximize solar energy output and minimize impacts on the environment, surrounding landowners and land uses, and to comply with the land use regulations of the Town of Berwick and State of Maine.

Proposed Project components include access roads, solar panels, inverters, collector and transmission lines, and other necessary infrastructure (e.g., security fences). The location of these facilities is provided on the attached site plan. There are no buildings and therefore no floor area. Chain link fencing will be installed around the solar arrays. Setbacks for the fencing will adhere to the requirements for the R-2 Transitional Residential Zoning District. No exterior lighting is proposed for the facility, as none is required to meet the National Electrical Safety Code (NESC). Based on the distance of the Project site from public roadways and the proposed setbacks from the perimeter fencing, no plantings are proposed.

No water supply or wastewater disposal systems will be required for this Project. During construction, anticipated water usage will include use of bottled drinking water or water trucked in from municipal sources for construction personnel and dust abatement. Water for dust abatement will be from publicly accessible, off-site water sources, excluding streams, brooks, and groundwater sources. Surface water withdrawals will be conducted in accordance with the requirements of 38 M.R.S. § 470-B and, if applicable, pond water level regulations in 06-096 CMR Chapter 587. Water for dust abatement will be distributed via a tanker truck.

### Ground Cover

The total area impacted will be ~12.58 acres, including a chain link fence surrounding the solar array. The total impervious area will be ~0.80 acres, which includes roadways, concrete pads, and mounting posts for panels.

### Location of Each Proposed Building

No buildings are proposed for the site.

### Setbacks to Property Line

The setbacks proposed for the Project are as follows:

- Front Yard: 388 feet
- Side Yard: 58 feet
- Rear Yard: 1,344 feet

### Business Hours of Operation

Electricity generation and routine maintenance (e.g. mowing, equipment upkeep) will occur only during daylight hours.

### Number of Employees

During operations, the Project area will be staffed periodically to complete routine maintenance (i.e., mowing or equipment servicing) or to effect repairs in the event of equipment breakdown. These visits will generally be of short duration and so the long-term traffic volume generated by the development will be negligible. After construction, there will be no full-time employees. Crews of two to four would be expected to access the site periodically for routine maintenance activities.

### Materials to be Used Refuse / Garbage Disposal

Construction of the Project is expected to generate cardboard waste (e.g. broken-down solar panel boxes) and clean wood waste (e.g. wood pallets). Recycling and reuse will be the preferred method of disposing of these solar panel delivery materials. A licensed disposal facility will be contracted to accept and recycle or dispose of waste generated from the Project. Solid waste during operation of the facility is expected to be limited to materials associated with the replacement of equipment and a similar contracting arrangement will be made with a licensed disposal facility. No hazardous waste will be generated by the Project.

### Noise

During the Project's construction phase there will be minor and temporary noise from construction equipment and vehicles. Noise associated with the construction phase of the Project will occur generally during daylight hours. If blasting is required for the Project, there will be short-duration blasts and notifications will occur in compliance with a Blasting Plan. During operations, the Project will produce minimal noise. The Project inverters will generate a small hum when producing electricity during daylight hours; no sound will be generated by the Project during nighttime hours as the inverters will not operate at night.

### Existing Restrictions or Easements

The applicant is unaware of any existing restrictions or easements on the site.

**Attachment B**

**Abutting Property Owners**

## **Abutting Property Owners**

### **Property Owner Proposed Solar Farm:**

LRB Leasing LLC

249 Wells Street

North Berwick, ME 03906

Tax Map R-66, Lots 6, 6-A

### **Abutting Property Owners:**

Owner: Joseph & Linda Tiberio Trustees

Co-Owner: Joelin Family Trust

23 Joelin Lane

Berwick, ME 03901

Tax Map R-58, Lot 1

Lisa A. Emery

61 Pigtail Lane

Berwick, ME 03901

Tax Map R-58, Lot 2

Norman R. Albert

43 Spencer Lane

Lebanon, ME 04027

Tax Map R-58, Lot 3-A

Albert R. & Ilya Thomits

27 Pigtail Lane

Berwick, ME 03901

Tax Map R-66, Lot 4

David and Deborah Dagan

189 Route 236

Berwick, ME 03901

Tax Map R-66, Lot 5

Larry and Margaret Dagan

15 Pigtail Lane

Berwick, ME 03901

Tax Map R-66, Lot 5A

Les Bodwell

249 Wells Street

North Berwick, ME 03906

Tax Map R-66, Lot 6

Upkeep Maintenance Inc.

11 Crescent Street

South Berwick, ME 03908

Tax Map R-66, Lot 7

David B. Thibault  
203 Route 236  
Berwick, ME 03901  
Tax Map R-66, Lot 8

Owner: Thomas A. Daly, Trustee Rev  
Co-Owner: Marsha K., Trustee Rev TRST  
23 Munsey Drive  
Hampton, NH 03824  
Tax Map R-66, Lot 9  
Gerard and Aubrey Vaillancourt  
198 Route 236  
Berwick, ME 0391  
Tax Map R-66, Lot 12

**Attachment C**  
**Notice of Option**



**NOTICE OF OPTION TO LEASE**

NOTICE is hereby given in accordance with Maine General Laws of the following Option to Lease:

**LESSOR/OPTIONOR:**

LRB Investments, LLC  
249 Well St, North Berwick, ME 03906

**LESSEE/OPTIONEE:**

Berwick Solar, LLC  
20 Park Plaza, Suite 1101, Boston, Massachusetts 02116

**DATE OF EXECUTION OF OPTION:**

1/8/2020

**OPTION PREMISES:**

The approximately 20 acre premises, located at 193 Route 236, Berwick, ME 03901 comprised of all or a portion of two (2) parcels in Berwick, ME. Tax Parcel Map 66-6 and Map 66-6-A and recorded in the York County Registry of Deeds in Plan Book 8291, Page 245, as more specifically described in Exhibit A attached hereto and made a part hereof.

**OPTION TERM:**

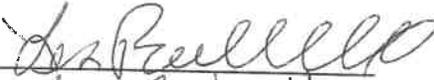
Commencing November 8, 2019 and expiring November 15, 2021, unless sooner terminated as set forth in such Option Agreement.

7p → EMI Attn Zach Gordon  
20 Park Plaza Ste 1101  
Boston MA 02116

Executed under seal as of the date first above written.

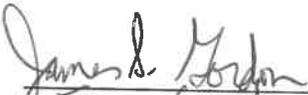
[Lessor]

LRB Investments, LLC

By:   
Name: Les Bodwell  
Title: President

[Lessee]

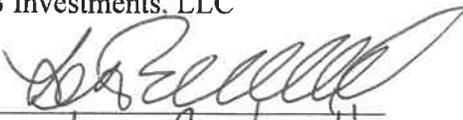
Berwick Solar LLC.

By:   
Name: James S. Gordon  
Title: President

Executed under seal as of the date first above written.

[Lessor]

LRB Investments, LLC

By: 

Name: Les Bodwell

Title: President

[Lessee]

Berwick Solar LLC.

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

State of Maine

\_\_\_\_\_ County, ss.

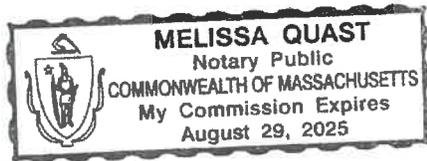
On this \_\_\_\_ day of \_\_\_\_\_, 2019, before me, the undersigned notary public, personally appeared \_\_\_\_\_, \_\_\_\_\_ of LRB Investments, LLC, proved to me through satisfactory evidence of identification, which was \_\_\_\_\_, to be the person whose name is signed on the preceding document, and acknowledged to me that he/she signed it voluntarily for its stated purpose.

\_\_\_\_\_  
Notary Public  
Print Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

Commonwealth of Massachusetts

Suffolk \_\_\_\_\_ County, ss.

On this 8<sup>th</sup> day of January, 2020, before me, the undersigned notary public, personally appeared James Gordon, Member of Berwick Solar, LLC, proved to me through satisfactory evidence of identification, which was MA Drivers License, to be the person whose name is signed on the preceding document, and acknowledged to me that he/she signed it voluntarily for its stated purpose.



Melissa Quast  
\_\_\_\_\_  
Notary Public  
Print Name: Melissa Quast  
My Commission Expires: 8/29/25

State of Maine

YORK County, ss.

On this 13 day of JANUARY, <sup>2020</sup>~~2019~~, before me, the undersigned notary public, personally appeared LES BODWELL, PRESIDENT of LRB Investments, LLC, proved to me through satisfactory evidence of identification, which was DRIVER LICENSE, to be the person whose name is signed on the preceding document, and acknowledged to me that he/she signed it voluntarily for its stated purpose.



Notary Public

Print Name: CYNTHIA A. MORSE

My Commission Expires:

**Seal**

**CYNTHIA A. MORSE  
NOTARY PUBLIC  
State of Maine  
My Commission Expires  
May 10, 2026**

Commonwealth of Massachusetts

\_\_\_\_\_ County, ss.

On this \_\_\_\_ day of \_\_\_\_\_, 2019, before me, the undersigned notary public, personally appeared \_\_\_\_\_, \_\_\_\_\_ of Berwick Solar, LLC, proved to me through satisfactory evidence of identification, which was \_\_\_\_\_, to be the person whose name is signed on the preceding document, and acknowledged to me that he/she signed it voluntarily for its stated purpose.

\_\_\_\_\_  
Notary Public

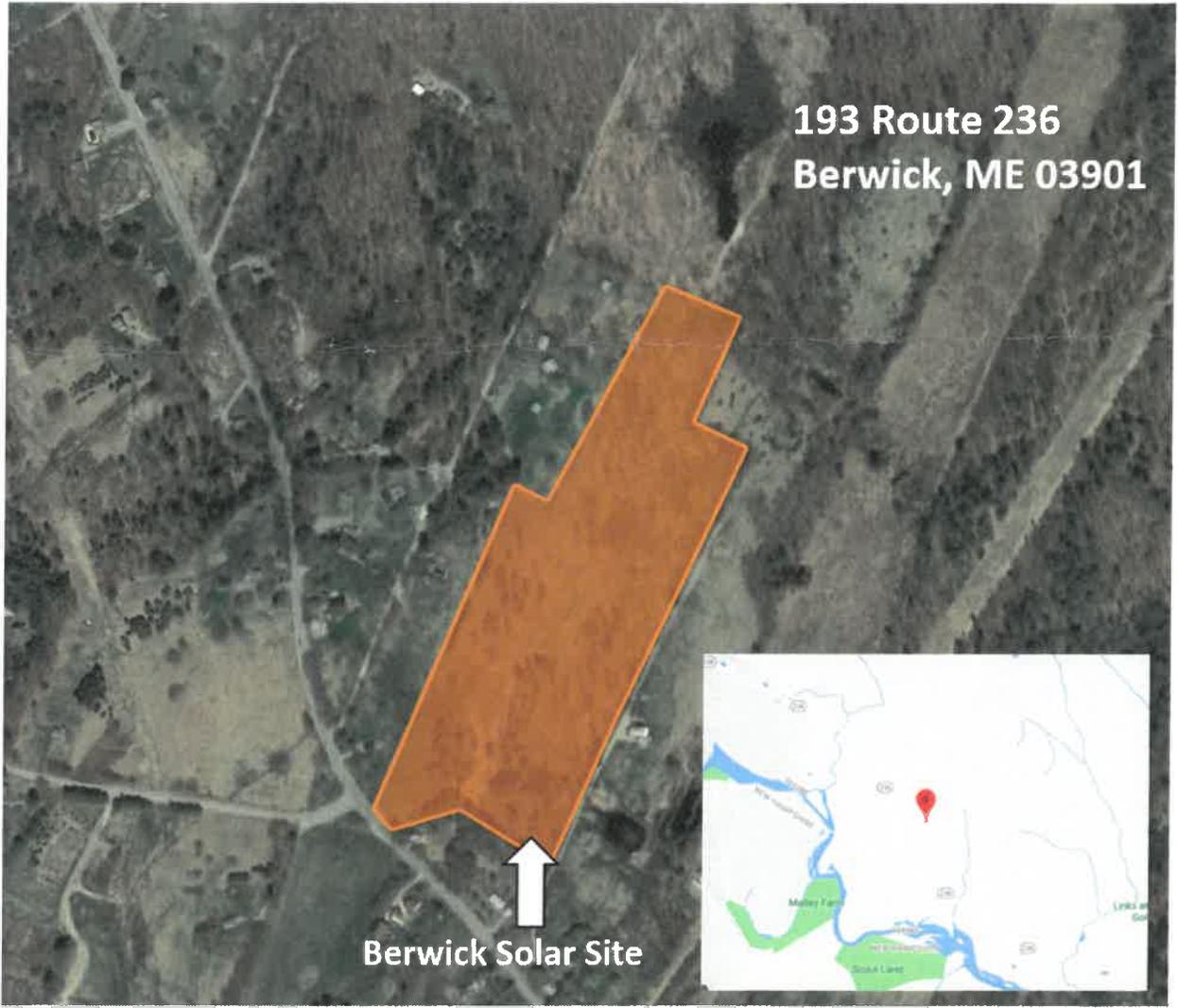
Print Name: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

Exhibit A

Description of the Property

POOR ORIGINAL WHEN RECORDED





## **Attachment D**

### **Berwick Performance Standards**

## BERWICK PERFORMANCE STANDARDS

The following information is presented to demonstrate that the Project as designed adheres to Section 9.8.1.1 a through s in the Berwick Land Use Ordinance.

**a. Conformance with Comprehensive Plan: All proposed conditional uses and site plans shall conform to the Comprehensive Plan of the Town of Berwick and with the provisions of all pertinent federal, state, and local codes, ordinances, and regulations.**

The Project is designed to maximize solar energy output and minimize impacts on the environment, surrounding landowners and land uses, and to comply with applicable federal, state, and local codes, ordinances, and regulations. The Project as designed is consistent with the Town of Berwick's Comprehensive Plan.

**b. Preserve and enhance the landscape: The landscape shall be preserved in its natural state insofar as practicable by minimizing tree removal, disturbance of soil, retaining existing vegetation during construction. After construction is complete, landscape shall be designed and planted that will define, soften or screen the appearance of off street parking areas from the right of way and abutting properties and/or structures in order to enhance the physical design of the building(s) or site, and to minimize the encroachment of the proposed use on the neighboring land uses.**

Disturbance of soils (grading, removal of soil, and importation of gravel materials) will be minimized to the greatest extent practicable. Site layout was developed to target areas that are conducive to solar array installation; however, some localized grading may be necessary to ensure array areas are in accordance with the tolerances of array racking equipment (approximately 15% or less) and to accommodate safe construction and operations.

The roadways will be constructed with gravel, rather than pavement. Following construction the remainder of the Project area will be revegetated and maintained as meadow or low-lying brush and scrub. No other Low Impact Design options are proposed at this time.

The solar facility will not be visible from the roadway due to existing vegetation on surrounding parcels. Based on the proposed setbacks and existing vegetation, no plantings are proposed.

**c. Relationship of the proposed buildings to the environment: Proposed structures shall be related harmoniously to the terrain and to the existing buildings in the vicinity which have a visual relationship to the proposed buildings. Special attention shall be paid to the bulk, location and height of the building(s) and such natural features such as slope, soil type and drainage ways.**

The solar arrays will have an approximate height of ten feet and therefore will not be visible beyond the adjoining parcels. Also, it is important to note that the solar array is positioned on the parcel in such a way that provides significant buffer to neighbors on adjoining parcels.

**d. Vehicular access: The proposed site layout shall provide for safe access and egress from public and private roads by providing adequate location, numbers and controls of access points including site distances, turning lanes, traffic signalization when required by existing and projected traffic flow on municipal road systems.**

The Project will have safe access and egress to Route 236 through the construction of an entrance road from the southern portion of the Project site. This entrance road will be gravel and approximately 16 feet wide. The roadway as presented in the attached site plans will be adequate for the expected volume of construction and delivery vehicles.

After construction, the site will generally be unmanned, except for mowing and maintenance. In the event of an issue requiring troubleshooting or maintenance, it is anticipated that a two-person team will visit the site. For mowing and general maintenance (e.g., fence inspections), the work will generally take place on a twice annually, or quarterly basis, with a small number of vehicles. There will be minimal impact on traffic during operation of the Project.

**e. Parking and circulation: The layout and design of all vehicular and pedestrian circulation, including walkways, interior drives, and parking areas shall provide for safe general interior circulation, separation of pedestrian and vehicular traffic, service traffic, loading areas, and arrangements and use of parking areas.**

The Project will not require permanent parking spaces for construction or operation. During construction, most construction personnel will park at the temporary laydown area. Some parking will occur within the Project development area where construction activities are occurring, including for equipment delivery, loading, and unloading; these areas will be spread out through the Project. After construction, the site will generally be unmanned, except for mowing and maintenance.

**f. Surface water drainage: Adequate provision shall be made for surface drainage so that removal of surface waters will not adversely affect neighboring properties, downstream conditions, soil erosion or the public storm drainage system. Whenever possible, on-site absorption of unpolluted run-off waters shall be utilized to permit groundwater recharge on the site.**

Overall, though the Project has a large footprint, the Project will result in little impervious area. In general, areas disturbed adjacent to the access roads will be permanently stabilized through seeding and the majority of the site will be maintained as meadow.

**g. Existing utilities: The development shall not impose an unreasonable burden on sewers, sanitary and storm drains, water lines or other public utilities.**

The facility will not be manned, and the proposed Project will not have an unreasonable effect on runoff/infiltration relationships. Therefore, it is not expected there will be unreasonable burden on public utilities.

**h. Advertising features: The size, location, design, lighting and materials of all exterior signs and outdoor advertising structures or features shall not detract from the design of proposed buildings and structures and the surrounding properties.**

Signage will be limited to that which is required to promote public safety around the facility, including access warnings.

**i. Special features of the development: Exposed storage areas, exposed machinery installation, service areas, truck loading areas, utility buildings and similar structures shall have sufficient setback and screening to provide an audio/visual buffer to minimize their adverse impact on other land uses within the development area and surrounding properties.**

There are no special features of development that would require setbacks and/or screening.

**j. Exterior lighting: All exterior lighting shall be designed to minimize adverse impact on neighboring properties.**

No exterior lighting is proposed for the solar facility at this time.

**k. Emergency vehicle access: Provisions shall be made for providing and maintaining convenient and safe emergency vehicle access to all buildings and structures.**

The Project will include construction of a gated entrance road from Route 236. The Town fire department will have access to Project gate keys through Knox boxes. A 16 foot buffer will be maintained between arrays and the perimeter fencing to accommodate vehicles, primarily pickup trucks or other passenger vehicles, in the event of an emergency.

**l. Municipal services: The development will not have an unreasonable adverse impact on the municipal services including municipal road systems, fire department, police department, solid waste program, sewer treatment plant, school, open spaces, recreational programs and facilities, and other municipal service and facilities.**

During construction, the Project will temporarily increase traffic on municipal roads, but these effects will be temporary in nature and relatively minor. Project operations will contribute very little traffic, and overall the Project is anticipated to have *de minimis* effects on municipal services, with no foreseen fire, police, or other emergency service needs. Fire and police departments are not expected to be unreasonably adversely affected, as they would be responding infrequently to incidents such as emergency concerns or potentially reports of trespassing.

**m. Will not result in water or air pollution: In making this determination, it shall at a minimum consider: The elevation of the land above sea level and its relationship to the flood plains, the nature of soils and subsoils and their ability to adequately support waste disposal; the slope of the land and its attest on effluents; and the applicable state and local health and water resources regulations.**

During the Project's construction phase there will be minor and temporary air emissions from construction equipment and vehicle emissions, and brief discharges of dust generated by general construction activities. Dust will be monitored during the construction period (particularly on access roads and during drilling operations for blasting), and actions will be taken to reduce or avoid increasing the amount of fugitive dust in the air by the use of water sprayers, or other non-intrusive means as needed. If burning is used to dispose of wood wastes (brush/slash) from the site, there may be short-instance smoke emissions (during the day).

During operations, the Project is not expected to adversely affect or degrade air quality, as solar panels generate electricity that is distributed to the regional grid without producing air emissions. There will be no appreciable air emissions from operations vehicle exhaust and dust from driving on access roads. No emissions sources associated with operation of the Project require an air permit.

The proposed Project will not have an unreasonable effect on runoff/infiltration relationships, and the proposed Project will not have an unreasonable adverse effect on surface or ground water quality.

**n. Has sufficient water available for the reasonable foreseeable needs of the development (this is usually considered to be ten years approximately).**

The facility will not be manned and therefore no water supply is required.

**o. Will provide for adequate sewerage waste disposal.**

The facility will not be manned and therefore no sewage disposal system is required.

**p. Will not have adverse affects on the scenic or natural beauty of the area, aesthetics, or rare and irreplaceable natural areas.**

The Project site is not located in an area that has been identified as having significant habitat or aesthetic value.

**q. The developer has adequate financial and technical capacity to meet the above stated standards.**

Energy Management, Inc. (“EMI”), the developer of Berwick Solar, LLC, is a privately held energy company with a more than 40-year track record of developing, financing, constructing and operating clean energy projects. We have developed, constructed and operated numerous independent power generation facilities representing more than \$2 billion in construction costs and over 1,100 MW in capacity. EMI management and employees possess a broad range of experience across all aspects of energy project development and multiple technologies including natural gas, biomass, offshore wind and solar. The firm has recently guided multiple projects in the northeast through permitting, construction, and operation. The photovoltaic system proposed in this application will be financed through a combination of debt and equity. Debt will be sourced through a commercial lender and equity will be sourced through private sources.

**r. Whenever situated in whole or in part within 250 feet of any pond, lake or river, will not adversely affect the quality of such body of water or affect the shoreline of such body of water, based on the standards outlined in Section 9.8.I.1.j.**

Does not apply.

**s. Low Impact Design: Each applicant is required to submit a statement to the Planning Board documenting proposed Low Impact Design (LID) for the site, which will help to reduce storm water volumes and help to enhance storm water quality. LID includes, but is not limited to green roofs, rain gardens, tree wells, infiltration basins, and permeable pavement.**

Disturbance of soils (grading, removal of soil, and importation of gravel materials) will be minimized to the greatest extent practicable. Site layout was developed to target areas that are conducive to solar array installation; however, some localized grading may be necessary to ensure array areas are in accordance with the tolerances of array racking equipment (approximately 15% or less) and to accommodate safe construction and operations.

The roadways will be constructed with gravel, rather than pavement. Following construction, the remainder of the Project area will be revegetated and maintained as meadow or low-lying brush and scrub. No other Low Impact Design options are proposed at this time.

**Attachment E**

**Site Plan Waivers and Statements**

## WAIVER REQUESTS

The applicant makes the following waiver requests.

### Perimeter survey of parcel certified by registered land surveyor which meets all requirements of 9.8. criterion 2.b.i

The applicant requests that the perimeter survey be a pre-condition for receiving a permit after receiving Planning Board approval, including demonstration that the Project design adheres to the setbacks presented in this application. This approach seems reasonable given the flexibility in siting individual solar arrays and the overall available development area.

### On-site soils investigation which meets all requirements of 9.8.2.b.iv

No water supply or wastewater disposal systems will be required for this Project. During construction, anticipated water usage will include use of bottled drinking water or water trucked in from municipal sources for construction personnel and dust abatement. Water for dust abatement and HDDs will be from publicly accessible, off-site water sources, excluding streams, brooks, and groundwater sources. Surface water withdrawals will be conducted in accordance with the requirements of 38 M.R.S. § 470-B and, if applicable, pond water level regulations in 06-096 CMR Chapter 587. Water for dust abatement will be distributed via a tanker truck.

### Traffic Study

The facility will not be manned and as a result no impacts to traffic are anticipated, therefore with concurrence from the Planning Board a Traffic Study will not be conducted for this Project.

### Stormwater Management Plan

The surface specification for the roadway will be gravel and the level of impervious surfaces at the site (i.e., roadways, concrete pads, and mounting posts for panels) will be insignificant. Therefore, with concurrence from the Planning Board, a stormwater plan will not be completed for this Project.

## STATEMENT OF CONFORMANCE

The following statement relates to the information requirements of Section 9.8.F.2.c of the Berwick Land Use Ordinance.

### **i.A description of the proposed uses to be located on the site, including quantity and type of building construction if any.**

Applicant is proposing the Installation of solar farm array consisting of approximately of 7,492 solar panels. The total project area will be ~ 12.58 acres (including a chain link fence surrounding the solar array). The Project is designed to maximize solar energy output and minimize impacts on the environment, surrounding landowners and land uses, and to comply with the land use regulations of the Town of Berwick and state of Maine.

Proposed Project components include access roads, solar panels, skid-mounted transformers and inverters, collector and transmission lines, and other necessary infrastructure (e.g., security fences). The location of these facilities is provided on the attached site plan.

**ii.Total floor area and ground coverage of each proposed building and structure and percentage of lot covered by each building or structure.**

No buildings are proposed for this Project. The total impervious area will be 0.80 acres of the total Project area or 6%.

**iii.Method of solid waste disposal.**

Construction of the Project is expected to generate cardboard waste (e.g. broken-down solar panel boxes) and clean wood waste (e.g. wood pallets). Recycling and reuse will be the preferred method of disposing of these solar panel delivery materials. A licensed disposal facility will be contracted to accept and recycle or dispose of waste generated from the Project. Solid waste during operation of the facility is expected to be limited to materials associated with the replacement of equipment and a similar contracting arrangement will be made with a licensed disposal facility. No hazardous waste will be generated by the Project.

**iv.Erosion and sedimentation control plan prepared in accordance with Article 7.15 if required.**

Overall, though the Project has a large footprint, the Project will result in little impervious area. In general, areas disturbed adjacent to the access roads will be permanently stabilized through seeding and the majority of the site will be maintained as meadow. Details of erosion and sediment control measures are provided on the attached site plans.

**v.Copies of letters to the town manager, selectmen, Planning Board, road commissioner / public works director, fire chief, police chief, etc. notifying them of the proposed development.**

Letters will be sent to these individuals at the same time as the submission of this application.

**vi.Stormwater management plan prepared in accordance with Article 7.17 if required.**

Details of erosion and sediment control measures are provided on the attached site plans. The applicant will be required to obtain a construction stormwater permit from the Maine Department of Environmental Protection as a precondition for construction.

**vii.Statement of financial capacity which should include the names and sources of the financing parties including banks, government agencies, private corporations, partnerships and limited partnerships and whether these sources of financing are for construction loans or long-term mortgages or both.**

Energy Management, Inc. (“EMI”), the developer of Berwick Solar, LLC, is a privately held energy company with a more than 40-year track record of developing, financing, constructing and operating clean energy projects. We have developed, constructed and operated numerous independent power generation facilities representing more than \$2 billion in construction costs and over 1,100 MW in capacity. EMI management and employees possess a broad range of experience across all aspects of energy project development and multiple technologies including natural gas, biomass, offshore wind and solar. The firm has recently guided multiple projects in the northeast through permitting, construction, and operation. The photovoltaic system proposed in this application will be financed through a combination of debt and equity. Debt will be sourced through a commercial lender and equity will be sourced through private sources.

**viii. The applicant's evaluation of the availability and suitability of off-site public facilities including sewer, water, and streets.**

The facility will not be manned and therefore no water supply or wastewater disposal systems will be required for this Project.

In terms of traffic, the Project will have safe access and egress to Route 236 through the construction of an entrance road from the southern portion of the Project site. This entrance road will be gravel and approximately 16 feet wide. The roadway as presented in the attached site plans will be adequate for the expected volume of construction and delivery vehicles.

After construction, the site will generally be unmanned, except for mowing and maintenance. In the event of an issue requiring troubleshooting or maintenance, it is anticipated that a two-person team will visit the site. For mowing and general maintenance (e.g., fence inspections), the work will generally take place on a twice annually, or quarterly basis, with a small number of vehicles. There will be minimal impact on traffic during operation of the Project.

**ix. A statement from the fire chief as to the availability of fire hydrants and/or fire ponds, or provisions of fire protection services.**

Applicant has contacted Fire Chief Chris Reed and will provide this information at a later point.

**x. If public streets are proposed, a statement from the town engineer that the proposed road or street construction will meet town specifications.**

No new public roads are proposed.

**xi. An estimate of the date when construction will start and when the development will be completed.**

Construction is proposed to start on or around September, 2020 and continue through April, 2021.

## **Statement of Conformance**

The Project is designed to maximize solar energy output and minimize impacts on the environment, surrounding landowners and land uses, and to comply with applicable federal, state, and local codes, ordinances, and regulations. The Project as designed is consistent with the Town of Berwick’s Comprehensive Plan.

## **Attachment F**

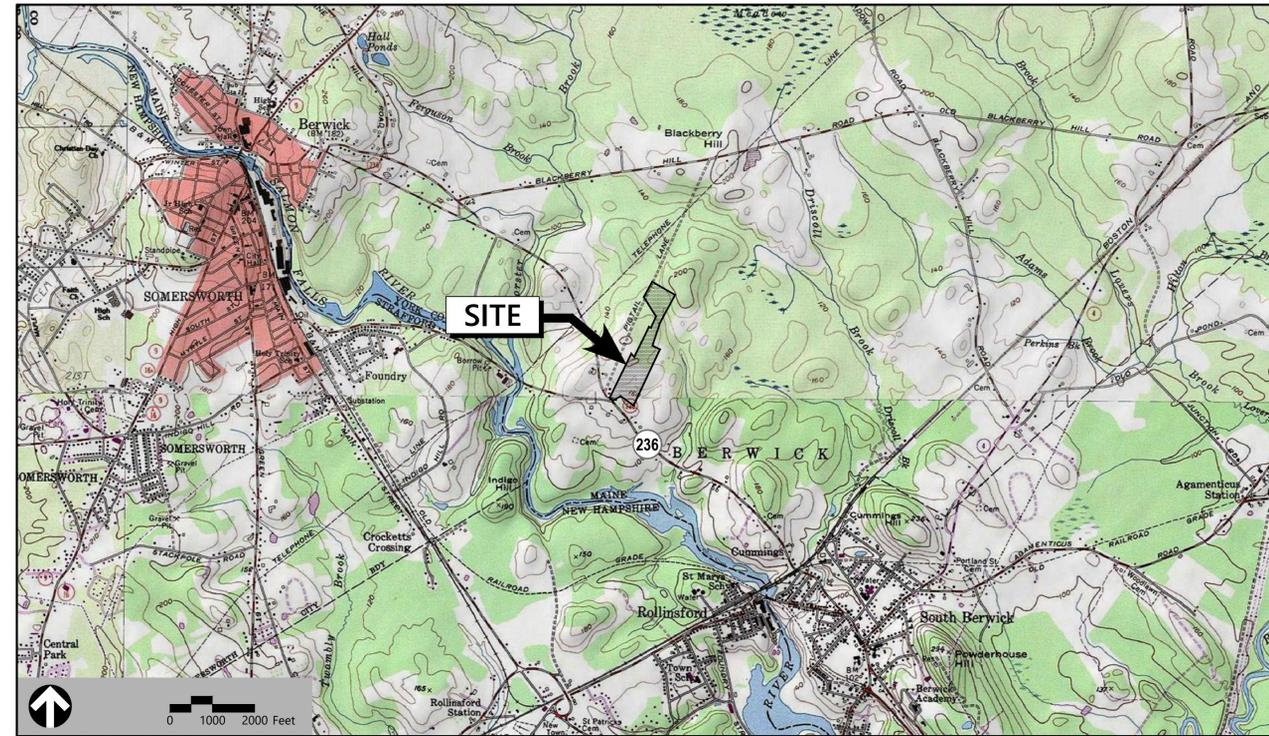
### **Site Plans**

# Site Plans

Issued for Permitting  
 Date Issued February 24, 2020  
 Latest Issue February 24, 2020

## Berwick Solar, LLC

193 Route 236  
 Berwick, Maine 03901



### Sheet Index

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### Owners

193 Route 236, LLC  
 Les Bodwell  
 249 Wells St  
 N Berwick, Maine 03906

### Applicant

Berwick Solar, LLC  
 20 Park Plaza, Suite 320  
 Boston, Massachusetts 02116

### Assessor's Information:

Map R-66, Lot 6A  
 Map R-66, Lot 6



500 Southborough Drive  
 Suite 105B  
 South Portland, ME 04106  
 207.889.3150



500 Southborough Drive  
Suite 105B  
South Portland, ME 04106  
207.889.3150

Legend

Legend table with columns for 'Exist.' and 'Prop.' showing various symbols and line styles for property lines, easements, setbacks, curbs, catch basins, fences, and guardrails.

Abbreviations

Abbreviations table with columns for 'General' and 'Utility' listing terms like ABAN (ABANDON), ACR (ACCESSIBLE CURB RAMP), and CB (CATCH BASIN).

Purpose of Plan

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE DEVELOPMENT OF A SOLAR FARM IN BERWICK, MAINE.

General

- 1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (811 OR 1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. ACCESSIBLE ROUTES, PARKING SPACES, RAMP, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

Demolition

- 1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.

Existing Conditions Information

- 1. THE PROPERTY LINES SHOWN ON THIS PLAN WERE COMPILED FROM LOCAL ASSESSOR'S MAPS AND FROM PREVIOUS PLANS AND DEEDS OF RECORD. VHB HAS NOT PERFORMED A FIELD SURVEY TO VERIFY THE PROPERTY LINES.
2. THE ELEVATION DATA DEPICTED ON THIS PLAN WERE DEVELOPED FROM NOAA ELEVATION DATA AND SUPPLEMENTED WITH GROUND MEASUREMENTS. ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). THE CONTOUR INTERVAL IS 2'.
3. THE NORTH ORIENTATION DEPICTED HEREON IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83).

Document Use

- 1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

Utilities

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND DESIGN REPRESENTATIVE.
6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
A. STORM DRAINAGE PIPES SHALL BE SMOOTH INTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
9. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

Layout and Materials

- 1. DIMENSIONS ARE FROM THE EDGE OF GRAVEL, EDGE OF CONCRETE, UNLESS OTHERWISE NOTED.
2. SEE ELECTRICAL DRAWINGS FOR EXACT PANEL DIMENSIONS.
3. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR (PLS).
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT AND/OR GRAVEL DRIVE ELEVATIONS AT INTERFACE WITH PROPOSED DRIVES, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

Berwick Solar, LLC

193 Route 236  
Berwick, Maine 03901

Table with columns: No., Revision, Date, Apprd. (empty rows for revision tracking)

Table with columns: Designed by (PG), Checked by (CG), Issued for, Date

Permitting February 24, 2020

Not Approved for Construction

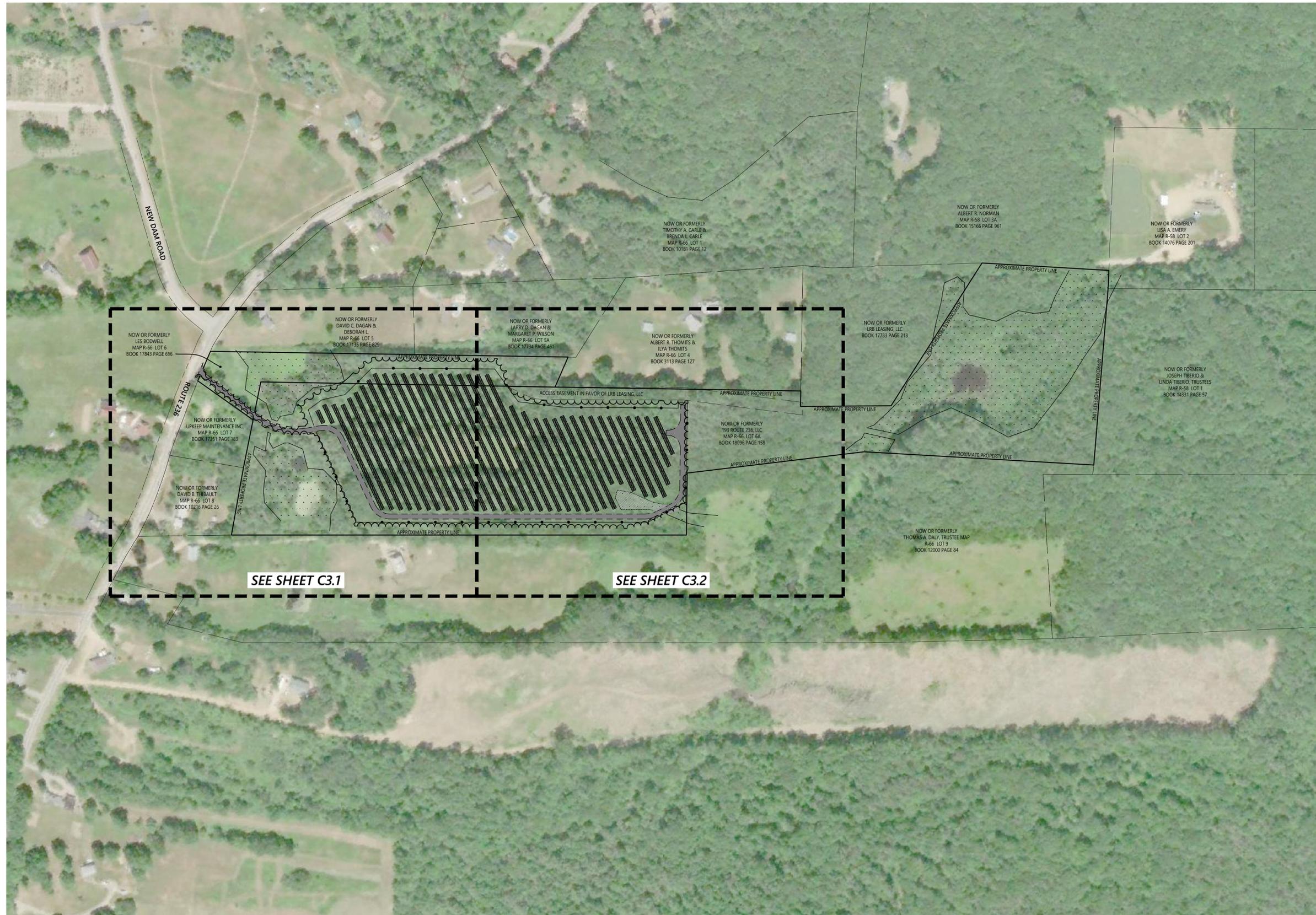
Legend and General Notes (black box with white text)

Drawing Number

C1.0

Sheet 1 of 6

Project Number 55301.00



**Berwick Solar, LLC**  
193 Route 236  
Berwick, Maine 03901

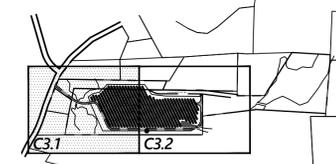
No.	Revision	Date	Aspd.

Designed by PG	Checked by CG
Issued for Permitting	Date February 24, 2020

Not Approved for Construction  
Drawing Title  
**Master Plan**

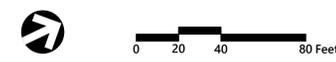


500 Southborough Drive  
Suite 105B  
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**Key**  
Not To Scale

See Sheet C3.2  
Match Line



**Berwick Solar, LLC**  
193 Route 236  
Berwick, Maine 03901

No.	Revision	Date	Aspd.

Designed by TL Checked by CG  
Issued for Permitting Date February 24, 2020

Not Approved for Construction

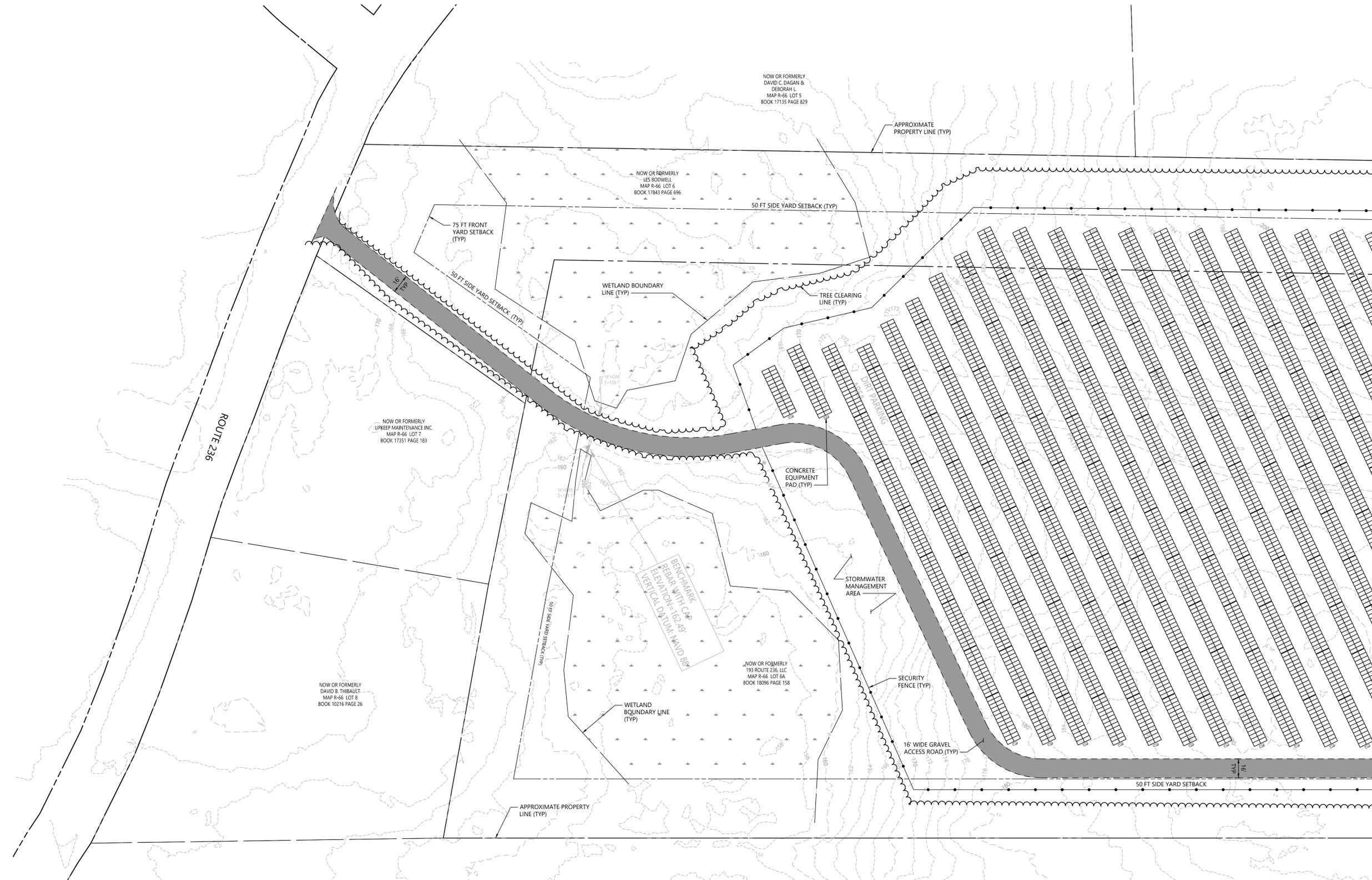
Drawing Title  
**Grading and Drainage Plan 1**

Drawing Number

**C3.1**

Sheet 5 of 6

Project Number  
55301.00



**Zoning Summary Chart**

Zoning District:	R-2 Transitional Residential, R-3 Rural Residential*		
Overlay District(S):	None		
Zoning Regulation Requirements	R-2**	R-3**	Provided
FRONT YARD SETBACK	50 Feet	75 Feet	388 Feet
SIDE YARD SETBACK	25 Feet	50 Feet	58 Feet
REAR YARD SETBACK	50 Feet	50 Feet	1,344 Feet
MAXIMUM BUILDING HEIGHT	35 Feet	35 Feet	NA
MAXIMUM IMPERVIOUS	35%	20%***	3%****

\* LOT 6 IS LOCATED WITHIN ZONING DISTRICT R-2; LOT 6A IS LOCATED IN ZONING DISTRICT R-3.  
\*\* ZONING REGULATION REQUIREMENTS AS SPECIFIED IN THE TOWN OF BERWICK LAND USE ORDINANCE, ADOPTED JUNE 8, 1993, AMENDED JUNE 11, 2019, SECTION 6.3, DIMENSIONAL REQUIREMENTS.  
\*\*\* LOTS CONTAINING ONLY COMMERCIAL OR INDUSTRIAL USES MAY BE ALLOWED A MAXIMUM LOT COVERAGE OF 50%.  
\*\*\*\* IMPERVIOUS AREA INCLUDES ACCESS ROADWAYS, CONCRETE PADS, AND MOUNTING POSTS FOR PANELS.

**Wetland Impact Summary**

Type Of Impact	Area (SF)	Area (AC)
WETLAND VEGETATION ALTERED	5,760	0.132
WETLAND FILL	1,450	0.033
<b>TOTAL</b>	<b>7,210</b>	<b>0.166</b>

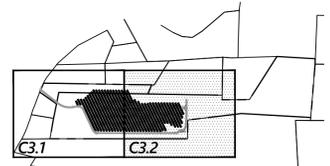
**Project Data**

Type Of Impact	Area (SF)	Area (AC)
TREE CLEARING AREA	548,093	12.58
TOTAL IMPERVIOUS AREA	35,003	0.80
<b>TOTAL PROJECT AREA</b>	<b>548,093</b>	<b>12.58</b>

**General Notes:**  
1. PHOTOVOLTAIC ARRAY CONSISTS OF 7,900 SOLAR PANELS, PROVIDING APPROXIMATELY 2,570 kW DC POWER.



500 Southborough Drive  
Suite 105B  
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**Key**

Not To Scale



**Berwick Solar, LLC**

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Grading and  
Drainage Plan 2

Drawing Number

**C3.2**

Sheet 6 of 6

Project Number  
55301.00

Match Line See Sheet C3.1

NOW OR FORMERLY  
LARRY D. DAGAN &  
MARGARET P. WILSON  
MAP R-66 LOT 5A  
BOOK 17734 PAGE 451

APPROXIMATE  
PROPERTY LINE (TYP)

50 FT SIDE YARD SETBACK (TYP)

ACCESS EASEMENT  
LINE (TYP)

ACCESS EASEMENT IN FAVOR OF LRB LEASING, LLC

50 FT SIDE YARD SETBACK (TYP)

SECURITY  
FENCE (TYP)

ACCESS EASEMENT  
LINE (TYP)

5  
Y

50 FT SIDE YARD SETBACK (TYP)

16'  
TYP

WETLAND  
BOUNDARY LINE  
(TYP)

91'

PROPOSED CULVERT  
UNDER ACCESS ROAD

50 FT SIDE YARD SETBACK (TYP)

16' WIDE GRAVEL  
ACCESS ROAD (TYP)

SECURITY  
FENCE (TYP)

CONCRETE  
EQUIPMENT PAD (TYP)

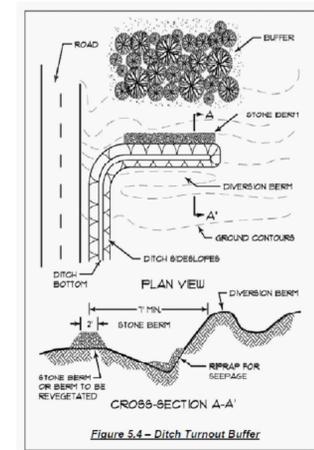
5,760 ± SF ALTERED  
WETLAND VEGETATION  
FOR SHADE TREE CLEARING

1,450 ± SF WETLAND FILL  
FOR 12' WIDE ACCESS  
ROAD CROSSING

TREE CLEARING  
LINE (TYP)

APPROXIMATE  
PROPERTY LINE (TYP)

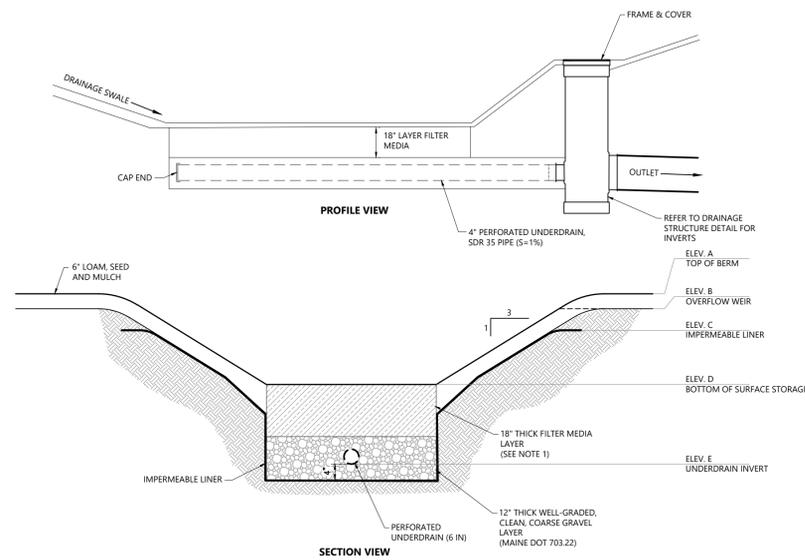
NOW OR FORMERLY  
THOMAS A. DALY, TRUSTEE  
MAP R-66 LOT 9  
BOOK 12000 PAGE 04



- Stone Berm Specifications:** The stone berm to which the ditch turn-out delivers the runoff must be at least 20 feet in length and must be constructed along the contour. It must be at least one-foot high and two feet across the top with 2:1 side slopes.
- Stone Size:** The stone must be coarse enough that it will not clog with sediment. Stone for stone berms level lip spreaders must consist of sound durable rock that will not disintegrate by exposure to water or weather. Fieldstone, rough quarried stone, blasted ledge rock or tailings may be used. The rock must be well graded with a median size of approximately 3 inches and a maximum size of 6 inches. See Table 5.4 above.

**Ditch Turnout Buffer**

N.T.S. Source: MDEP



**ELEVATION TABLE**

VSF #	A	B	C	D	E
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**NOTES**

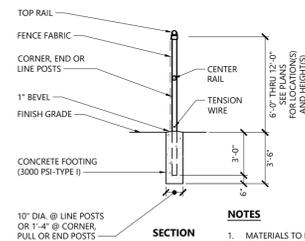
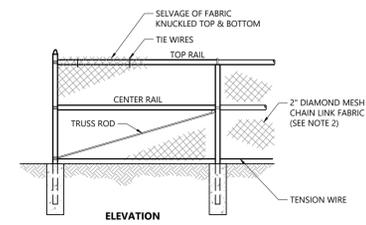
- VEGETATED SOIL FILTER REQUIREMENTS PER MAINE DEP CHAPTER 500, LATEST EDITION. MINIMUM REQUIREMENTS PER THE DEVELOPMENT.
  - DRAIN TIME = 24-48 HOURS, ASSUMES AN RATE OF 3 INCHES/HOUR.
- FILTER MEDIA SHALL CONSIST (BY VOLUME) OF:
  - 50% SAND (ASTM C-33 CONCRETE SAND).
  - 20% SANDY LOAM TO FINE SANDY LOAM CONFORMING TO THE FOLLOWING GRADATION:
 

SIEVE (ASTM D422)	PERCENT PASSING BY WEIGHT
NO. 4	75-95
NO. 10	60-90
NO. 40	35-85
NO. 200	20-70
200 (CLAY SIZE)	< 2.0
  - 30% MATURE COMPOSTED WOODY FIBERS AND FINE SHREDDED BARK MULCH, SUPERHUMUS OR EQUIVALENT.
  - RESULTING MIXTURE SHALL HAVE 8% TO 12% PASSING THE NO. 200 SIEVE AND A CLAY CONTENT OF LESS THAN 2%.
- FILTER MEDIA SHALL BE FIELD TESTED TO INSURE DRAINAGE WITHIN 24 TO 48 HOURS AND HAVE SUFFICIENT FINES TO ENSURE FILTRATION OF FINE PARTICLES. GRADATION SHALL BE ADJUSTED, IF REQUIRED, TO MEET THE REQUIRED DRAIN DOWN TIME, ADJUSTED GRADATIONS AND DRAINAGE TIME SHALL BE SUBMITTED TO DESIGN ENGINEER FOR REVIEW AND APPROVAL.
- IMPERMEABLE LINER SHALL CONSIST OF HIGH-STRENGTH 30 MIL POLYETHYLENE MEMBRANE WITH BONDED SEAMS AND TEXTURED SURFACE.
- BOTTOM OF BASIN SHALL BE SEEDED WITH A CONSERVATION TYPE SEED MIX AND MULCHED.
- PERFORATED UNDERDRAIN PIPE SHALL BE LAID AS SHOWN IN PLAN VIEW. NO GREATER THAN 15' ON CENTER, TO DRAIN THE ENTIRE FILTER AREA.

**Vegetated Soil Filter (VSF) Detail**

N.T.S. Source: VHB

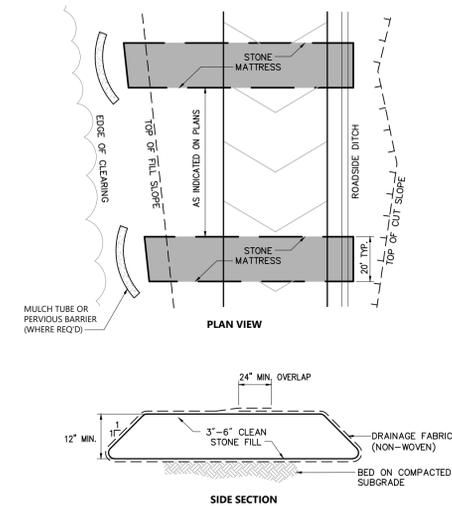
2/17



**7' Chain Link Fence**

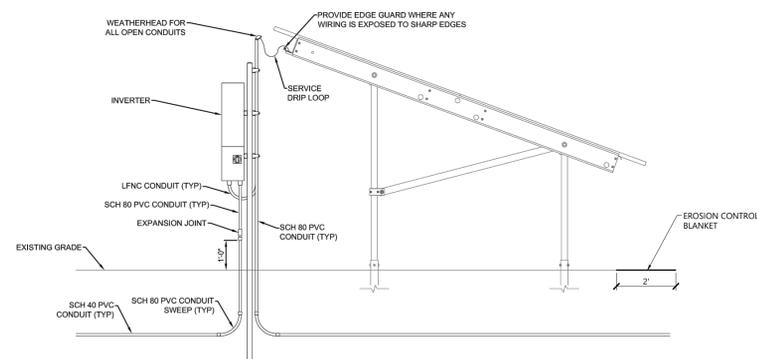
N.T.S. Source: VHB

1/16



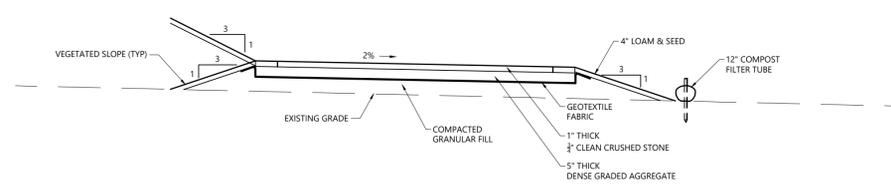
**Stone Mattress Detail**

N.T.S. Source: VHB



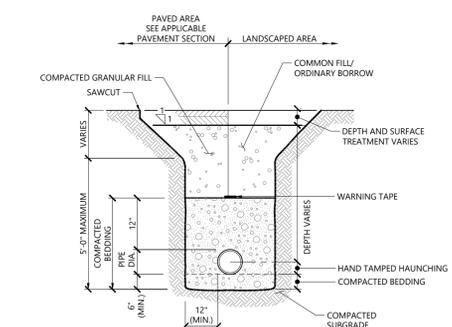
**Inverter and Array Detail (Side)**

N.T.S. Source:



**Access Road - Typical Section**

N.T.S. Source:



**Utility Trench**

N.T.S. Source: VHB

REV LD\_300

**Berwick Solar, LLC**

193 Route 236  
Berwick, Maine 03901

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Drawing Title Site Details 1  
Drawing Number

C4.1

Sheet 5 of 6

Project Number 55301.00

**Construction Sequence**

1. SURVEY AND STAKE LIMITS OF CLEARING AND GRUBBING.
2. SURVEY AND STAKE (50 FT OC) LIMITS OF CLEARING AND DISTURBANCE.
3. INSTALL TEMPORARY EROSION CONTROL MEASURES (SILT FENCING, SILT SOCKS, CONSTRUCTION EXITS, ETC).
4. CLEAR AND GRUB WITHIN LIMIT OF ACCESS ROAD. LIMITS OF CLEARING INDICATE AREAS WHERE TREES WILL BE CUT AND STUMPS WILL REMAIN IN THE GROUND.
5. STRIP LOAM AND PAVEMENT OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK AND STOCKPILE EXCESS MATERIAL.
6. CONSTRUCT TEMPORARY SEDIMENTATION BERMS AS REQUIRED.
7. INSTALL DRAINAGE SYSTEM, AND OTHER UTILITIES IN ACCORDANCE WITH THE PLANS AND DETAILS.
8. PERFORM FINAL / FINE GRADING INCLUDING SLOPE STABILIZATION BLANKETS.
9. PERFORM ALL REMAINING SITE CONSTRUCTION (I.E. CONCRETE AND GRAVEL AREAS).
10. LOAM AND SEED ALL DISTURBED AREAS.
11. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER FINAL SURFACING IS INSTALLED, AND LANDSCAPING AREAS ARE ESTABLISHED AND STABILIZED.
12. CLEAN ALL DRAINAGE BASINS, STRUCTURES, PIPES, AND SUMPS WITHIN THE PROJECT LIMITS OF ALL SILT AND DEBRIS

**General**

1. CONTRACTOR SHALL READ, BE FAMILIAR WITH AND SHALL FOLLOW THE MAINE EROSION AND SEDIMENT CONTROL BMPs MANUAL (LATEST EDITION) AND MAINE EROSION AND SEDIMENT CONTROL FIELD GUIDE FOR CONTRACTORS (LATEST EDITION), AND SHALL BE ACCOUNTABLE TO THE THIRD PARTY INSPECTOR FOR THE PROJECT AND THE MAINE DEP IN ACCORDANCE WITH MAINE DEP REGULATIONS.
2. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL TEMPORARY EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
4. MINIMUM TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES ARE SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN. THE CONTRACTOR SHALL ADHERE TO THE MINIMUM PROVISIONS SHOWN. ADDITIONALLY, TEMPORARY MEASURES SHALL BE SELECTED AND CONSTRUCTED BY THE CONTRACTOR IN CONSULTATION WITH THE ENGINEER TO ACCOMMODATE CHANGING FIELD CONDITIONS THAT DEVELOP DURING CONSTRUCTION.
5. PUMPED WATER FROM DEWATERING ACTIVITIES SHALL BE DISCHARGED INTO SETTLING BASINS, FILTER BAGS OR OTHER APPROVED METHODS PRIOR TO DISCHARGE INTO THE ON-SITE STORMWATER MANAGEMENT SYSTEM. ALL WATER FROM DEWATERING ACTIVITIES SHALL BE RECHARGED ON-SITE OR DIRECTED TO THE DETENTION BASIN FOR DISCHARGE.
6. NO MORE THAN 1 ACRE SHOULD BE UNSTABILIZED AT ONE TIME WITHOUT REGULAR INSPECTION OR LIMITED TO AN AREA THAT CAN BE MULCHED IN ONE DAY.

**Seeding/Mulching**

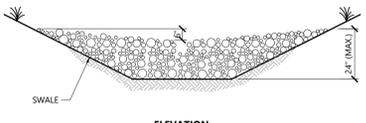
1. FERTILIZER, SUPERPHOSPHATE, AND LIME SHALL BE APPLIED AT RATES RECOMMENDED BY THE TESTING AGENCY AND APPROVED BY THE ENGINEER.
2. PERMANENT SEED SHALL BE SUPPLIED IN THE FOLLOWING PROPORTIONS AND APPLIED AT A RATE OF FIVE POUNDS PER 1,000 SF:  
SEED TYPE (% PROPORTION/% GERMINATION MIN./% PURITY MIN.)  
CREEPING FESCUE (50/85/90)  
KENTUCKY BLUEGRASS (40/85/90)  
MANHATTAN PERENNIAL RYE (10/90/95)
3. TEMPORARY SEED SHALL BE SUPPLIED IN THE FOLLOWING PROPORTIONS AND APPLIED AT A RATE OF 100 POUNDS PER ACRE:  
SEED TYPE (% WEIGHT MIN./% GERMINATION MIN.)  
WINTER RYE (80/85)  
RED FESCUE - CREEPING (4/80)  
PERENNIAL RYE GRASS (3/90)  
RED CLOVER (3/90)
4. MULCH SHALL BE APPLIED TO AREAS IMMEDIATELY AFTER THEY HAVE BEEN SEEDED. MULCH SHALL CONSIST OF HAY, STRAW, HYBRID-MULCH, EROSION CONTROL BLANKETS, EROSION CONTROL MIX OR APPROVED EQUAL.
5. HAY OR STRAW MULCH SHALL BE AIR-DRIED, AND FREE OF UNDESIRABLE SEEDS AND COARSE MATERIALS. MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 75 LB PER 1,000 SF. MULCH SHALL BE ANCHORED WITH NETTING WHEN APPLIED TO SLOPES LESS THAN 15 PERCENT.
6. EROSION CONTROL BLANKETS SHALL BE PROVIDED ON ALL SLOPES STEEPER THAN OF 1-FOOT RISE TO 3-FEET HORIZONTAL. BLANKETS SHALL BE SCISSOR BR (NORTH AMERICAN GREEN), CURLEX BLANKETS (AMERICAN EXCELISOR COMPANY), POLYUTE STYLE 465 GT (SYNTHETIC INDUSTRIES), OR APPROVED EQUIVALENT. BLANKETS SHALL BE SECURED AS RECOMMENDED BY THE MANUFACTURER.
7. EROSION CONTROL MIX SHALL MEET THE FOLLOWING STANDARDS:  
A. ORGANIC MATTER CONTENT SHALL BE BETWEEN 80%-100%, DRY WEIGHT BASIS.  
B. PARTICLE SIZE BY WEIGHT: 100% PASSING THE 0.75" SCREEN  
C. ORGANIC PORTION SHALL BE FIBROUS AND ELONGATED  
D. SOLUBLE SALTS CONTENT SHALL BE < 4.0 MMHOS/CM AND  
E. pH SHALL BE BETWEEN 5.0 AND 8.0.

**Temporary Erosion Control Measures**

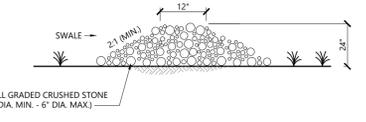
1. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM AMOUNT OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION. AREAS REMAINING UNSTABILIZED FOR A PERIOD OF MORE THAN 15 DAYS SHALL BE TEMPORARILY MULCHED. TOTAL EXPOSED AREAS SHALL BE LIMITED TO NO MORE THAN CAN BE MULCHED IN ONE DAY.
2. TEMPORARY MULCH SHALL BE APPLIED TO UNSTABILIZED AREAS WITHIN 100-FT OF STREAMS, WETLANDS, AND OTHER WATER RESOURCES WITHIN 3 DAYS OF EXPOSING SOIL AND PRIOR TO ANY STORM EVENT.
3. DUST SHALL BE CONTROLLED THROUGH THE USE OF WATER.
4. CONTRACTOR SHALL PROVIDE TEMPORARY SILTATION/DEWATERING BASINS, IF NECESSARY AND/OR AS DIRECTED BY THE ENGINEER, TO CONTROL SEDIMENTATION AND STORMWATER RUNOFF DURING THE CONSTRUCTION PERIOD. CONTRACTOR SHALL SUBMIT PROPOSED BASIN LOCATIONS, DESIGNS, ETC. TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
5. EARTH MATERIAL STOCKPILES SHALL BE LOCATED IN AREAS THAT HAVE A MINIMUM POTENTIAL FOR EROSION AND KEPT AS FAR AWAY AS POSSIBLE FROM EXISTING DRAINAGE COURSES, PROTECTED NATURAL RESOURCES, TREE DRIP LINES AND OUTSIDE OF THE 100 YEAR FLOOD PLAIN. SEDIMENT BARRIERS SHALL BE INSTALLED DOWNGRADIENT OF STOCKPILES. STORMWATER SHOULD BE DIRECTED AWAY FROM STOCKPILE LOCATIONS.
6. REPAIR, CLEAN, AND REPLACE ANY SEDIMENT CONTROLS DAMAGED DURING AND/OR AFTER RAINFALL EVENTS.
7. EROSION CONTROL BLANKETS SHALL BE PLACED IN THE FLOW LINE OF ALL VEGETATED SWALES NOT OTHERWISE PROTECTED BY STONE.
8. EROSION CONTROL BLANKETS OR NETTING OVER LOOSE MULCH SHALL BE APPLIED TO ALL VEGETATED SLOPES GREATER THAN 3:1.
9. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:  
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;  
B. A MINIMUM OF 90% VEGETATED GROWTH HAS BEEN ESTABLISHED;  
C. A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED;  
D. EROSION CONTROL BLANKETS OR EROSION CONTROL MIX HAVE BEEN PROPERLY INSTALLED.

**Permanent Erosion Control Measures**

1. THE CONTRACTOR SHALL SUBMIT A WRITTEN MANUAL PREPARED FOR THE OWNER, THAT OUTLINES A SCHEDULE FOR PROPER MAINTENANCE OF THE LAWN. THIS SCHEDULE SHOULD INCLUDE TIMING AND METHODS FOR MOWING, WATERING, AERATION, FERTILIZATION, LIMING, AND OTHER LAWN MAINTENANCE OPERATIONS.
2. SEEDING SHALL BE DONE BETWEEN APRIL 1 TO JUNE 1, OR BETWEEN AUGUST 15 TO OCTOBER 15.
3. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVING, OR OTHERWISE DEVELOPED, SHALL BE COVERED WITH 6 INCHES LOAM AND SEED.



ELEVATION



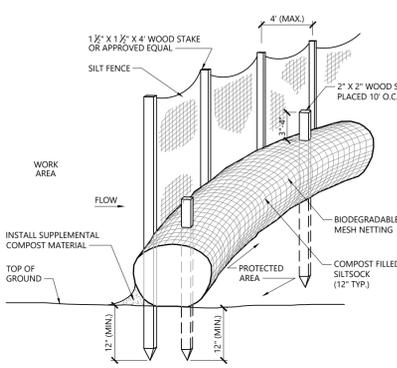
CROSS-SECTION

**NOTES**

1. TOP OF DOWNGRADIENT CHECKDAM AND BOTTOM OF UPGRADE CHECKDAM TO BE SET AT THE SAME ELEVATION.
2. STONE CHECKDAMS MAY BE REMOVED WHEN 90% OF THE VEGETATIVE COVER IS ESTABLISHED.

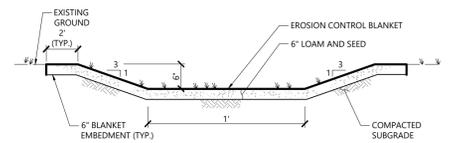
**Temporary Stone Checkdam**

N.T.S. Source: VHB REV



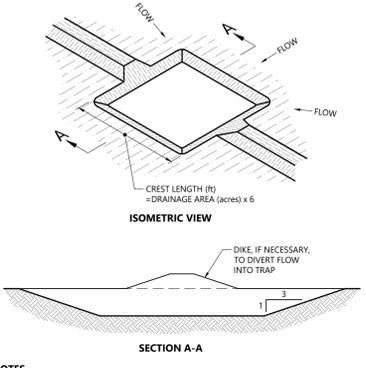
**NOTES**

1. SILT SOCK SHALL BE FILTERDXX SILT SOCK, OR APPROVED EQUAL.
2. SILT SOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
3. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.



**Grassed Swale**

N.T.S. Source: VHB REV LD\_171

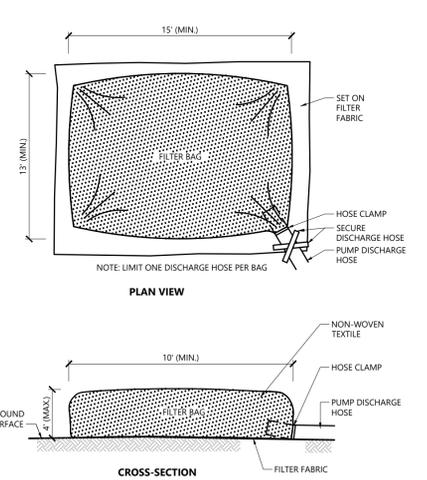


**NOTES**

1. THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.
2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 5 ACRES.
3. THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
4. THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER, AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
5. THE OUTFLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AND SHALL DISCHARGE TO A STABILIZED AREA.
6. THE TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED.
7. THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.

**Temporary Sediment Trap**

N.T.S. Source: NH Stormwater Manual

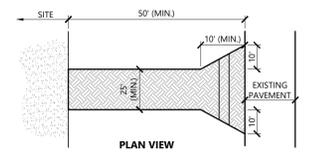


**NOTES**

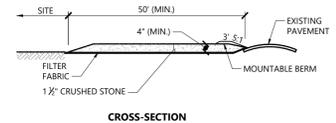
1. BAG TO BE USED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

**Dewatering Filter Bag**

N.T.S. Source: VHB REV LD\_691



PLAN VIEW



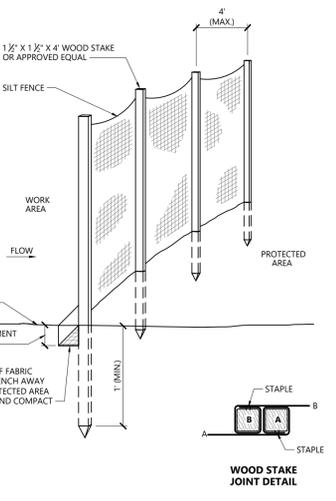
CROSS-SECTION

**NOTES**

1. EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED, PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

**Stabilized Construction Exit**

N.T.S. Source: VHB REV LD\_682



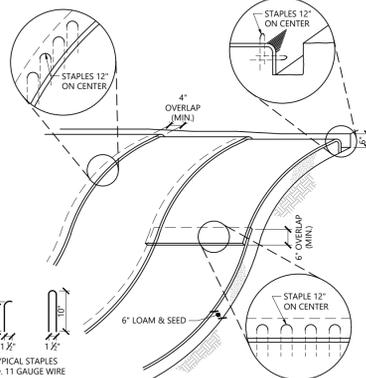
WOOD STAKE JOINT DETAIL

**Silt Fence Barrier**

N.T.S. Source: VHB REV LD\_650

**Siltsock / Silt Fence Barrier**

N.T.S. Source: VHB REV LD\_658-A



**NOTES**

1. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH BACKFILL AND COMPACT TRENCH AFTER STAPLING.
2. ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW.
3. THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
4. WHEN BLANKETS MUST BE SPICED DOWN THE SWALE, PLACE UPPER BLANKET END OVER LOWER END WITH 6 INCH (MIN.) OVERLAP AND STAPLE BOTH TOGETHER.
5. METHOD OF INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.
6. EROSION CONTROL BLANKETS SHALL BE USED IN ALL AREAS WHERE SLOPES EXCEED 3:1.

**Erosion Control Blanket Slope Installation**

N.T.S. Source: VHB REV LD\_680

**Winter Construction**

1. WINTER CONSTRUCTION PERIOD: OCTOBER 15 THRU APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT A MAXIMUM OF 1 ACRE OF THE SITE IS UNSTABILIZED AT ANY ONE TIME OR LIMITED TO AN AREA THAT CAN BE MULCHED IN ONE DAY.
3. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 150 LB PER 1,000 SF OR 3 TONS/ACRE. MULCH SHALL BE APPLIED AND ANCHORED SO THAT THE GROUND SURFACE IS NOT VISIBLE THROUGHOUT THE MULCH. MULCH SHALL NOT BE APPLIED OVER SNOW.
4. MULCH SHALL NOT BE APPLIED WHERE THE SNOW DEPTH EXCEEDS ONE INCH. SNOW SHALL BE REMOVED PRIOR TO APPLICATION.
5. EROSION CONTROL BLANKETS SHALL BE APPLIED TO ALL VEGETATED SLOPES GREATER THAN 3:1.
6. A DOUBLE ROW OF SEDIMENT BARRIERS SHALL BE INSTALLED WITHIN 75 FEET OF A PROTECTED NATURAL RESOURCE.
7. DURING PERIODS WHEN TEMPERATURES ARE ABOVE FREEZING, AREAS SHALL BE FINE GRADED AND PROTECTED WITH EITHER MULCH, OR TEMPORARILY SEEDED AND MULCHED UNTIL THE FINAL TREATMENT CAN BE APPLIED.
8. AFTER NOVEMBER 1 EXPOSED AREAS THAT HAVE BEEN LOAMED AND FINAL GRADED MAY BE DORMANT SEEDED AT A RATE OF 3 TIME THE PERMANENT SEED RATE AFTER THE FIRST KILLING FROST AND OVERWINTER MULCHED OR ANCHORED WITH EROSION CONTROL BLANKETS.
9. WINTER INSPECTIONS SHALL BE PERFORMED ONE A WEEK AND AFTER EACH RAINFALL, SNOWSTORM, OR THAW FOR VEGETATION GROWTH, EROSION, AND MAINTENANCE NEEDS.  
A. ALL AREAS INSUFFICIENTLY VEGETATED (LESS THAN 75% CATCH) SHALL BE STABILIZED FOR OVERWINTER PROTECTION.

**Site Inspection & Maintenance**

1. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND BEFORE AND AFTER EACH STORM EVENT.
2. CONTRACTOR SHALL MAINTAIN WRITTEN INSPECTION AND MAINTENANCE LOGS FOR THE EROSION CONTROL MEASURES FOR THE DURATION OF THE CONSTRUCTION PERIOD. LOGS SHALL BE MADE AVAILABLE TO THE OWNER, ENGINEER, MUNICIPALITY, AND MAINE DEP UPON REQUEST.
3. TEMPORARY MULCHING: ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED TO AREAS WHERE LESS THAN 90% OF THE SOIL SURFACE IS COVERED WITH MULCH.
4. CATCH BASIN/SILT SACK SEDIMENT TRAPS: SEDIMENT SHALL BE REMOVED FROM TRAPS WHEN ACCUMULATION DEPTH IS GREATER THAN OR EQUAL TO 1/2 THE DESIGN DEPTH OF THE TRAP. TRAPS SHALL BE REPLACED IF THE ARE DAMAGED, TORN, ETC.
5. SILT SOCK BARRIERS, SILT FENCE BARRIERS AND STONE CHECK DAMS: SILT SOCK BARRIERS, SILT FENCE AND STONE CHECK DAMS SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. SEDIMENT TRAPPED BEHIND BARRIERS/CHECK DAM SHALL BE REMOVED WHEN SEDIMENT DEPTH REACHES 6 INCHES. BARRIERS SHALL BE REPLACES WITH A TEMPORARY CHECK DAM IF THERE ARE SIGNS OF UNDERCUTTING OR IMPOUNDING LARGE VOLUMES OF WATER BEHIND THEM.
6. EROSION CONTROL BLANKETS: IF WASHOUTS OR BREAKAGE OCCURS, SLOPES SHALL BE REPAIRED, AND BLANKETS SHALL BE RE-INSTALLED.
7. STABILIZED CONSTRUCTION EXITS: EXITS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. IF EXIT BECOMES INEFFECTIVE IT SHALL BE RECONSTRUCTED AND/OR REPLACED.
8. TEMPORARY SEDIMENTATION/DEWATERING BASINS: SEDIMENT IN TEMPORARY BASINS SHALL BE REMOVED AS NECESSARY DEPENDING ON THEIR USE AND DESIGN.
9. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE SYSTEMS.
10. LONG-TERM MAINTENANCE OF THE PERMANENT EROSION CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE OWNER.

**Berwick Solar, LLC**

193 Route 236  
Berwick, Maine 03901

No.	Revision	Date	Appr.

Designed by PG Checked by CG  
Issued for \_\_\_\_\_ Date \_\_\_\_\_

Permitting February 24, 2020

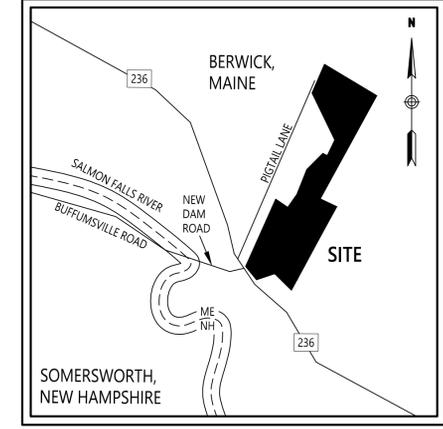
Not Approved for Construction

Drawing Title  
**Site Details 2**  
Drawing Number  
**C4.2**



500 Southborough Drive  
Suite 105B  
South Portland, ME 04106  
207.889.3150

STATE OF MAINE  
YORK COUNTY Registry of Deeds  
Received \_\_\_\_\_  
at \_\_\_\_\_ H \_\_\_\_\_ M \_\_\_\_\_ M, and  
recorded in Book \_\_\_\_\_ Page \_\_\_\_\_  
ATTEST: \_\_\_\_\_ Registrar



SITE LOCUS  
NOT TO SCALE

Legend

- ⊕ DRAIN MANHOLE
- ⊞ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊕ TELEPHONE MANHOLE
- ⊕ MANHOLE
- ⊕ HAND HOLE
- ⊕ WATER GATE
- ⊕ FIRE HYDRANT
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- ⊕ BOLLARD w/LIGHT
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- DYL DOUBLE YELLOW LINE
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- SGE SLOPED GRANITE CURB
- BB BITUMINOUS BERM
- BC BITUMINOUS CURB
- GR GUARD RAIL
- CL CHAIN LINK FENCE
- DL DRAINAGE LINE
- SEWER LINE
- OW OVERHEAD WIRE
- E UNDERGROUND ELECTRIC
- TEL TELEPHONE LINE
- G GAS LINE
- W WATER LINE
- STONE WALL
- TR TREE LINE
- 100' BZ 100-FT BUFFER ZONE
- 100' RA 100-FT RIVER FRONT AREA
- 200' RA 200-FT RIVER FRONT AREA
- AF1-100 LIMIT MEAN ANNUAL HIGH WATER
- BF1-100 LIMIT OF BANK
- WF1-100 VEGETATED WETLAND BOUNDARY

General Notes

- 1) THE PROPERTY LINES AND EXISTING CONDITIONS DEPICTED ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. BETWEEN NOVEMBER, 2019 AND APRIL, 2020 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN MAY, 2020.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) THE NORTH ORIENTATION DEPICTED ON THIS PLAN IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83). UNIT OF MEASURE: U.S. SURVEY FOOT.
- 5) ELEVATIONS DEPICTED ON THIS PLAN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). CONTOUR INTERVAL: 2'.
- 6) THE SUBJECT PARCELS A AND B LAY PARTIALLY IN ZONES R2 AND R3
- 7) SUBJECT PARCELS A AND B LAY WITHIN ZONE X ON PAN 8 OF 10, COMMUNITY PANEL NUMBER 230144 000B B, EFFECTIVE DATE: AUGUST 5, 1991.
- 8) THE TREE SYMBOL OUTLINE SHOWN ON THIS PLAN DOES NOT REPRESENT THE ACTUAL TREE CANOPY.
- 9) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO ADDITIONAL INFORMATION DISCLOSED IN SUCH.

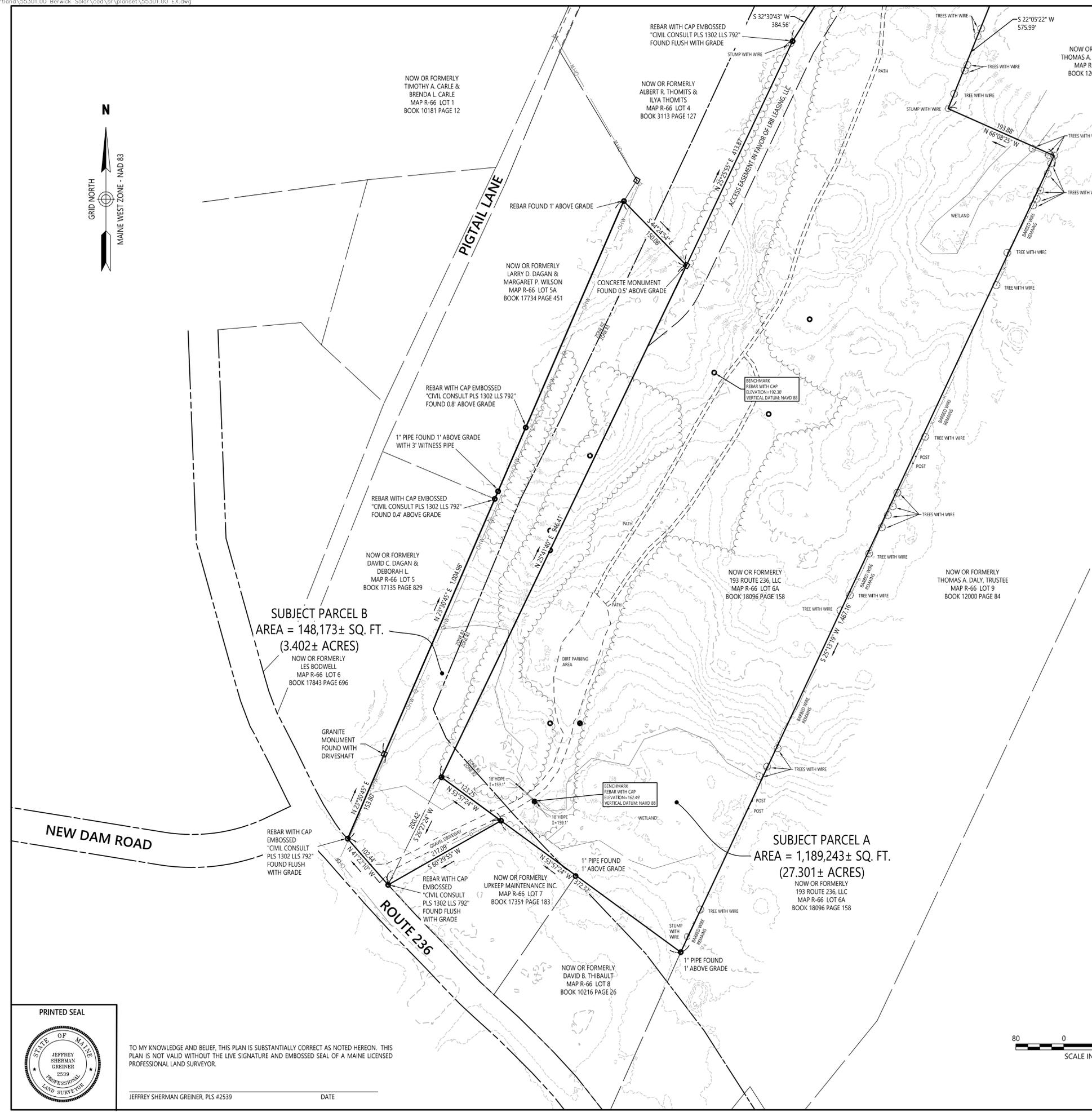
Plan References

- 1) FINAL PLAN - SUBDIVISION PROPOSED BY NORMAND H. DURAND, LOCATED IN: BERWICK, MAINE, SCALE: 1"=50', DATE: FEBRUARY, 1984, BY T.W. BULLARD, ON FILE IN THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 119, PAGE 35.
- 2) PLAN OF LAND, ROUTE 236, BERWICK, MAINE, FOR DANKMAR & GERARDA HALLBAUER, SCALE: 1"=200', DATE: DECEMBER, 1978, BY PLATO C. HOULIARES, ON FILE IN THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 131, PAGE 43.
- 3) PLAN SHOWING PROPOSED LAND TRANSFERS AND ROAD IMPROVEMENTS, NEW DAM ROAD AT ROUTE 236, BERWICK, MAINE, SCALE: 1"=30', DATE: APRIL 3, 1995, REVISED TO: 7/7/1995, BY CIVIL CONSULTANTS, ON FILE IN THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 224, PAGE 22.
- 4) DIVISION OF LAND OF ADELARD E. & GERTRUDE DUMONT, ROUTE 236, BERWICK, MAINE, OF LAND AT ROUTE 236, BERWICK, MAINE, DEED REF: PORTION OF BOOK 1381 PAGE 453, SCALE: 1"=60', DATE: 10/31/99, JOB NO: 9922, BY LITTLE RIVER SURVEY COMPANY, ON FILE IN THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 255, PAGE 31.
- 5) BOUNDARY PLAN PREPARED FOR JOSEPH L. & LINDA B. TIBERIO, SITE LOCATION: 23 PIGTAIL LANE, BERWICK, MAINE, SCALE: 1"=150', DATE: DECEMBER 6, 2002, BY CIVIL CONSULTANTS, ON FILE IN THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 276, PAGE 39.
- 6) STANDARD BOUNDARY SURVEY & DIVISION OF LAND FOR PROPERTY AT 153 ROUTE 236, BERWICK, YORK COUNTY, MAINE, OWNED BY NORMAN ALBERT & CINDY L. OTASH, SCALE: 1"=100', DATE: 3/16/07, REVISED TO: 3/23/07, SHEET: 1 OF 1, DRAWING NO: 07609 DIVISION, BY EASTERLY SURVEYING, INC., ON FILE IN THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 319, PAGE 14.
- 7) CENTRAL MAINE POWER CO., GERTRUDE DUMONT LAND, 2019 ROUTE 236, BERWICK, MAINE, SCALE: 1"=200', DATE: 12-30-13, REVISED TO: 8/19/2014, NO. 1021-T116-200, BY IUSA ENGINEERING, ON FILE IN THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 317, PAGE 10.
- 8) PLAN OF LAD AND PROPOSED DIVISION - LAND OF LES BODWELL & LRB LEASING, LLC, ROUTE 236 (SALMON FALLS ROAD) & PIGTAIL LANE, BERWICK, YORK COUNTY, MAINE, PREPARED FOR LES BODWELL, SHEET 1 OF 1, SHEET NUMBER B1, PROJECT # 18-207.00, SCALE: 1"=100', DATE: MARCH 22, 2019, BY CIVIL CONSULTANTS. THIS PLAN IS UNRECORDED.

Record Owners

SUBJECT PARCEL A:  
193 ROUTE 236, LLC  
MAP R-66 LOT 6A  
BOOK 18096 PAGE 158

SUBJECT PARCEL B:  
LES BODWELL  
MAP R-66 LOT 6  
BOOK 17843 PAGE 696



TO MY KNOWLEDGE AND BELIEF, THIS PLAN IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS PLAN IS NOT VALID WITHOUT THE LIVE SIGNATURE AND EMBOSSED SEAL OF A MAINE LICENSED PROFESSIONAL LAND SURVEYOR.



JEFFREY SHERMAN GREINER, PLS #2539 DATE \_\_\_\_\_

Survey Plan

Route 236, Town of Berwick  
County of York, State of Maine

No.	Revision	Date	App'd.

Designed by \_\_\_\_\_ Checked by \_\_\_\_\_  
Issued for \_\_\_\_\_ Date \_\_\_\_\_  
April 27, 2020

Existing Conditions  
Topographic Survey &  
Boundary Survey

Drawing Number

Sv-1

Sheet of 2  
1 2

Project Number  
55301.00



500 Southborough Drive  
Suite 105B  
South Portland, ME 04106  
207.889.3150

**Legend**

- ⊕ DRAIN MANHOLE
- ⊞ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊕ TELEPHONE MANHOLE
- ⊕ MANHOLE
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**Survey Plan**

Route 236, Town of Berwick  
County of York, State of Maine

No.	Revision	Date	App'd.

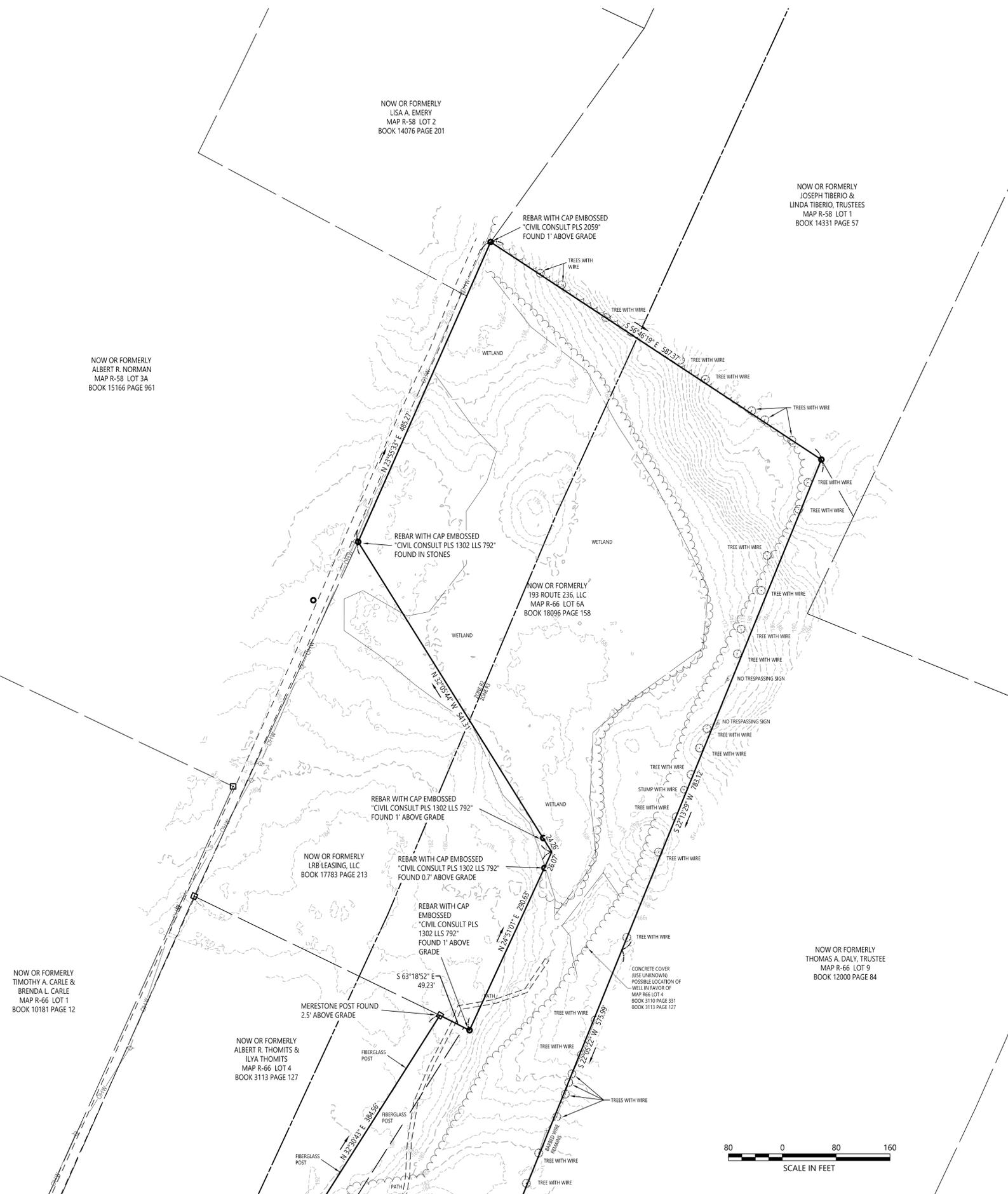
Designed by \_\_\_\_\_ Checked by \_\_\_\_\_  
 Issued for \_\_\_\_\_ Date \_\_\_\_\_  
**April 27, 2020**

Drawing Title  
**Existing Conditions  
 Topographic Survey &  
 Boundary Survey**

Sheet **Sv-2** of 2

Project Number  
**55301.00**

Saved Wednesday, April 23, 2020 7:43:46 AM JOEBRENER Plotted Wednesday, April 23, 2020 7:54:12 AM Greiner, Jeffrey



**Tree Protection**

- EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
- DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

**Edge of Woods Clearing**

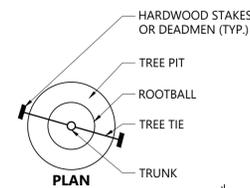
- EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY EROSION CONTROL FENCE AND HAY BALE BARRIER. ERECT BARRIER AT EDGE OF THE EARTHWORK CUT LINE PRIOR TO TREE CLEARING. LAY OUT THIS LINE BY FIELD SURVEY.

**Planting Notes**

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN LIST AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSEYMEN AND CONTRACT DOCUMENTS.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

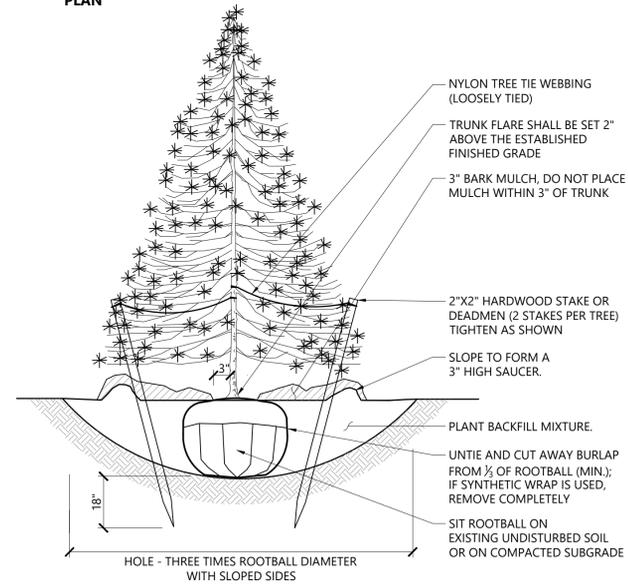
**Plant Maintenance Notes**

- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.



**NOTES**

- STAKING IS NOT REQUIRED FOR TREES UNDER 10' HIGH.
- PAINT TOP OF STAKES ORANGE OR REFLECTIVE RED TAPE.



**Evergreen Tree Planting**

N.T.S. Source: VHB 1/16 LD\_604



**TREEGATOR® JR. PRO**  
SLOW RELEASE WATERING BAG FOR EVERGREENS, TREES AND SHRUBS

**BENEFITS:**

- Ideal for newly planted trees, evergreens or shrubs.
- Reduces transplant and drought shock.
- 100% absorption eliminates water waste.
- Install and fill in minutes with no tools required.
- Just place, fill, and walk away!
- Color and low-profile blends with landscape.
- Removable dual emitter system.
- Deep water saturation with every application.
- Fill just 1 to 2 times per week, or as needed.\*\*
- Promotes deep root growth.
- Made in the U.S.A. with a 3-year limited warranty.

\*\*REFER TO WATERING CAPACITY / FREQUENCY CHART SHOWN BELOW

**DESCRIPTION:**

Professionally water any newly planted tree or shrub with a Treegator® Jr. Pro Slow Release Watering Bag! Dual emitters continuously provides water over a 5 to 8 hour time period with no run-off. Brown color and low profile blends with existing landscape and reduces visibility while in use. Installs in minutes with no tools. Requires filling just 1 to 2 times per week. Just place, fill, and walk away!

**SPECS:**

Fits plantings up to 5 inches in trunk caliper.  
Made of brown PVC with "gator-skin" embossing.  
Removable dual PVC emitters.  
Continuously waters for 5 to 8 hours.  
Convenient handle allows for easy filling.  
Recommended for use on a level surface or properly built mulch pile to ensure proper drainage.

**DIRECTIONS FOR USE:**

Place Treegator® Jr. Pro on flat ground, or on top of a properly built mulch pile (recommended).  
Wrap both sides of bag around trunk.  
Open the top of the red fill valve cap and insert hose.  
Lift up on handle and fill with water to desired level.  
While lifting on handle, remove hose end, and close red fill valve cap tightly and securely.  
Bag will be empty in approximately 5 to 8 hours.  
Fill bag 1 to 2 times per week, or as needed.  
When not in use, remove from around planting, and store in a cool, dry place until next use.  
Do not use in temperatures below 40 degrees Fahrenheit.

**MEASUREMENTS:**

Full - 35" diameter x 6" high

**WATERING CAPACITY / FREQUENCY CHART:**

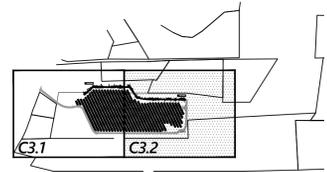
Treegator® Jr. Pro	Trunk Caliper (diameter)	Recommended Fills per Week
 15 gallon capacity	1 to 2 inch (3 to 5 cm)	1 Fill per Week
	2 to 3 inch (5 to 8 cm)	2 Fills per Week
	4 to 5 inch (10 to 13 cm)	3 Fills per Week

**Treegator Jr. Pro at Evergreen Trees**

N.T.S. Source: Treegator

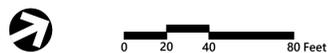


500 Southborough Drive  
Suite 105B  
South Portland, ME 04106  
207.889.3150



**Key**

Not To Scale



**Berwick Solar, LLC**

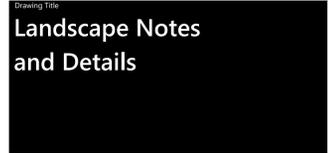
193 Route 236  
Berwick, Maine 03901

No.	Revision	Date	Aspd.

Designed by	TL	Checked by	CG
Issued for		Date	

Permitting February 24, 2020

Not Approved for Construction



Drawing Number

**L-3**

Sheet 9 of 6

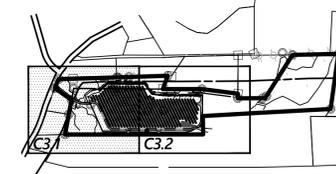
Project Number 55301.00

See Sheet C3.1

Match Line

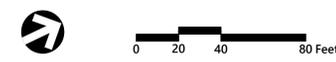


500 Southborough Drive  
Suite 105B  
South Portland, ME 04106  
207.889.3150



**Key**  
Not To Scale

See Sheet C3.2  
Match Line



**Berwick Solar, LLC**  
193 Route 236  
Berwick, Maine 03901

No.	Revision	Date	Aspd.

Designed by TL Checked by CG  
Issued for Permitting Date February 24, 2020

Not Approved for Construction  
Drawing Title  
**Landscape Plan**  
Drawing Number

**L-1**

Sheet 7 of 6

Project Number  
55301.00

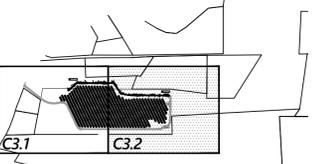


**PLANT SCHEDULE**

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AF2	24	Abies fraseri	Fraser Fir	7 - 8' HT.
JC2	42	Juniperus virginiana 'Cupressifolia'	Hillspire Juniper	5 - 6' HT.
PD	20	Picea glauca 'Densata'	Black Hills Spruce	7 - 8' HT.
PF2	9	Picea pungens 'Fat Albert'	Colorado Spruce	7 - 8' HT.
TE2	42	Thuja occidentalis 'Emerald'	Emerald Arborvitae	5 - 6' HT.



500 Southborough Drive  
Suite 105B  
South Portland, ME 04106  
207.889.3150



**Key**

Not To Scale



**Berwick Solar, LLC**

193 Route 236  
Berwick, Maine 03901

No.	Revision	Date	App'd.

Designed by TL Checked by CG  
Issued for Date

Permitting February 24, 2020

Not Approved for Construction

Drawing Title  
**Landscape Plan**  
Drawing Number

**PLANT SCHEDULE**

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TE2	42	Thuja occidentalis 'Emerald'	Emerald Arborvitae	5 - 6' HT.

Match Line See Sheet C3.1

NOW OR FORMERLY  
LARRY D. DAGAN &  
MARGARET P. WILSON  
MAP R-66 LOT 5A  
BOOK 17734 PAGE 451

NOW OR FORMERLY  
ALBERT R. THOMITS &  
ILYA THOMITS  
MAP R-66 LOT 4  
BOOK 3113 PAGE 127

Note: Provide 6' diameter mulch  
ring @ each tree location (typ.)

NOW OR FORMERLY  
THOMAS A. DALY, TRUSTEE  
MAP R-66 LOT 9  
BOOK 12000 PAGE 04



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**PLANNING BOARD MEMORANDUM  
TOWN OF BERWICK, PLANNING DEPARTMENT**

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**TO:** BERWICK PLANNING BOARD  
**FROM:** JAMES BELLISSIMO, PLANNER  
**SUBJECT:** PK STORAGE – SITE PLAN AMENDMENT/REVIEW  
**DATE:** APRIL 30, 2020  
**CC:**

The proposed expansion will add 2,700 ft<sup>2</sup> in self-storage units and 5,143 ft<sup>2</sup> of pavement for access to the units. The expansion added to the existing totals to 43,513 ft<sup>2</sup> of impervious surface and requires a Permit by Rule with DEP but does not require a full stormwater permit. The lot coverage will be 10% which is below the zone limit of 10%. Proposed erosion control measures include: riprap trenches, silt fencing and berms. These improvements are submitted as part of the Low Impact Design statement.

The number of employees (1), hours of operation (8a-5p) and access (24 hours) remains the same.

Staff has asked project representative Neil Rapoza about the landscape waiver and why it should be waived. Staff has also asked Neil and the Berwick CEO about the lighting on the building to determine if the lighting is downward facing and in conformance with the Berwick Land Use Ordinance.

Letters to Department Heads have been included in the application as required by Site Plan approval.

This lot was granted a variance of 2.5' for the frontage requirement on November 1, 2017 with no additional conditions.

### **Planning Board Discussion Points & Decisions**

1. Determine application completeness
  - a. If complete, determine if a Site Walk is necessary and
  - b. Schedule the Public Hearing



# Town of Berwick

Where Tradition Meets Tomorrow

11 Sullivan Street, Berwick, Maine 03901

Phone: (207) 698-1101 Fax: (207) 698-5181

Website: [www.berwickmaine.org](http://www.berwickmaine.org)

## APPLICATION: CONDITIONAL USE PERMIT/SITE PLAN REVIEW

<b>PLANNING BOARD REVIEW FEES</b> <i>(All Fees are Non-Refundable)</i>		<input type="checkbox"/> \$500.00 <b>Conditional Use Review</b> <input checked="" type="checkbox"/> \$1,000.00* <b>Site Plan Review</b> <i>* Site Plan Review requiring more than 10 hours of staff time will be billed at \$80/hour.</i>		<b>Site Plan Review<sup>†</sup> Please check any that apply:</b> <input type="checkbox"/> Construction of 3,000 or more ft <sup>2</sup> <input checked="" type="checkbox"/> Installment of 5,000 ft <sup>2</sup> or more impervious surfaces. <input type="checkbox"/> Mobile Home Park <input type="checkbox"/> Extraction Industry <input type="checkbox"/> Multi-Family <input type="checkbox"/> None of the above			
<b>PROPERTY DESCRIPTION</b>	Parcel ID	Map: R54	Lot: 4	Zoning District: R-3	Total Land Area: 56,500 sq ft	Part of a Subdivision (Y/N)	N
	Physical Address	387 School Street (Route 9) Berwick, ME 03901				Aquifer Protection (Y/N)	N
						Shoreland Protection (Y/N)	N
						Resource Protection (Y/N)	N
						Special Flood Hazard Area (Y/N)	N
<b>APPLICANT OR REPRESENTATIVE INFORMATION</b>	Name	PK Storage, LLC (Paul Kennedy)		Mailing Address	PO Box 577 Berwick, ME 03901		
	Phone	207-698-7835		Email Address	neil@civcon.com (Agent)		
<b>PROJECT DESCRIPTION</b>	<u>Existing Use:</u> Self-storage facility.						
	<u>Project Name:</u> PK Storage Expansion						
	<u>Proposed Use</u> Expansion of storage buildings and activities on previously disturbed portions of lot.						
	<u>Waiver(s) Requested:</u> Soils investigation (9.8.F.2.b.v.), landscape plan (9.8.F.2.b.vii.), Financial capacity (9.8.F.2.c.vii.)						

**Planning Board meetings are the 1<sup>st</sup> and 3<sup>rd</sup> Thursday of each month at 6:30pm.**

This application must be submitted at least **two weeks** in advance of the Planning Board meeting. Ongoing applications have a **one-week** submittal requirement. Please e-mail a complete application to [planning@berwickmaine.org](mailto:planning@berwickmaine.org), submit the application fee and eight copies to the Planning Department with the requirements outlined on the other side of this application.

A Public Hearing and a site walk when necessary will be scheduled when the Planning Board finds the application complete. All expenses must be paid before a Certificate of Occupancy will be granted through the Code Enforcement Office. A performance guarantee may be required by the Planning Board.

**CERTIFICATION. To the best of my knowledge, all information submitted with this application is true and correct.**

  
 Signature of Applicant

3-17-2020  
 Date

Submitted	Waiver Request	Conditional Use Application Requirements
<input checked="" type="checkbox"/>	N/A	List of Abutters located within 200 feet including tax map and lot number. Information can be found in the Assessing Database or GIS maps at <a href="http://www.berwickmaine.org">www.berwickmaine.org</a>
<input checked="" type="checkbox"/>	N/A	Right, Title and Interest to the Property: Copy of Deed, Purchase & Sale Agreement or subdivision approval.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Site Plan to include requirements in Section 9.8(F) of the Land Use Ordinance. Including: <input checked="" type="checkbox"/> Proposed buildings with room layout <input checked="" type="checkbox"/> Approximate boundaries of the parcel <input checked="" type="checkbox"/> Parking Plan <input checked="" type="checkbox"/> Traffic circulation with proposed exists and entrances <input checked="" type="checkbox"/> Lighting <input checked="" type="checkbox"/> Landscaping.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Written narrative describing proposed use including: <input checked="" type="checkbox"/> Total floor area <input checked="" type="checkbox"/> Ground coverage <input checked="" type="checkbox"/> Location of each proposed building <input checked="" type="checkbox"/> Setbacks to property line <input checked="" type="checkbox"/> Business Hours of Operation <input checked="" type="checkbox"/> Number of Employees <input checked="" type="checkbox"/> Materials to be Used Refuse/Garbage Disposal <input checked="" type="checkbox"/> Noise <input checked="" type="checkbox"/> Existing restrictions or easements on the site
N/A (Existing)	<input type="checkbox"/>	<input type="checkbox"/> External Plumbing Permit or permission letter to enter municipal water and sewer lines. OR on-site soils investigation report by licensed site evaluator.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Written statement documenting proposed Low Impact Design (LID) for the site to reduce storm water volumes. LID includes, but is not limited to: green roofs, rain gardens, tree wells, infiltration basins, and permeable pavement.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Materials to satisfy Section of 9.8.I.1 a through s as they apply to Conditional Use Review.

Submitted	Waiver Request	Site Plan Approval Requirements <sup>†</sup> These requirements shall be met when the application meets any of the criterion of Section 9.8.E in the Land Use Ordinance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Map or maps prepared at a scale of not less than 1" to 40'
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Perimeter survey of parcel certified by registered land surveyor Which meets all requirements of 9.8. criterion 2.b.i
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Topography indicating contours at intervals of not more than two feet in elevation unless otherwise specified by the Planning Board.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Existing and proposed locations and dimensions of any utility lines, sewer lines, water lines, easements, drainage ways, public or private ways
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location, ground floor area and elevations of buildings and other structures on site
<input type="checkbox"/>	<input checked="" type="checkbox"/>	On-site soils investigation which meets all requirements of 9.8.2.b.iv
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of on-site pedestrian and vehicular access ways, parking areas, loading and unloading facilities, design of ingress and egress of vehicles to and from the site on to public streets and curb and sidewalk lines
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Landscape plan showing location, type and approximate size of plantings and location and dimensions of all fencing and screening
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A written statement that meets all 11 requirements of 9.8.F.2.c
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Materials to satisfy Section of 9.8.I.1 a through s as they apply to Site Plan Review.

LIST OF ABUTTERS

PK Storage  
387 School Street  
Berwick ME 03901  
Map R54 Lot 4

MAP	LOT	NAME & MAILING ADDRESS
R-54	4 (locus)	PK STORAGE PO BOX 577 BERWICK, ME 03901
R-54	3	GUY, JOHN & DOROTHY 391 SCHOOL ST BERWICK, ME 03901
R-54	4A	ABUSTAN, JAY 395 SCHOOL ST BERWICK, ME 03901
R-54	2	HONKONEN, ERIC & DEBRA 383 SCHOOL ST BERWICK, ME 03901
R-54	1	TIBBETTS, SEAN MICHAEL PO BOX 12 BERWICK, ME 03901
R54	8-1	PELKEY, JAMES PO BOX 1 ELIOT, ME 03903
R54	24	COLE BETH A. 380 SCHOOL ST BERWICK, ME 03901
R54	23	PIECUCH, CHRISTOPHER & JACLYN MINDAS, PATRICK 7 MARTIN RD KITTERY , ME 03904
R54	22-A	ROBBINS, THOMAS DRAKE 36 OLD PINE HILL ROAD BERWICK, ME 03901
R54	22	PEPIN FAMILY LIMITED PARTNERSHIP C/O PEPIN, NORMAN & MARGARET 388 SCHOOL ST BERWICK, ME 03901
R54	21	CROSBY, ROBERT L. & MARLENE E. ESTATE OF MARLENE CROSBY 392 SCHOOL ST BERWICK, ME 03901
R54	20	LAGUEUX WILLIAM J. PO BOX 603 BERWICK ME 03901
R54	19	MCCARTHY JACK 18 PREBLE ST DOVER, NH 03820
R54	19-1	SPRINGER, DAVID 424 SCHOOL STREET BERWICK, ME 03901

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**CIVIL  
CONSULTANTS**

P.O. Box 100 South Berwick, Maine 03908 207-384-2550



BK 17410 PGS 670 - 672 01/25/2017 01:38:06 PM  
 INSTR # 2017003635 DEBRA ANDERSON  
 RECEIVED YORK SS REGISTER OF DEEDS

## WARRANTY DEED

We, **James M. Chandler and Debra J. Chandler, Co-Trustees of The Woodman Retirement Trust**, a Maine Trust, with a mailing address of 31 Cincotta Lane, Berwick, ME 03901, for consideration paid, grant to **PK Storage, LLC**, a Maine Limited Liability Company, with a mailing address of P.O. Box 577, Berwick, ME 03901, with warranty covenants, certain lots or parcels of land, with the buildings and improvements, situated in the Town of Berwick, County of York, and State of Maine, on the northerly side of State Highway Route 9 running from Berwick to North Berwick and bounded and described as follows:

Lot I:

Beginning at the southeast corner of said lot at an iron hub set in the ground adjoining said highway, and running thence northeasterly by other land of said grantor 100 feet to an iron hub set in the ground; thence westerly by other land of said grantor 150 feet to an iron hub set in the ground; thence running southerly by other land of said grantor 100 feet to an iron hub set in the ground adjoining said highway; thence running easterly by said highway 150 feet to the point begun at.

The above conveyance is hereby made on condition that no building or buildings shall be erected on the above described premises unless the value of said building or buildings equal or exceed the sum of Five Thousand (5,000.00) Dollars.

Lot II:

Beginning at the southeast corner of land now owned by Harry J. Ricker, grantee, and running thence northeasterly by land of said grantee 100 feet to an iron hub set in the ground; thence westerly by other land of Wilbur P. Spencer to an iron hub set in the ground; thence running southerly by other land of said grantor 100 feet to said highway; thence running easterly by said highway to the point begun at.

The above conveyance is hereby made on condition that no building or buildings shall be erected on the above described premises unless the value of said building or buildings equal or exceed the sum of Five Thousand (5,000.00) Dollars.

Maine R.E. Transfer Tax Paid

Lot III:

Beginning on the northerly side of said Route 9 at the southeasterly corner of land of one Ordway, and running thence easterly along said Route 9, 47 ½ feet to land of the grantee; thence turning and running by land of the grantee 150 feet to a pin; thence turning and running westerly 47 ½ feet to said Ordway land; thence turning and running southerly by said Ordway land 150 feet to the point of beginning.

Also a certain tract or parcel of land situate in said Berwick and adjoining the northerly side of land of the grantee on the northerly side of Route 9, bounded and described as follows:

Beginning at the northeasterly corner of land of one Ordway, which corner is in the northwesterly corner of the grantee, and running thence northerly 600 feet, more or less, to a pin; thence turning and running easterly 300 feet to a pin; thence turning and running southerly 600 feet, more or less, to a pin on the northeasterly corner of land of the grantee; thence turning and running westerly along the northerly line of land of the grantee 300 feet, more or less, to the point begun at.

Lot IV:

Beginning on the northerly side of Route 9 running from Berwick to North Berwick at the southwesterly corner of land of Maurice Cabana at an iron pipe; thence turning in a northeasterly direction along land of said Cabana and other land of the grantor 600 feet, more or less, to an iron pin; thence turning and running westerly in a line parallel with Route 9 450 feet, more or less, to an iron pin on the northeasterly corner of other land of grantee; thence turning and running southwesterly along other land of the grantee 400 feet, more or less, to an iron pin at land of Albani Lapanne; thence turning and running easterly along land of said Lapanne 90 feet, more or less, to an iron pin; thence turning and running southwesterly along said Lapanne's land 200 feet, more or less, to an iron pin on the northerly side of Route# 9; thence turning and running easterly along the northerly side of Route #9 350 feet, more or less, to an iron pin at land of said Cabana and the place of beginning.

Excepting the parcel of land conveyed in the deed from Harry J. Ricker to N. Kenneth Horne dated November 6, 1981 and recorded in the York County Registry of Deeds in Book 2865, Page 249.

Also excepting the parcel of land conveyed in the deed from Harry J. Ricker to John J. Guy and Dorothy C. Guy dated July 9, 1982 and recorded in the York County Registry of Deeds in Book 2952, Page 84 and corrected in the deed from Harry J. Ricker to John J. Guy and Dorothy C. Guy dated January 20, 1983 and recorded in said registry in Book 3037, Page 92.

Together with all rights, easements and appurtenances benefitting the premises herein conveyed.

Meaning and intending to convey the same premises conveyed to the Grantors herein by Warranty Deed of Margaret A. Pepin and Norman R. Pepin, said deed being dated April 25, 2016 and recorded in the York County Registry of Deeds at Book 17222, Page 639.

We hereby covenant that said Trust is duly organized under the laws of the State of Maine; that we are the sole Trustees pursuant to said Declaration of Trust; that said Trust is still in full force and effect; that I have the power thereunder to convey as aforesaid; and that, in making this conveyance, we have, in all respects, acted pursuant to the authority vested in and granted to us therein.

Witness our hands and seals this 24 day of January, 2017.

The Woodman Retirement Trust

James M. Chandler  
James M. Chandler, Trustee

Susel Thibeau  
Witness to both

The Woodman Retirement Trust

Debra J. Chandler  
Debra J. Chandler, Trustee

\_\_\_\_\_  
Witness

STATE OF MAINE  
YORK, SS:

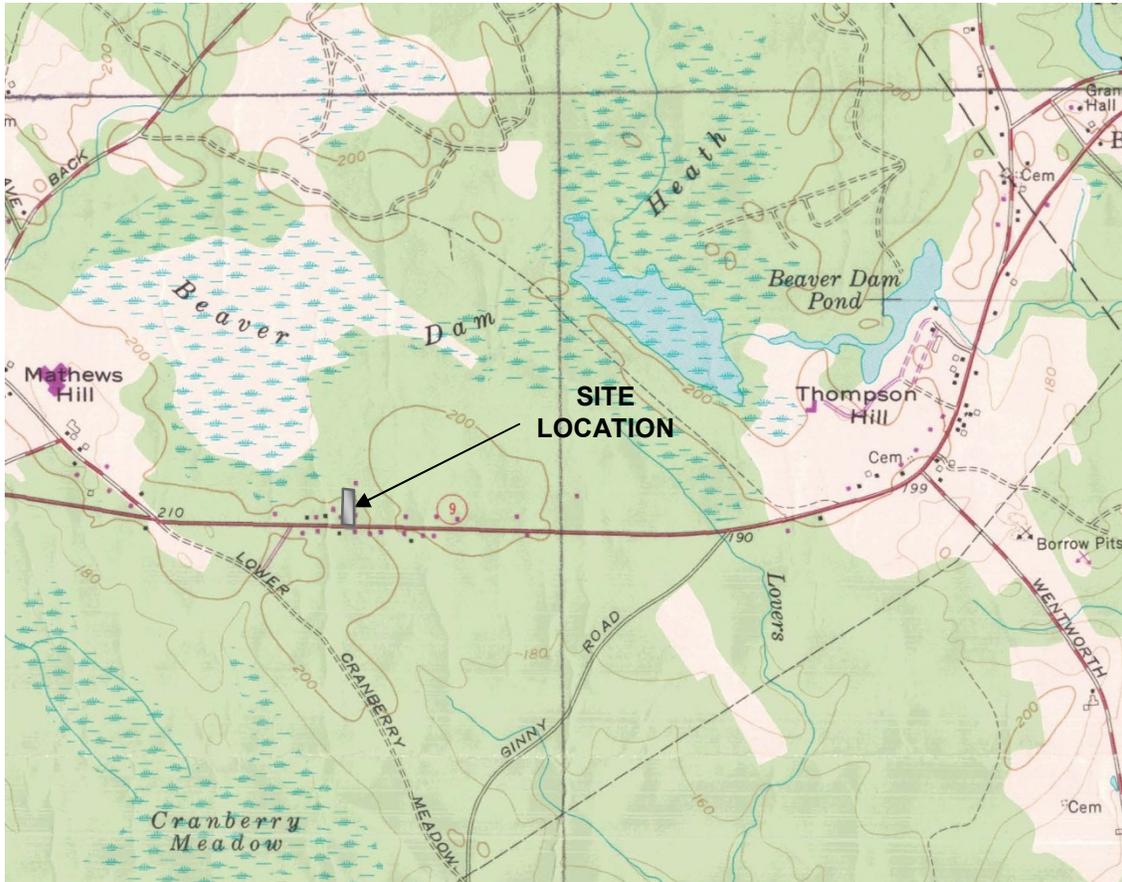
January 24, 2017

Then personally appeared the above named James M. Chandler and Debra J. Chandler in their capacities as Trustees of The Woodman Retirement Trust and acknowledged the foregoing instrument to be their free act and deed in their said capacities.

Susel Thibeau  
Notary Public's Name:  
My commission expires:  
Susan C Thibeau  
Attorney At Law  
Bar No 007050

378 E  
↓

LAW OFFICE OF  
SUSAN C. THIBEAU, P.A.  
P. O. BOX 700  
BERWICK, MAINE 03901-0700



PORTION OF USGS MAP Somersworth, NH		PREPARED FOR: PK Storage, LLC 387 School Street Berwick, ME	
JOB NO: 17-102.01	NTS	DATE: August 2019	

J:\aaa\2017\1710201\review\_letters\20190827-1710201-USGSMap.docx



P.O. Box 100 South Berwick, Maine 03908 207-384-2550

**USGS Map**

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## CIVIL CONSULTANTS MEMORANDUM

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**TO:** Town of Berwick                      **FROM:** Neil J. Rapoza, PE                      **DATE:** January 20, 2020  
**SUBJECT:** Project Narrative  
**PROJECT:** 17-102.01 PK Storage (Map R54, Lot 4)

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The proposed project is revision to an existing approved site plan to include an expansion of PK Storage, an existing self-storage facility located on Route 9. The use was originally approved November 2, 2017 and constructed in 2018.

The expansion will add 2,700 sf of self-storage units along with 5,143 sf of pavement for access. This brings the total additional impervious area to 7,843 sf. The total impervious coverage on the lot will be 43,513 sf. This will require a revised PBR form to be submitted to the Department of Environmental Protection, but will not require a full stormwater permit. Erosion control measures will be implemented and consist of new riprap trenches along paved areas along with conventional silt fence or erosion control berms.

The building coverage on the lot will be 14,950 sf. The total upland lot area is 148,660 sf, resulting in a lot coverage of 10%. This remains well below the 20% maximum lot coverage allowed in the zone. The structures will not encroach on the 50 ft side setbacks.

The proposed storage buildings will be of the same building materials and architectural appearance as the existing buildings.

All of the proposed development is located on land that was previously developed with exposed exterior storage and material processing equipment.

The number of employees will remain at 1. The office hours of operation will remain Monday-Sunday 8am-5pm, with storage units accessible 24 hours a day.

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## CIVIL CONSULTANTS MEMORANDUM

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**TO:** Town of Berwick                      **FROM:** Neil J. Rapoza, PE                      **DATE:** January 20, 2020  
**SUBJECT:** Low Impact Development Statement  
**PROJECT:** 17-102.01 PK Storage (Map R54, Lot 4)

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The proposed project is revision to an existing approved site plan to include an expansion of PK Storage, an existing self-storage facility located on Route 9. The use was originally approved November 2, 2017 and constructed in 2018.

The project is intended to limit development to less than one acre of impervious area. This is a reduction from past, unregulated development on the lot.

Additional land is available for improvements; however the remainder of land will be allowed to be reclaimed by native vegetation instead.

Several areas of erosion control measures are proposed, including riprap plunge pools and stone trenches at the edges of paved areas where runoff enters adjacent natural areas.

It is the intent that the proposed development will represent an improved condition compared to previous uses on the site, with a net positive environmental impact.

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**CIVIL CONSULTANTS MEMORANDUM**

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**TO: Town of Berwick Planning Office**

**FROM: Neil J. Rapoza, PE – Sr. Project Engineer**

**SUBJECT: Project Summary – Town of Berwick Ordinance  
Section 9.8.F**

**DATE: 3/19/2020**

**ROJECT: 17-102.01 PK STORAGE EXPANSION**

As part of the site plan review process, the following memorandum has been prepared to address Section 9.8.F of the Berwick Land Use Ordinance.

<b>REQUIREMENTS</b>	<b>APPLICANT'S RESPONSE</b>
<b>9.8.F.1</b>	
a. Name and address of the applicant or his/her authorized agent and name of proposed development in which the applicant has title or interest; a deed for the property	<i>Applicant: PK Storage, LLC PO Box 577 Berwick, ME 03901 Agent: Neil J. Rapoza, PE CIVIL CONSULTANTS PO Box 100 South Berwick, ME 03908</i>
b. Municipal tax maps and lot numbers and names and addresses of abutting landowners	<i>Tax Map R-54, Lot 4. See attached abutter list.</i>
c. Total floor area, ground coverage and location of each proposed building; setbacks to property lines;	<i>Proposed 2,600 sf of new storage buildings along with 5,149 sf of associated pavement, resulting and a total of 8,240 sf of new impervious area. This will bring the total coverage on the lot to 43,567 sf.</i>
d. Approximate boundaries of the parcel	<i>Provided on plans.</i>
e. If on-site sewage disposal is proposed, then an on-site soils investigation report by a licensed site evaluator shall be provided	<i>No new sewage disposal is proposed.</i>
f. If public water and/or sewer are to be used, a statement from the water and/or sewer district or utility as to the availability of public water and/or sewer;	<i>See attached letters</i>
g. Existing and proposed entrances/exits	<i>No changes proposed.</i>



	from the property	
h.	A parking plan shall also be provided	<i>No changes proposed.</i>
i.	Any existing restrictions or easements on the site	<i>Not applicable</i>
j.	A brief written narrative shall be provided on what type of business is proposed, hours of operation, number of employees, materials being used, waste disposal, etc	<i>See attached.</i>
<b>9.8.F.2.b</b>		
i.	A map or maps prepared at a scale of not less than one inch to 40 feet and shall include:	<i>See attached.</i>
ii.	Perimeter survey of the parcel made and certified by a registered land surveyor depicting reference points, showing true north point, graphic scale, corners of the parcel and date of survey and total acreage. The perimeter survey shall be recorded at the York County Registry of Deeds after Planning Board approval but prior to the issuance of the land use permit. Areas within 200 feet of the proposed development site shall be included	<i>See attached.</i>
iii.	Existing and proposed locations and dimensions of any utility lines, sewer lines, water lines, easements, drainage ways, public or private rights of way	<i>See attached.</i>
iv.	Location, ground floor area and elevations of buildings and other structures on the site	<i>See attached.</i>
v.	If the site is not to be served by a public sewer line, then an on-site soils investigation report by a Department of Human Services licensed site evaluator shall be provided. The report shall contain the types of soil, location of test pits, and proposed location and design of the best practical subsurface disposal system for the site, all of which must meet the standards set forth in the Maine State Plumbing Code	<i>Waiver Requested: The proposed expansion will not be a use that produces wastewater.</i>
vi.	Location and dimensions of on-site pedestrian and vehicular access ways,	<i>See attached.</i>



	parking areas, loading and unloading facilities, design of ingress and egress of vehicles to and from the site on to public streets and curb and sidewalk lines	
vii.	Landscape plan showing location, type and approximate size of plantings and location and dimensions of all fencing and screening	<i>Waiver Requested: No new landscaping is proposed. The area of the proposed expansion is surrounded by mature woodland and will be sufficiently screened from abutting properties.</i>
viii.	Topography indicating contours at intervals of not more than two feet in elevation unless otherwise specified by the Planning Board	<i>Provided on plan.</i>
<b>9.8.F.2.c</b>		
i.	A description of the proposed uses to be located on the site, including quantity and type of building construction if any;	<i>The proposed use is an expansion of an existing self-storage facility. There is a total of</i>
ii.	Total floor area and ground coverage of each proposed building and structure and percentage of lot covered by each building or structure;	<i>Provided on plan.</i>
iii.	Method of solid waste disposal;	<i>Negligible solid waste to be generated.</i>
iv.	Erosion and sedimentation control plan prepared in accordance with Article 7.15 if required;	<i>Provided on plan.</i>
v.	Copies of letters to the town manager, selectmen, Planning Board, road commissioner/public works director, fire chief, police chief, etc. notifying them of the proposed development;	<i>See attached.</i>
vi.	Stormwater management plan prepared in accordance with Article 7.17 if required;	<i>Project will require a Stormwater Permit By Rule. This has been submitted and is expected to be accepted by the date of the Planning Board meeting.</i>
vii.	Statement of financial capacity which should include the names and sources of the financing parties including banks, government agencies, private corporations, partnerships and limited partnerships and whether these sources of financing are for construction loans or long-term mortgages or both	<i>Waiver Requested: The project will not have an impact on municipal resources will not need to be completed to protect the interests of the Town.</i>
viii.	The applicant's evaluation of the availability and suitability of off-site public facilities including sewer, water, and streets	<i>Not applicable, insignificant impact to public facilities will be created by the additional storage areas.</i>
ix.	A statement from the fire chief as to the availability of fire hydrants and/or fire ponds, or provisions of fire protection services	<i>Awaiting response from the Fire Chief.</i>



x. If public streets are proposed, a statement from the town engineer that the proposed road or street construction will meet town specifications	<i>Not applicable.</i>
xi. An estimate of the date when construction will start and when the development will be completed	<i>Approximate start date of May 1, 2020. Approximate completion date of August 1, 2020.</i>

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**CIVIL CONSULTANTS MEMORANDUM**

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**TO: Town of Berwick Planning Office**

**FROM: Neil J. Rapoza, PE – Sr. Project Engineer**

**SUBJECT: Waiver Request – Town of Berwick Ordinance  
Section 9.8.F.2.c.vii – Financial Capacity**

**DATE: 1/20/20**

**ROJECT: 17-102.01 PK STORAGE EXPANSION**

As part of the site plan review process, the project is requesting a waiver from a portion of Section 9.8.F.2.c. The requirements are presented below along with justification for our request.

Town of Berwick Zoning Section:

**SECTION 9.8.F.2.c.vii (Portion of Site Design Requirements – Financial Capacity)**

Statement of financial capacity which should include the names and sources of the financing parties including banks, government agencies, private corporations, partnerships and limited partnerships and whether these sources of financing are for construction loans or long-term mortgages or both.

The submission requirement is not applicable to this application since the proposed expansion will not have any impact on the Town or municipal resources if not completed.

The granting of the waiver would not adversely affect abutting landowners or the general health, safety and welfare of the Town, since no abutter is directly affected.

The granting of the waiver would not have the effect of nullifying the intent and purpose of the official zoning map, any ordinance, or the Comprehensive Plan, as all other pertinent requirements have been satisfied.

Based on the presented information it is our opinion that the material is worthy of this waiver request.

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**CIVIL CONSULTANTS MEMORANDUM**

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**TO: Town of Berwick Planning Office**

**FROM: Neil J. Rapoza, PE – Sr. Project Engineer**

**SUBJECT: Waiver Request – Town of Berwick Ordinance  
Section 9.8.F.2.b.vi – Landscaping**

**DATE: 1/20/20**

**PROJECT: 17-102.01 PK STORAGE EXPANSION**

As part of the site plan review process, the project is requesting a waiver from a portion of Section 9.8.F.2.b. The waiver intent is to prevent unnecessary cost to the applicant to obtain information that would not serve a purpose. The zoning requirements are presented below along with justification for our request.

Town of Berwick Zoning Section:

**SECTION 9.8.F.2.b.iv (Portion of Site Design Requirements - Landscaping)**

Landscape plan showing location, type and approximate size of plantings and location and dimensions of all fencing and screening.

The submission requirement is not applicable to this application since the proposed expansion will be screened completely from abutters by allowing all existing woodlands to remain, and it will be separated from Route 9 by the existing developed portion of the lot.

The granting of the waiver would not adversely affect abutting landowners or the general health, safety and welfare of the Town, since no abutter is directly affected.

The granting of the waiver would not have the effect of nullifying the intent and purpose of the official zoning map, any ordinance, or the Comprehensive Plan, as all other pertinent requirements have been satisfied.

Based on the presented information it is our opinion that the material is worthy of this waiver request.

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## CIVIL CONSULTANTS MEMORANDUM

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**TO: Town of Berwick Planning Office**

**FROM: Neil J. Rapoza, PE – Sr. Project Engineer**

**SUBJECT: Waiver Request – Town of Berwick Ordinance  
Section 9.8.F.2.b.iv – Soil Investigation**

**DATE: 1/20/20**

**ROJECT: 17-102.01 PK STORAGE EXPANSION**

As part of the site plan review process, the project is requesting a waiver from a portion of Section 9.8.F.2.b. The waiver intent is to prevent unnecessary cost to the applicant to obtain information that would not serve a purpose. The zoning requirements are presented below along with justification for our request.

Town of Berwick Zoning Section:

**SECTION 9.8.F.2.b.iv (Portion of Site Design Requirements – Soil Investigation)**

If the site is not to be served by a public sewer line, then an on-site soils investigation report by a Department of Human Services licensed site evaluator shall be provided. The report shall contain the types of soil, location of test pits, and proposed location and design of the best practical subsurface disposal system for the site, all of which must meet the standards set forth in the Maine State Plumbing Code.

The submission requirement is not applicable to this application since the proposed expansion will not produce any wastewater requiring subsurface treatment.

The granting of the waiver would not adversely affect abutting landowners or the general health, safety and welfare of the Town, since the submission requirement is intended to address sanitary sewer flows from Site projects and the proposed use does not produce any.

The granting of the waiver would not have the effect of nullifying the intent and purpose of the official zoning map, any ordinance, or the Comprehensive Plan, as all pertinent requirements have been satisfied.

Based on the presented information it is our opinion that the material is worthy of this waiver request.

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**CIVIL  
CONSULTANTS**

Engineers

Planners

Surveyors

P.O. Box 100

293 Main Street

South Berwick

Maine

03908

207-384-2550

January 10, 2020

Stephen G. Eldridge, MPA, Town Manager  
11 Sullivan Street  
Berwick, Maine 03901

**RE: PK Storage Expansion,  
387 School Street, Berwick, Maine  
Berwick Tax Map R-54, Lot 4**

Mr. Eldridge:

PK Storage is proposing to expand the existing self storage facility at the location noted above. Two new buildings will house 2,700 sf of unconditioned storage area.

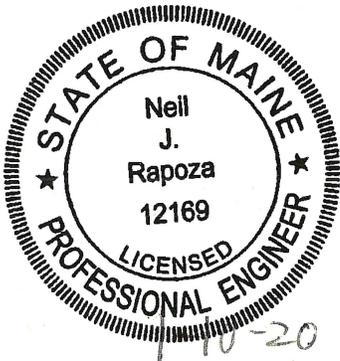
In accordance with Section 9.8.F.2.c.v of the Berwick Land Use Ordinance we are requesting your review and comments. We have provided a set of preliminary plans for your review.

Please feel free to contact us with any questions.

Respectfully yours,  
CIVIL CONSULTANTS

Neil J. Rapoza, P.E.,  
Sr. Project Engineer

Enclosures: Sheets L1, L2, USGS location





**CIVIL  
CONSULTANTS**

Engineers

Planners

Surveyors

P.O. Box 100

293 Main Street

South Berwick

Maine

03908

207-384-2550

January 10, 2020

Jay Wheeler, Administrator  
Berwick Sewer District  
PO Box 15  
39 Powerhouse Road  
Berwick, Maine 03901

**RE: PK Storage Expansion,  
387 School Street, Berwick, Maine  
Berwick Tax Map R-54, Lot 4**

Mr. Wheeler:

PK Storage is proposing to expand the existing self storage facility at the location noted above. Two new buildings will house 2,700 sf of unconditioned storage area.

In accordance with Section 9.8.F.2.c.v of the Berwick Land Use Ordinance we are requesting your review and comments. We have provided a set of preliminary plans for your review.

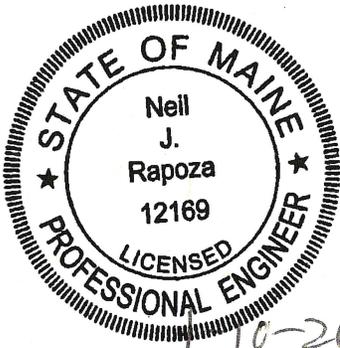
Please feel free to contact us with any questions.

Respectfully yours,  
CIVIL CONSULTANTS

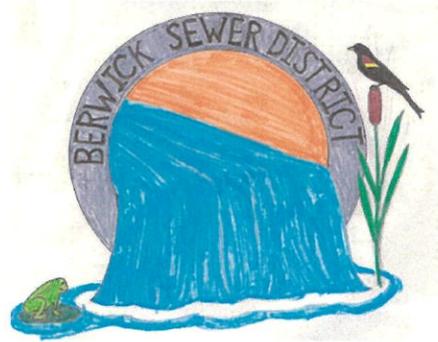
Neil J. Rapoza, P.E.,  
Sr. Project Engineer

Enclosures: Sheets L1, L2, USGS location

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**BERWICK SEWER DISTRICT**  
**PO BOX 15 / 39 POWERHOUSE ROAD**  
**BERWICK, MAINE 03901**  
**207.698.5740**



February 25, 2020

Neil J. Rapoza, P.E.,  
Sr. Project Engineer  
Civil Consultants  
PO Box 100  
293 Main Street  
South Berwick, ME 03908

**RE: PK Storage Expansion**  
**387 School Street, Berwick, Maine**  
**Berwick Tax Map R-54, Lot 4**

Mr. Rapoza,

In reference to the proposed expansion by PK Storage the subject property is not currently within 100' of a right of way containing our collector system so there is no obligation for the owners to connect to or the District to review and comment on.

Regards,

  
Jay Wheeler  
Administrator, Berwick Sewer District

cc: James Bellisimo, Berwick Planning Office  
PK Storage



**CIVIL  
CONSULTANTS**

Engineers  
Planners  
Surveyors  
P.O. Box 100  
293 Main Street  
South Berwick  
Maine  
03908  
207-384-2550

January 10, 2020

Timothy Towne, Police Chief  
Berwick Police Department  
20 Wilson Street  
Berwick, Maine 03901

**RE: PK Storage Expansion,  
387 School Street, Berwick, Maine  
Berwick Tax Map R-54, Lot 4**

Chief Towne:

PK Storage is proposing to expand the existing self storage facility at the location noted above. Two new buildings will house 2,700 sf of unconditioned storage area.

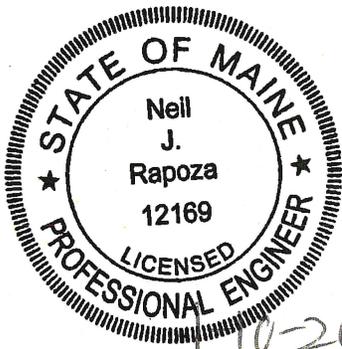
In accordance with Section 9.8.F.2.c.v of the Berwick Land Use Ordinance we are requesting your review and comments. We have provided a set of preliminary plans for your review.

Please feel free to contact us with any questions.

Respectfully yours,  
CIVIL CONSULTANTS

Neil J. Rapoza, P.E.,  
Sr. Project Engineer

Enclosures: Sheets L1, L2, USGS location





**CIVIL  
CONSULTANTS**

*Engineers*

*Planners*

*Surveyors*

*P.O. Box 100*

*293 Main Street*

*South Berwick*

*Maine*

*03908*

*207-384-2550*

January 10, 2020

Dennis Plante, Fire Chief  
Berwick Fire Department  
10 School Street  
Berwick, Maine 03901

**RE: PK Storage Expansion,  
387 School Street, Berwick, Maine  
Berwick Tax Map R-54, Lot 4**

Chief Plante:

PK Storage is proposing to expand the existing self storage facility at the location noted above. Two new buildings will house 2,700 sf of unconditioned storage area.

In accordance with Section 9.8.F.2.c.v of the Berwick Land Use Ordinance we are requesting your review and comments. We have provided a set of preliminary plans for your review.

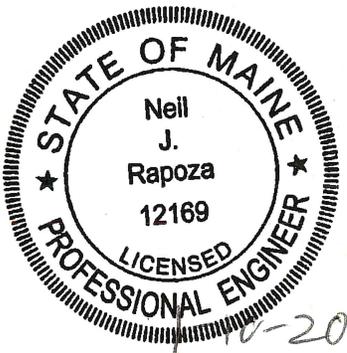
Please feel free to contact us with any questions.

Respectfully yours,  
CIVIL CONSULTANTS

  
Neil J. Rapoza, P.E.,  
Sr. Project Engineer

Enclosures: Sheets L1, L2, USGS location

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## Neil Rapoza

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**From:** Dennis Plante [dplante@berwickfire.org]  
**Sent:** Friday, March 13, 2020 3:15 PM  
**To:** Neil Rapoza  
**Subject:** Re: 17-102.01 PK Storage - access

Ok thanks

Get [Outlook for Android](#)

---

**From:** Neil Rapoza <[neil@civcon.com](mailto:neil@civcon.com)>  
**Sent:** Friday, March 13, 2020 3:13:34 PM  
**To:** Dennis Plante <[dplante@berwickfire.org](mailto:dplante@berwickfire.org)>  
**Subject:** RE: 17-102.01 PK Storage - access

Hi Dennis,

Paul did not install the gate to the main storage facility. He intends to install a security fence around the back of the buildings and the emergency turn-around (not shown in the plan I sent over), but would like to leave the front entrance without a gate or fence if acceptable with the Town.

Neil

CIVIL CONSULTANTS  
*Neil J. Rapoza, PE*  
*Civil / Structural*  
*Sr. Project Engineer*  
293 Main Street  
South Berwick, ME 03908  
Cell 603.973.9231  
Ph 207.384.2550  
Fax 207.384.2112

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**From:** Dennis Plante [<mailto:dplante@berwickfire.org>]  
**Sent:** Friday, March 13, 2020 12:44 PM  
**To:** Neil Rapoza  
**Subject:** RE: 17-102.01 PK Storage - access

OK that's fine, Is there a gate controlling access to the new area ? And is their a gate which controls the first section which was built awhile ago ?

---

**From:** Neil Rapoza <[neil@civcon.com](mailto:neil@civcon.com)>  
**Sent:** Friday, March 13, 2020 12:02 PM  
**To:** Dennis Plante <[dplante@berwickfire.org](mailto:dplante@berwickfire.org)>  
**Subject:** RE: 17-102.01 PK Storage - access

Hi Chief,

We used a 28' radius, that is what I had written in my notes from our meeting. Let me know if that is incorrect for your machine and I will adjust it accordingly. Thanks!

Neil

**CIVIL CONSULTANTS**

*Neil J. Rapoza, PE  
Civil / Structural  
Sr. Project Engineer*

293 Main Street  
South Berwick, ME 03908  
Cell 603.973.9231  
Ph 207.384.2550  
Fax 207.384.2112

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**From:** Dennis Plante [<mailto:dplante@berwickfire.org>]

**Sent:** Friday, March 13, 2020 11:12 AM

**To:** Neil Rapoza

**Subject:** RE: 17-102.01 PK Storage - access

Neil it is hard to determine on the site plan but what is the turning radius your using for the hammer head.

---

**From:** Neil Rapoza <[neil@civcon.com](mailto:neil@civcon.com)>

**Sent:** Thursday, March 12, 2020 4:26 PM

**To:** Dennis Plante <[dplante@berwickfire.org](mailto:dplante@berwickfire.org)>

**Cc:** [ccout@civcon.com](mailto:ccout@civcon.com)

**Subject:** 17-102.01 PK Storage - access

Hi Chief,

Attached is the modified hammerhead that we came up with for Paul's storage area. Let me know if you are OK with this setup and we will include your comments with the application. Thanks for your time on this!

Neil

**CIVIL CONSULTANTS**

*Neil J. Rapoza, PE  
Civil / Structural  
Sr. Project Engineer*

293 Main Street  
South Berwick, ME 03908  
Cell 603.973.9231  
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CONSULTANTS**

Engineers  
Planners  
Surveyors  
P.O. Box 100  
293 Main Street  
South Berwick  
Maine  
03908  
207-384-2550

January 10, 2020

Chris Weismann, Chief Operator  
Berwick Water Department  
11 Sullivan Street  
Berwick, Maine 03901

**RE: PK Storage Expansion,  
387 School Street, Berwick, Maine  
Berwick Tax Map R-54, Lot 4**

Mr. Weismann:

PK Storage is proposing to expand the existing self storage facility at the location noted above. Two new buildings will house 2,700 sf of unconditioned storage area.

In accordance with Section 9.8.F.2.c.v of the Berwick Land Use Ordinance we are requesting your review and comments. We have provided a set of preliminary plans for your review.

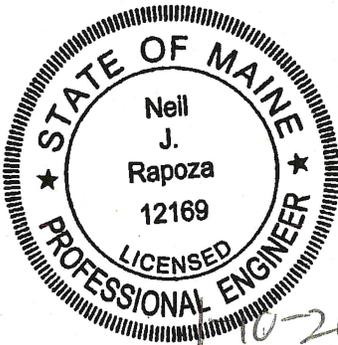
Please feel free to contact us with any questions.

Respectfully yours,  
CIVIL CONSULTANTS

  
Neil J. Rapoza, P.E.,  
Sr. Project Engineer

Enclosures: Sheets L1, L2, USGS location

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## Neil Rapoza

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**From:** CIVIL CONSULTANTS [civcon@civcon.com]  
**Sent:** Friday, February 21, 2020 1:42 PM  
**To:** 'Neil Rapoza'  
**Cc:** ccin@civcon.com  
**Subject:** FW: PK Storage Expansion

---

**From:** Chris Weismann, Chief Operator and Dept. Head [<mailto:chris.weismann@berwickwater.org>]  
**Sent:** Friday, February 21, 2020 11:39 AM  
**To:** [civcon@civcon.com](mailto:civcon@civcon.com)  
**Subject:** PK Storage Expansion

Neil Rapoza:

Thank you for the opportunity to review and comment on the preliminary plans.

The Berwick Water Department finds that no part of the expansion bears on the Department's responsibilities, and therefore has no comments.

Thanks,

Chris Weismann  
Chief Operator and Department Head  
Berwick Water Department

Sent from [Mail](#) for Windows 10



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**CIVIL  
CONSULTANTS**

Engineers  
Planners  
Surveyors  
P.O. Box 100  
293 Main Street  
South Berwick  
Maine  
03908  
207-384-2550

January 10, 2020

Robert Perschy, Foreman  
Berwick Public Works Department  
11 Sullivan Street  
Berwick, Maine 03901

**RE: PK Storage Expansion,  
387 School Street, Berwick, Maine  
Berwick Tax Map R-54, Lot 4**

Mr. Perschy:

PK Storage is proposing to expand the existing self storage facility at the location noted above. Two new buildings will house 2,700 sf of unconditioned storage area.

In accordance with Section 9.8.F.2.c.v of the Berwick Land Use Ordinance we are requesting your review and comments. We have provided a set of preliminary plans for your review.

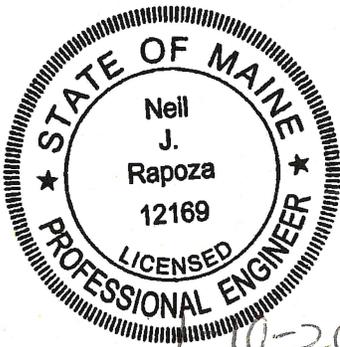
Please feel free to contact us with any questions.

Respectfully yours,  
CIVIL CONSULTANTS

  
Neil J. Rapoza, P.E.,  
Sr. Project Engineer

Enclosures: Sheets L1, L2, USGS location

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## Neil Rapoza

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**From:** Carolyn Stella [cstella@berwickmaine.org]  
**Sent:** Thursday, February 20, 2020 10:16 AM  
**To:** neil@civcon.com  
**Subject:** PK Storage

Good morning,

We received the information for expansion at PK Storage. In terms of our department, and the property being located off a State Rd. It looks ok to our Highway Foreman.

Thank you,

Carly Stella

**Town of Berwick**

Public Works Administrative Assistant

11 Sullivan St

Berwick, ME 03901

207-698-1101 ext. 100

[cstella@berwickmaine.org](mailto:cstella@berwickmaine.org)



Virus-free. [www.avg.com](http://www.avg.com)

North Per Plan Reference 2a

James & Laura Pelkey  
P.O. Box 205  
Berwick, Maine 03901  
Deed Book 8639 Page 1  
Berwick Tax Map R-54 Lot 8-1

James & Laura Pelkey  
P.O. Box 205  
Berwick, Maine 03901  
Deed Book 8639 Page 1  
Berwick Tax Map R-54 Lot 8-1

Jennifer Salsby & George Salsby, Jr.  
10 Whipple Street  
Springvale, Maine 04083  
Deed Book 12497 Page 301  
Berwick Tax Map R-54 Lot 8B-1

James M. & Debra J. Chandler  
31 Cincotta Lane  
Berwick, Maine 03901  
Map R-54 Lot 4  
5.09 Acres

Eric C. & Debra C. Honkonen  
383 School Street  
Berwick, Maine 03901  
Deed Book 14143 Page 537  
Berwick Tax Map R-54 Lot 2

Jay J. Abustan  
395 School Street  
Berwick, Maine 03901  
Deed Book 14577 Page 753  
Berwick Tax Map R-54 Lot 4A

John J. & Dorothy C. Guy  
391 School Street  
Berwick, Maine 03901  
Deed Book 3037 Page 92  
Berwick Tax Map R-54 Lot 3



Site Map (Not To Scale)

Notes

- Deed Reference:**
  - Margaret A. Pappin & Norman R. Pappin to James M. Chandler and Debra J. Chandler, Co-trustees of the Woodman Retirement Trust, dated April 26, 2016 and recorded at the York County Registry of Deeds in book 17222 page 639.
- Plan References:**
  - Property of Raymond A., Beatrice M., and Peter A. Therien Berwick, ME., dated October 1982, and prepared by Richard Garvin.
  - Maine State Highway Commission Right Of Way Map State Highway A-5 Federal Aid Project No. 374-A(1) Berwick York County, dated July 1940 and recorded in the York County Registry of Deeds in plan book 16 page 51.
  - Survey Worksheet & Field Notes prepared by Richard Garvin as a part of the preparation of Plan Reference 2a. This information was kindly supplied by Corner Post Land Surveying.
  - Land of Daniel E. & Caroldean T. Ordway dated October 1982, and prepared by Richard Garvin.
- Basis Of Bearings:**

The bearings shown hereon are based on Plan Reference 2a, and appear to reference 1982 Magnetic North.
- Underground Utilities:**

No attempt has been made during this survey to locate any existing underground utility structures. Before any future earthwork is done on site, the appropriate agencies should be contacted to locate any existing underground utilities.
- Road Record:**

**Route 9 (School Street)** - Width Varies. See Plan Reference 2b. The sideline of Route 9 as shown hereon was calculated utilizing information shown on Plan Reference 2b, and granite highway monuments found at Stations 130+00 and 169+00. Reference is made to survey field notes supplied to us by the Maine Department of Transportation labeled Berwick 374-A(1) File 16-50" which show where highway monuments were set along this portion of Route 9.
- Common Boundary Line With John & Dorothy Guy:**

An onsite visit was conducted with John Guy to review the common boundary line between his property and the surveyed premises. Mr. Guy explained that he and our client James Chandler had previously removed their common boundary marker along Route 9 during some recent tree stump removal, but had taken accurate swing line measurements to the survey iron prior to its removal and replaced it in the same location after the site work had concluded. John also showed us that he believed his "back iron" was at or near the "metal stake" we found in a well area near the northwesterly corner of his property. Both parties involved agree upon this mutual boundary line, as shown.



Plan Showing A Boundary Retracement Made For  
**Woodman Retirement Trust**  
c/o James M. & Debra J. Chandler  
31 Cincotta Lane, Berwick, Maine 03901  
Of Property Located On  
**School Street (Route 9)**  
In  
**Berwick, Maine**

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Date:	July 26, 2016
Job #:	2016043
File Name:	2016043.dwg
Drawn By:	DDM
Scale:	1" = 50'

Surveyors Certificate:

I hereby certify that this survey conforms to the Maine Board of Licensure For Professional Land Surveyors Chapter 90 Standards of Practice. This certification is not a certification to the title or ownership of the property, or to any neighboring property lines.

Joseph L. Stanley  
Maine Professional Land Surveyor #2453  
Date: July 26, 2016

The survey results shown hereon are an expression of professional opinion based on all of the public and private records found by this firm. LinePro Land Surveying reserves the right to reconsider this boundary opinion should more private survey evidence become available.



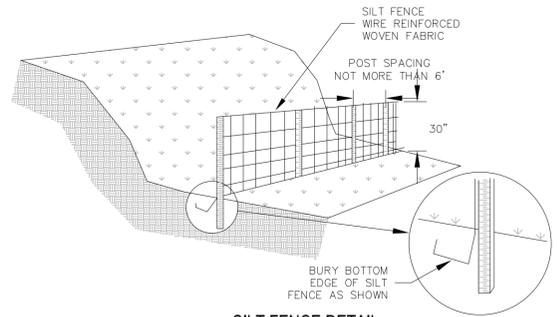
Detail A - Not To Scale

Legend

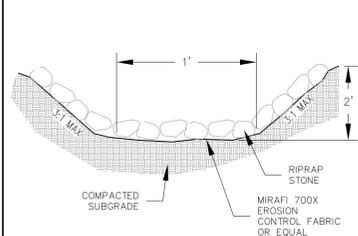
- Iron Pipe
- Iron Rod
- 5/8" Iron Rod To Be Set With Plastic Survey Cap Marked "LINEPRO PLS2453"
- Utility Pole
- Utility Lines
- Abutter Lines
- Property Lines
- Right Of Way Lines

17102.00



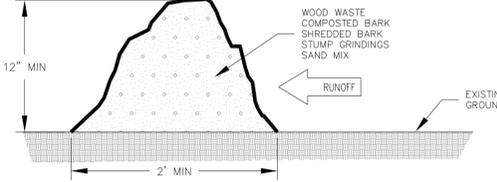


**SILT FENCE DETAIL**  
NOT TO SCALE



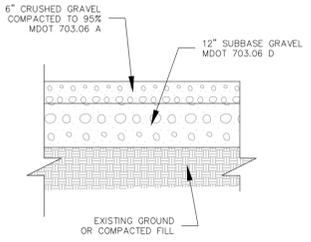
**RIPRAP SWALE DETAIL**  
NOT TO SCALE

- NOTES:**
1. SWALE SLOPES AT 1%
  2. STONE SIZE D50= 5", MAX. STONE SIZE= 9"
  3. MINIMUM DEPTH OF RIPRAP LAYER= 9"

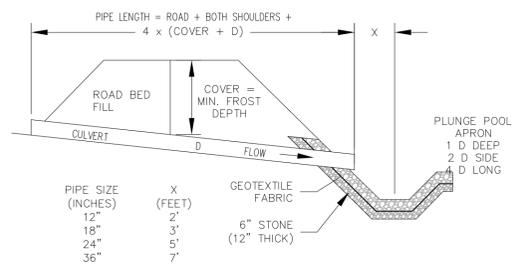


- NOTES:**
1. THIS BERM MAY BE USED IN PLACE OF FILTER FENCE WHERE APPLICABLE. THE MIXTURE OF THE BERM MATERIAL NEEDS TO BE A WELL-GRADE BLEND OF ORGANIC & MINERAL SUBSTANCE CONFORMING TO THE FOLLOWING STANDARDS:  
ORGANIC MATTER CONTENT: BETWEEN 80% AND 100%  
MOISTURE CONTENT: 30%-60%  
PH: BETWEEN 5.0 AND 8.0  
PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 5" SCREEN AND A MINIMUM OF 70% MAXIMUM OF 85%, PASSING A 0.75" SCREEN.  
LARGE PORTION OF SILTS, CLAYS OR FINE SANDS ARE NOT ACCEPTABLE MIX
  2. THE BERM SHALL BE PLACED ALONG A RELATIVELY LEVEL CONTOUR WHEREVER POSSIBLE. THE EXISTING SURFACE MUST BE SCOURED AND THE MIXTURE KEYED IN LIKE ANY OTHER SEDIMENT CONTROL MEASURE.

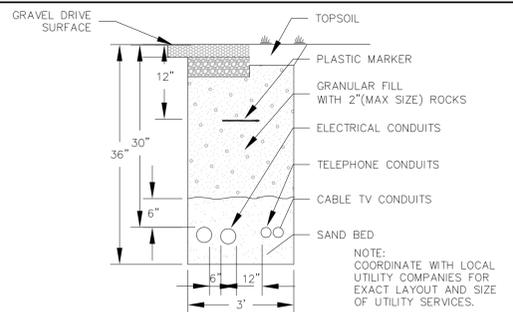
**FILTER BERM DETAIL**  
NOT TO SCALE



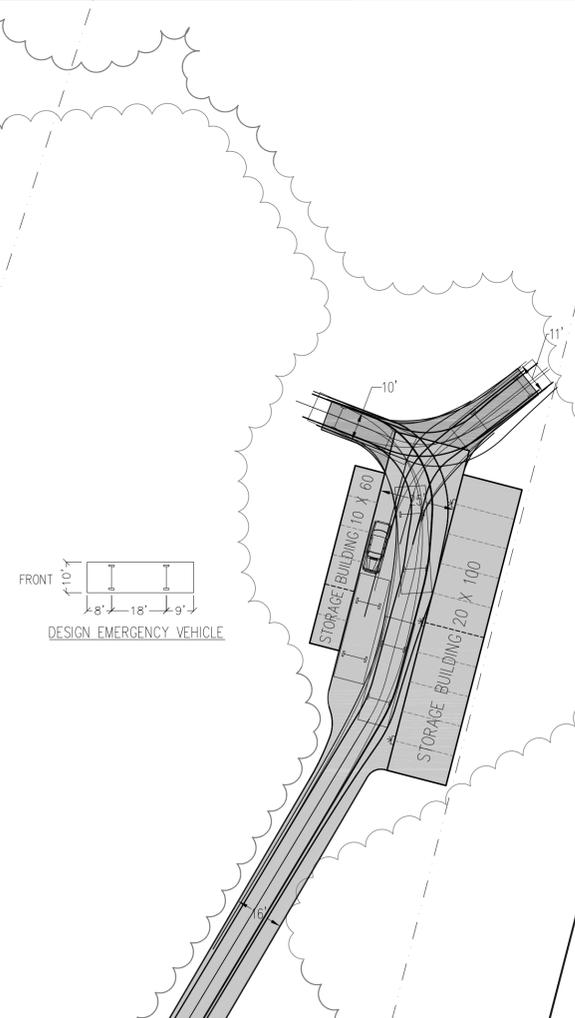
**TYPICAL GRAVEL DRIVE SECTION**  
NOT TO SCALE



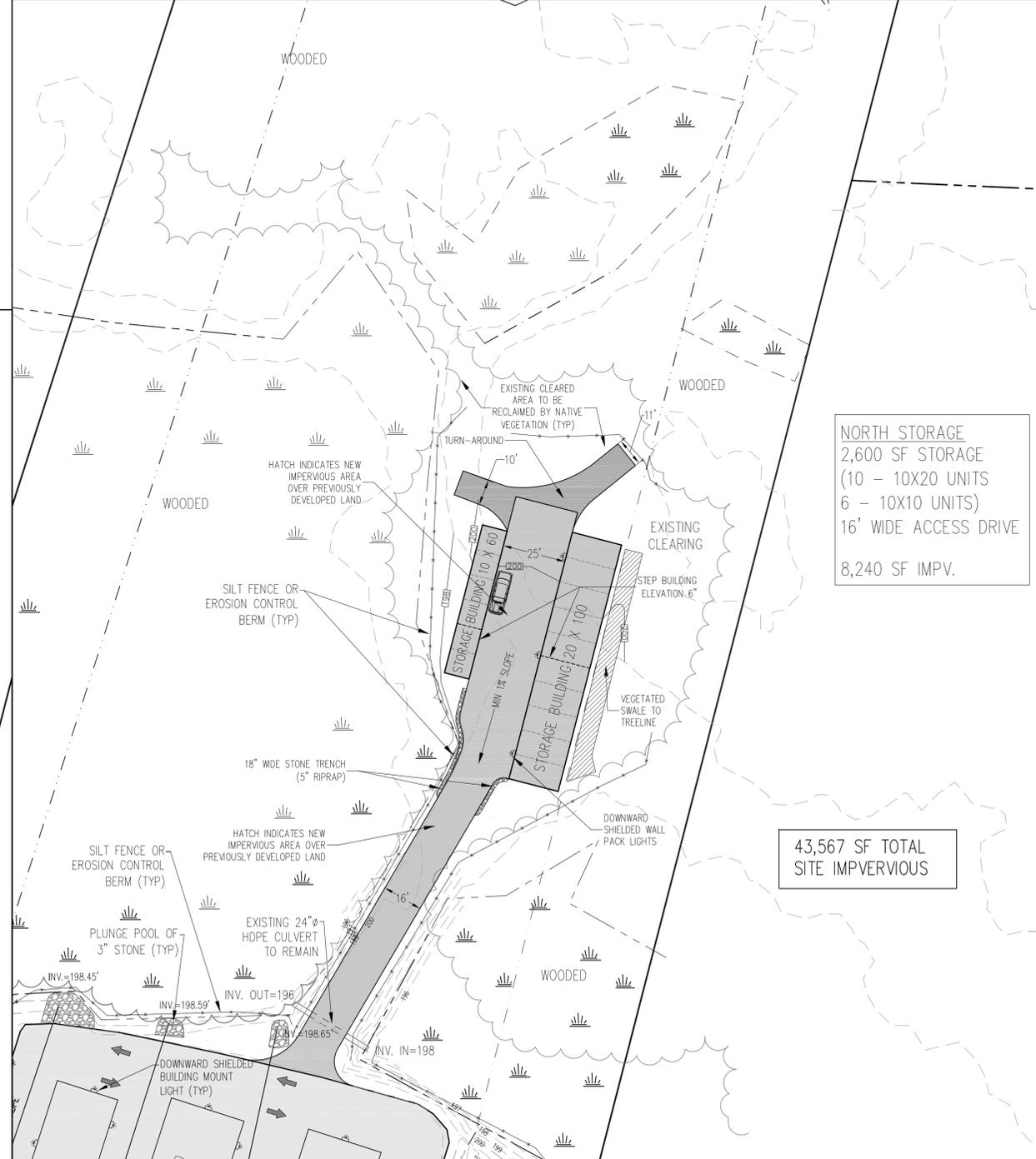
**PLUNGE POOL OUTLET PROTECTION**  
NOT TO SCALE



**ELECTRIC & TELEPHONE TRENCH DETAIL**  
NOT TO SCALE

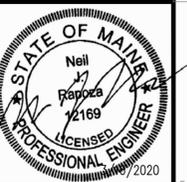


**EMERGENCY VEHICLE MOVEMENT DETAIL**  
SCALE: 1" = 30'



**SITE LAYOUT DETAIL**  
SCALE: 1" = 30'

PLAN APPROVED BY TOWN OF BERWICK PLANNING BOARD	
	CHAIRMAN
DATE:	



**CIVIL CONSULTANTS**  
Engineers  
Planners  
Surveyors  
P.O. Box 100  
South Berwick  
Maine  
03908  
207-384-2550  
www.civcon.com

NO.	REVISIONS	INT.	DATE
1			

RECORD OWNER:  
PK STORAGE L.L.C.  
OWNER ADDRESS:  
PO BOX 517  
BERWICK, ME 03901

**PROPOSED SITE MODIFICATIONS**  
**LAND OF PK STORAGE, L.L.C.**  
**SCHOOL STREET (ROUTE 9), BERWICK,**  
**YORK COUNTY, MAINE, 03901**

PREPARED FOR:  
**PAUL KENNEDY**  
SCHOOL STREET, BERWICK, ME 03901

CLIENT ADDRESS:

DATE: 3/16/2020  
DRAWN BY: NJR  
CHECKED BY:  
APPROVED BY: NJR

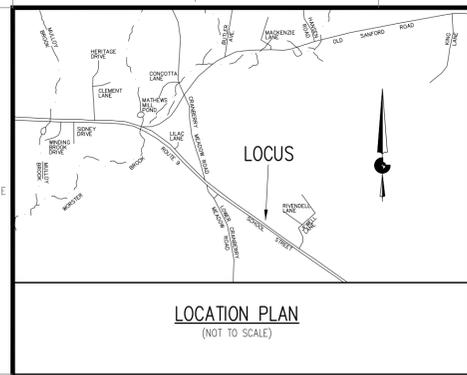
**EXPANSION PLAN AND DETAILS**

PROJECT NO: 17-102.01

**L2**

SHEET: 2 OF 2

TAX MAP NO. R-54 LOT NO. 4



**LEGEND:**

6897/327	DEED BOOK / PAGE NUMBER
DIA.	DIAMETER
N/F	NOW OR FORMERLY
REF.	REFERENCE
SQ.F.T.	SQUARE FEET
Y.C.R.D.	YORK COUNTY REGISTRY OF DEEDS
HDPE	HIGH DENSITY POLY-ETHYLENE
UTILITY POLE	UTILITY POLE
SET 5/8" IRON ROD SET	SET 5/8" IRON ROD SET
DRILL HOLE SET	DRILL HOLE SET
FOUND IRON PIPE AS NOTED	FOUND IRON PIPE AS NOTED
WELL	WELL
LOCUS BOUNDARY LINE	LOCUS BOUNDARY LINE
APPROXIMATE ADJOINING PARCEL BOUNDARY	APPROXIMATE ADJOINING PARCEL BOUNDARY
EDGE OF WETLAND	EDGE OF WETLAND
TREELINE	TREELINE
PROPOSED FENCE	PROPOSED FENCE
PROPOSED SILT FENCE/EROSION CONTROL BERM	PROPOSED SILT FENCE/EROSION CONTROL BERM
PROPOSED WATER	PROPOSED WATER
PROPOSED SEWER	PROPOSED SEWER
UNDERGROUND ELECTRIC (CONTACT DIGSAFE)	UNDERGROUND ELECTRIC (CONTACT DIGSAFE)
EXISTING IMPERVIOUS AREA	EXISTING IMPERVIOUS AREA
PROPOSED IMPERVIOUS AREA	PROPOSED IMPERVIOUS AREA
EXISTING CONTOUR	EXISTING CONTOUR
PROPOSED CONTOUR	PROPOSED CONTOUR

**NOTES:**

- ASSESSOR'S INFORMATION:  
TOWN OF BERWICK ASSESSOR'S MAP R-54 LOT 4
- RECORD OWNER:  
PK STORAGE, L.L.C.  
PO BOX 577  
BERWICK, ME 03901
- DEED REFERENCE:  
Y.C.R.D. 17410/670
- ZONING INFORMATION:  
RURAL RESIDENTIAL - FARM ZONE (R3)  
LOT SIZE: 90,000 SQ.FT.  
MINIMUM FRONTAGE: 300'  
SETBACKS:  
FRONT YARD: 75'  
SIDE YARD: 50'  
REAR YARD: 50'  
MAXIMUM BUILDING HEIGHT: 35'  
MINIMUM LOT WIDTH: 300'  
MAXIMUM LOT COVERAGE: 20%  
(LOTS CONTAINING ONLY COMMERCIAL OR INDUSTRIAL USES MAY BE ALLOWED A MAXIMUM LOT COVERAGE PERCENTAGE OF 50%)
- NORTH AS DEPICTED HEREON IS REFERENCED TO GRID NORTH, NAD83, MAINE STATE PLANE COORDINATE SYSTEM (MSPCS) WEST ZONE. COORDINATE VALUES AND ORIENTATION ARE DERIVED FROM A GPS SURVEY COMPUTED UTILIZING THE NAD83 OPUS ON-LINE PROCESSING SERVICE. REFERENCE FRAME IS NAD83 CORS86 EPOCH 2002.0000. THE SURVEY IS TIED TO CORS STATIONS BOSTON WAAS 1 CORS (ZBW1), BARTLETT CORS (BARN) AND BRUNSWICK 1 CORS (BRU1). DISTANCES DEPICTED HEREON ARE GRID. TO CONVERT GRID DISTANCES TO GROUND DISTANCES, MULTIPLY THE GRID DISTANCE BY 0.999999978 (AVERAGE COMBINED SCALE FACTOR FOR THE SITE).
- THE PARCEL IS LOCATED IN FLOOD HAZARD ZONE X AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF BERWICK, COMMUNITY PANEL NO Z30144 0010 B, EFFECTIVE DATE AUGUST 5, 1991. ZONE X IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- LOCUS PARCEL CONTAINS 5.09 ACRES MORE OR LESS.
- THE BOUNDARY AS SHOWN HEREON IS BASED ON REFERENCE PLAN #1 AND PHYSICAL MONUMENTS SHOWN THEREON. NO INDEPENDENT BOUNDARY RETRACEMENT WAS PERFORMED BY CIVIL CONSULTANTS.
- TOPOGRAPHIC DETAIL SHOWN HEREON WAS DERIVED FROM LIDAR DATA OBTAINED FROM THE MAINE OFFICE OF GIS AND MAY NOT ACCURATELY REFLECT CURRENT CONDITIONS ON SITE. THE DATUM IS NAVD83.
- RESEARCH FOR THIS PROJECT WAS LIMITED TO THE PERIOD OF TIME FROM JULY 26, 2016 TO MARCH 24, 2017.
- WETLANDS SHOWN HEREON WERE DELINEATED BY KENNETH GARDNER IN MARCH 2017.
- WETLANDS IN THIS AREA ARE SHOWN BASED ON THE BOTTOM OF FILL. WETLAND FLAG A3 IN THIS AREA WAS OCCURRED BY SNOW PRESENT ON SITE ON THE DATE OF THIS SURVEY.
- THE BERWICK ZONING BOARD OF APPEALS GRANTED A VARIANCE FOR LOT FRONTAGE AND WIDTH AT A MEETING HELD 1-NOVEMBER-2017. THE VARIANCE HAS BEEN RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS, BOOK 17596 PAGE 512.

**REFERENCE PLANS:**

- \*PLAN SHOWING A BOUNDARY RETRACEMENT MADE FOR WOODMAN RETIREMENT TRUST C/O JAMES M. & DEBRA J. CHANDLER OF PROPERTY LOCATED ON SCHOOL STREET (ROUTE 9) IN BERWICK, MAINE, DATED JULY 26, 2016, BY LINE PRO LAND SURVEYING, L.L.C., UNRECORDED
- \*EXISTING CONDITIONS PLAN OF LAND OF PK STORAGE, L.L.C., SCHOOL STREET (ROUTE 9), BERWICK, YORK COUNTY, MAINE, 03901, DATED 3/24/2017, BY CIVIL CONSULTANTS, PROJECT #17-102.00

PLAN APPROVED BY TOWN OF BERWICK PLANNING BOARD	
	CHAIRMAN
DATE:	

**NOTE:**

- RENTAL AGREEMENTS SHALL INCLUDE LANGUAGE THAT NOTIFIES RENTERS OF LIMITATIONS OF VEHICULAR MOVEMENT BETWEEN THE BUILDINGS WITH REGARD TO PARKING AND UNLOADING OF MULTIPLE TRUCKS IN A SINGLE ISLE. DUE TO THE PROXIMITY OF THE STRUCTURES, LARGER TRUCKS AND VANS PARKED TO LOAD/UNLOAD MAY CAUSE THE ISLES TO BE IMPASSABLE BY OTHER VEHICLES. THE PERIMETER TRAVEL AREA IS TO BE KEPT CLEAR OF PARKED VEHICLES FOR EMERGENCY/SERVICE VEHICLE ACCESS.
- THE WORK INDICATED ON THESE PLANS REPRESENTS AN AMENDMENT TO A CONDITIONAL USE PROJECT TITLED "PK STORAGE, LLC", APPROVED NOVEMBER 2, 2017.
- CONSTRUCTION OF THE APPROVED PROJECT HAS BEEN COMPLETED AND WILL BE FULLY STABILIZED IN THE SPRING OF 2020, WITH ANY MODIFICATIONS INDICATED HEREON.
- LOT COVERAGE(BUILDING): 14,950 SF (BUILDING) / 148,660 SF (UPLAND) = 10% COVERAGE  
LOT COVERAGE (TOTAL): 43,547 SF / 148,660 (UPLAND) = 29% COVERAGE (50% ALLOWED FOR COMMERCIAL USE PER 4.3)

**OVERWINTER STABILIZATION**

MAINE EROSION AND SEDIMENT CONTROL BMP (3/2003)

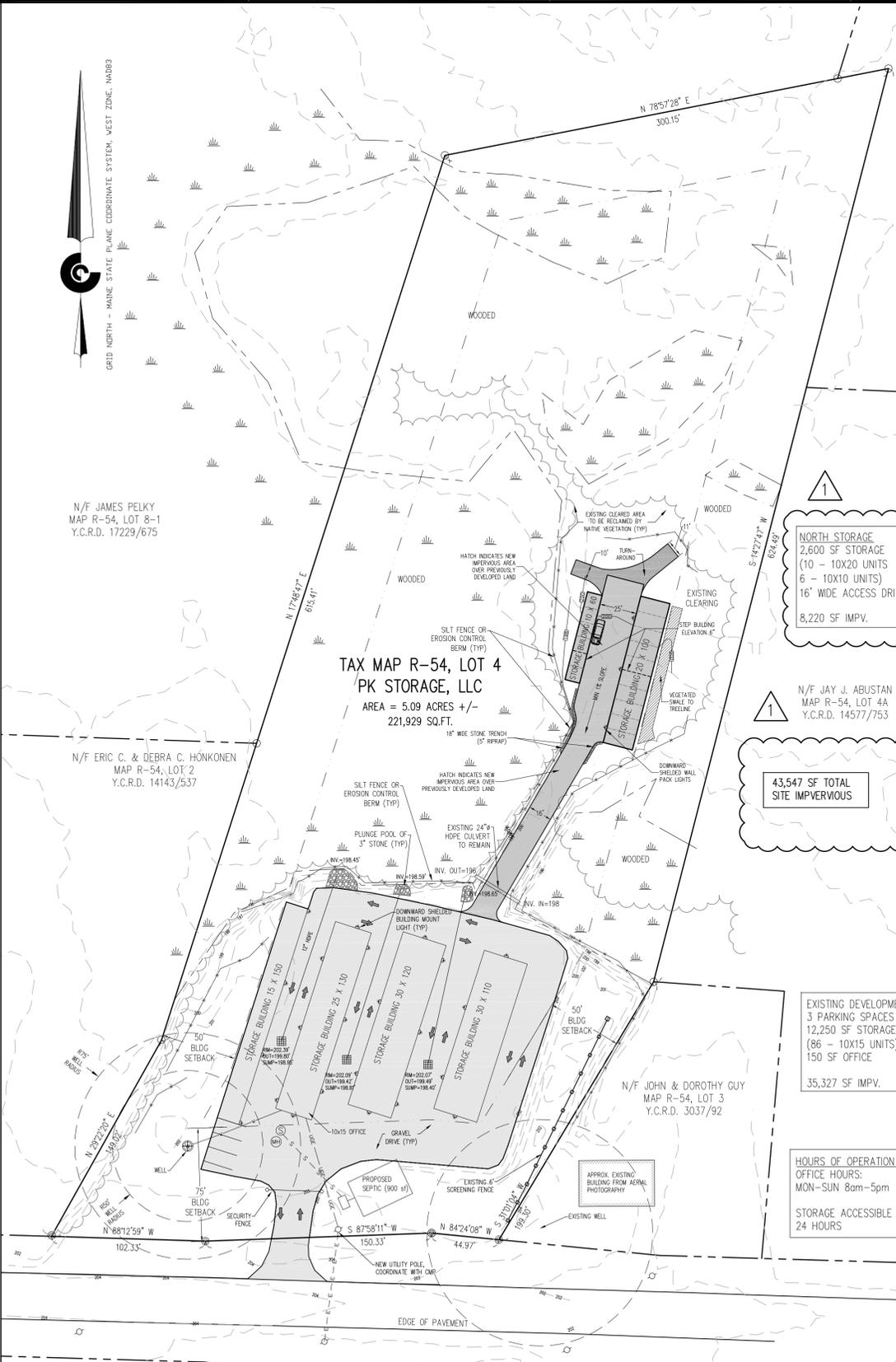
**1. STABILIZATION OF DITCHES AND CHANNELS**  
ALONG-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. IF A DITCH OR CHANNEL IS NOT GRASS-LINED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE DITCH FOR LATE FALL AND WINTER MUST BE TAKEN.  
**SOD LINING:** A DITCH OR CHANNEL MUST BE LINED WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES: PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL, AND ANCHORING THE SOD AT THE BASE OF THE DITCH WITH JUTE OR PLASTIC MESH TO PREVENT THE SOD FROM SLOUGHING DURING FLOW CONDITIONS.  
**STONE LINING:** A DITCH OR CHANNEL MUST BE LINED WITH STONE RIPRAP BY NOVEMBER 15. A REGISTERED PROFESSIONAL ENGINEER MUST DETERMINE THE STONE SIZE AND LINING THICKNESS NEEDED TO WITHSTAND THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHIN THE DITCH. IF NECESSARY, THE CONTRACTOR WILL REGRADE THE DITCH PRIOR TO PLACING THE STONE LINING TO PREVENT THE STONE LINING FROM REDUCING THE DITCH'S CROSS-SECTIONAL AREA.

**2. STABILIZATION OF DISTURBED SLOPES**  
ALL STONE COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL SLOPES TO BE VEGETATED MUST BE SEEDED AND MULCHED BY SEPTEMBER 1. THE DEPARTMENT WILL CONSIDER ANY AREA HAVING A GRADE GREATER THAN 15% TO BE A SLOPE. IF A SLOPE IS TO BE VEGETATED IS NOT STABILIZED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.  
**TEMPORARY VEGETATION AND EROSION CONTROL MATS:** BY OCTOBER 1, THE DISTURBED SLOPE MUST BE SEEDED WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET FOLLOWED BY INSTALLATION OF EROSION CONTROL MATS OR ANCHORED MULCH OVER THE SEEDING. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR FAILS TO COVER AT LEAST 75% OF THE SLOPE BY NOVEMBER 1, THEN THE CONTRACTOR WILL COVER THE SLOPE WITH A LAYER OF EROSION CONTROL MIX OR STONE RIPRAP AS DESCRIBED IN THE FOLLOWING STANDARDS.  
**SOD:** THE DISTURBED SLOPE MUST BE STABILIZED WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE CONTRACTOR WILL NOT USE LATE-SEASON SOD INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% (3H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.  
**EROSION CONTROL MIX:** EROSION CONTROL MIX MUST BE PROPERLY INSTALLED BY NOVEMBER 15. THE CONTRACTOR WILL NOT USE EROSION CONTROL MIX TO STABILIZE SLOPES HAVING GRADINGS GREATER THAN 50% (2H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.  
**STONE RIPRAP:** PLACE A LAYER OF STONE RIPRAP ON THE SLOPE BY NOVEMBER 15. THE DEVELOPMENT'S OWNER WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER TO BE INSTALLED BENEATH THE RIPRAP.

**3. STABILIZATION OF DISTURBED SOILS**  
**TEMPORARY VEGETATION:** BY OCTOBER 1, SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3-LBS PER 1,000 SQUARE FEET, LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75-LBS PER 1,000 SQUARE FEET, AND ANCHOR THE MULCH WITH PLASTIC NETTING. MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER 1, THEN MULCH THE AREA FOR OVERWINTER PROTECTION AS FOLLOWS.  
**MULCH:** BY NOVEMBER 15, MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150-LBS PER 1,000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. IMMEDIATELY AFTER APPLYING THE MULCH, ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.  
**MAINTENANCE**  
MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION SEASON. AFTER EACH RAINFALL, SNOW STORM OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUOUS FUNCTION.  
FOLLOWING THE TEMPORARY AND OR FINAL SEEDING AND MULCHING, THE CONTRACTOR SHALL IN THE SPRING INSPECT AND REPAIR ANY DAMAGES AND/OR BARE SPOTS. AN ESTABLISHED VEGETATIVE COVER MEANS A MINIMUM OF 85% TO 90% OF AREAS VEGETATED WITH VIGOROUS GROWTH.

**STABILIZATION SCHEDULE BEFORE WINTER**  
SEPTEMBER 1: ALL DISTURBED AREAS MUST BE SEEDED AND MULCHED. ALL SLOPES MUST BE STABILIZED, SEEDED AND MULCHED. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE STABILIZED WITH MULCH OR AN EROSION CONTROL BLANKET.  
OCTOBER 1: IF THE SLOPE IS STABILIZED WITH AN EROSION CONTROL BLANKET AND SEEDED, ALL DISTURBED AREAS TO BE PROTECTED WITH ANNUAL GRASS MUST BE SEEDED AT A SEEDING RATE OF 3-LBS PER 1,000 SQUARE FEET AND MULCHED.  
NOVEMBER 15: ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED. SLOPES THAT ARE COVERED WITH RIPRAP MUST BE CONSTRUCTED BY THIS DATE.  
DECEMBER 1: ALL DISTURBED AREAS WHERE GROWTH OF VEGETATION FAILS TO BE AT LEAST THREE INCHES TALL OR AT LEAST 75% OF THE DISTURBED SOIL IS COVERED VEGETATION, MUST BE PROTECTED FOR OVER-WINTER.  
NOTE: THE DATES GIVEN ARE FOR PROJECTS IN SOUTH-CENTRAL MAINE.

**SCHOOL STREET (ROUTE 9)**  
(PAVED, PUBLIC)



CIVIL CONSULTANTS  
**CIVIL CONSULTANTS**  
Engineers  
Planners  
Surveyors  
P.O. Box 100  
South Berwick  
Maine  
03908  
207-384-2550  
www.civcon.com

NO.	REVISIONS	DATE
1	REVISE COVERAGE CALC	4/21/20

RECORD OWNER:  
PK STORAGE, L.L.C.  
OWNER ADDRESS:  
PO BOX 577  
BERWICK, ME 03901

**PROPOSED SITE MODIFICATIONS**  
LAND OF PK STORAGE, L.L.C.  
SCHOOL STREET (ROUTE 9), BERWICK,  
YORK COUNTY, MAINE, 03901

PREPARED FOR:  
PAUL KENNEDY  
SCHOOL STREET, BERWICK, ME 03901

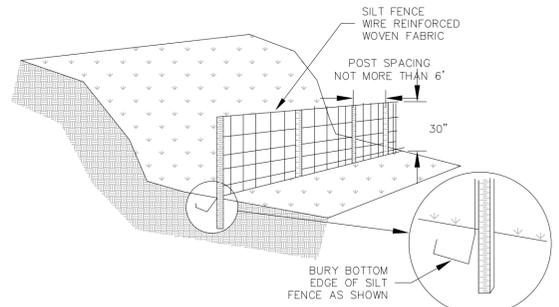
DATE: 3/16/2020  
DRAWN BY: NJR  
CHECKED BY:  
APPROVED BY:

REVISED  
SITE PLAN

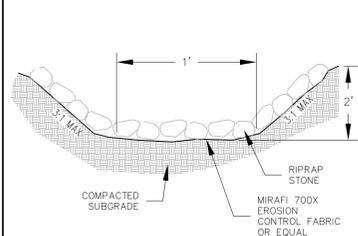
PROJECT NO: 17-102.01

**L1**

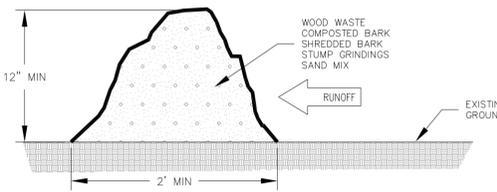
SHEET: 1 OF 2



**SILT FENCE DETAIL**  
NOT TO SCALE

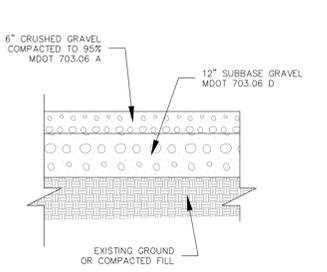


**RIPRAP SWALE DETAIL**  
NOT TO SCALE

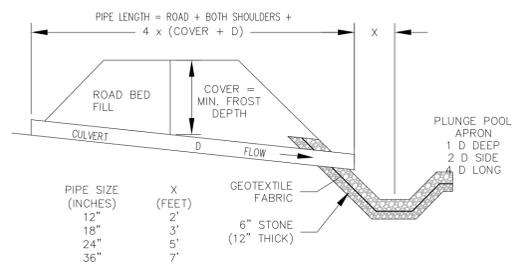


**NOTES:**  
1. THIS BERM MAY BE USED IN PLACE OF FILTER FENCE WHERE APPLICABLE. THE MIXTURE OF THE BERM MATERIAL NEEDS TO BE A WELL-GRADE BLEND OF ORGANIC & MINERAL SUBSTANCE CONFORMING TO THE FOLLOWING STANDARDS:  
ORGANIC MATTER CONTENT: BETWEEN 80% AND 100%  
MOISTURE CONTENT: 30%-60%  
PH: BETWEEN 5.0 AND 8.0  
PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 5" SCREEN AND A MINIMUM OF 70% MAXIMUM OF 85% PASSING A 0.75" SCREEN.  
LARGE PORTION OF SILTS, CLAYS OR FINE SANDS ARE NOT ACCEPTABLE MIX  
2. THE BERM SHALL BE PLACED ALONG A RELATIVELY LEVEL CONTOUR WHEREVER POSSIBLE. THE EXISTING SURFACE MUST BE SCOURED AND THE MIXTURE KEYED IN LIKE ANY OTHER SEDIMENT CONTROL MEASURE.

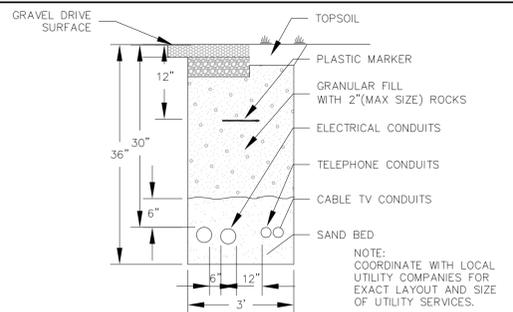
**FILTER BERM DETAIL**  
NOT TO SCALE



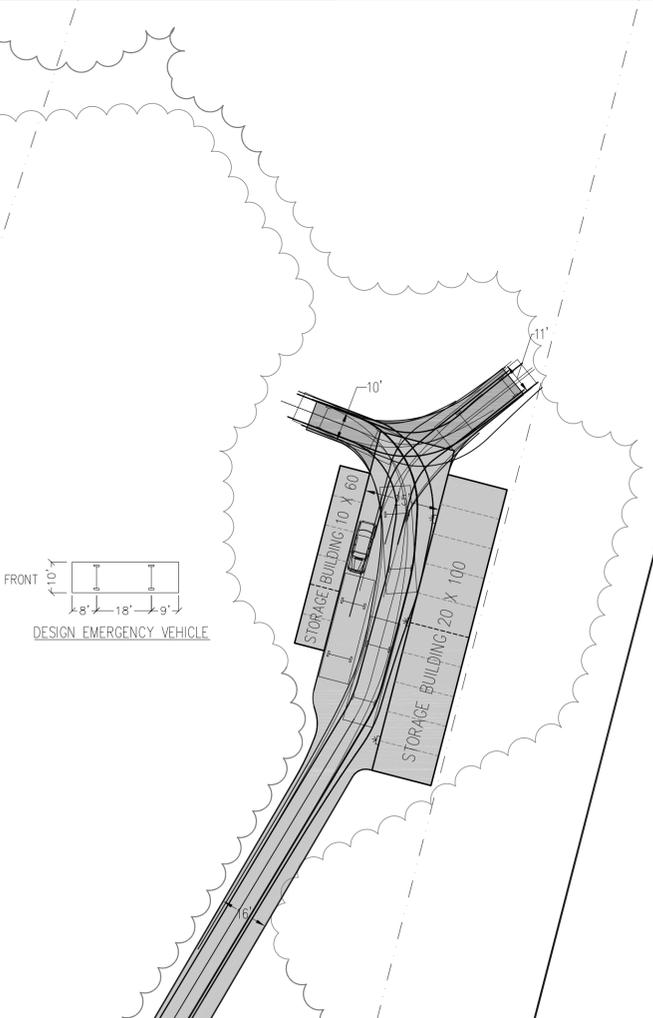
**TYPICAL GRAVEL DRIVE SECTION**  
NOT TO SCALE



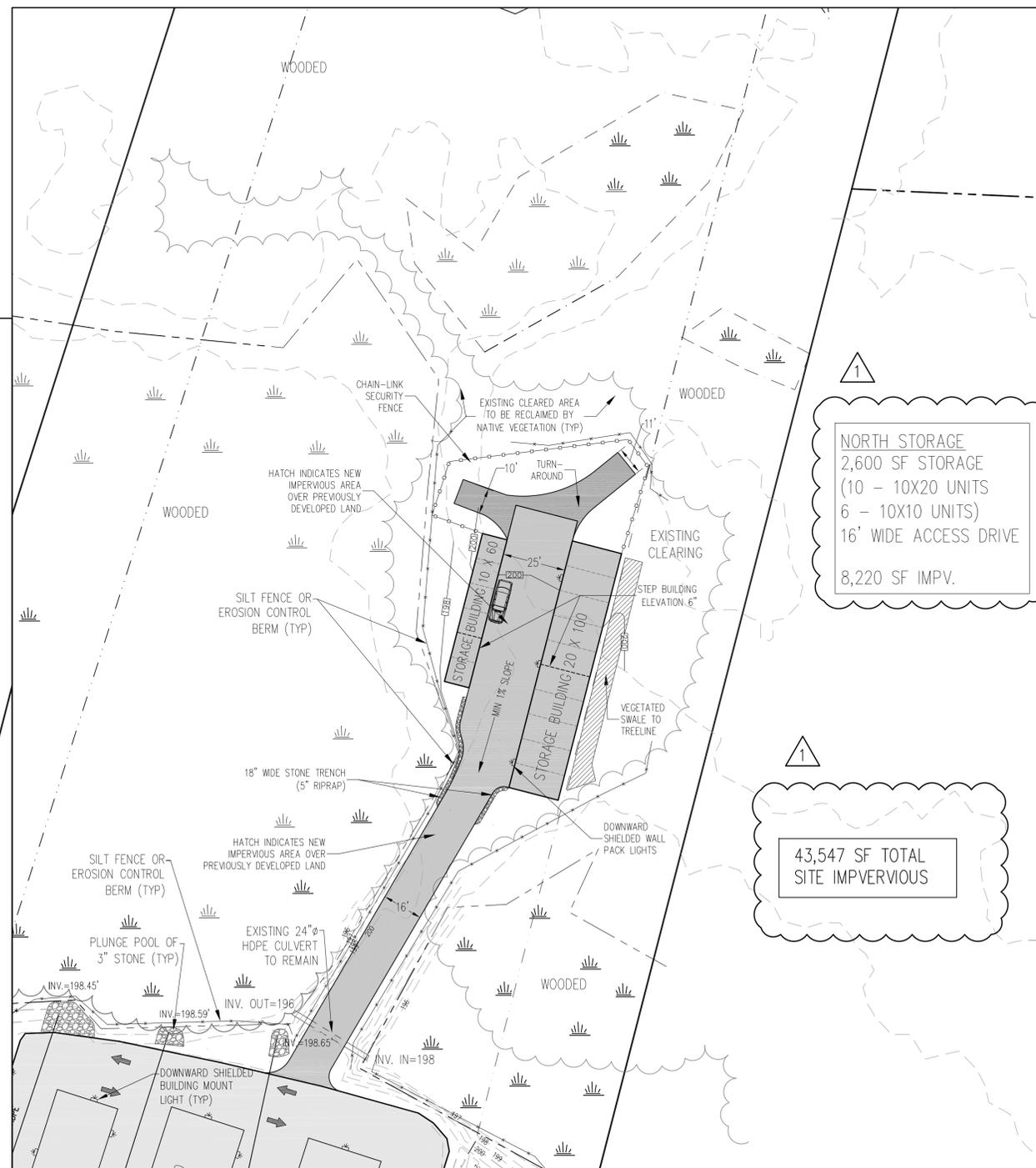
**PLUNGE POOL OUTLET PROTECTION**  
NOT TO SCALE



**ELECTRIC & TELEPHONE TRENCH DETAIL**  
NOT TO SCALE



**EMERGENCY VEHICLE MOVEMENT DETAIL**  
SCALE: 1" = 30'

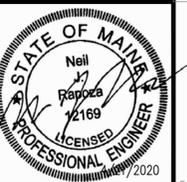


**SITE LAYOUT DETAIL**  
SCALE: 1" = 30'

**NORTH STORAGE**  
2,600 SF STORAGE  
(10 - 10X20 UNITS  
6 - 10X10 UNITS)  
16' WIDE ACCESS DRIVE  
8,220 SF IMPV.

**43,547 SF TOTAL**  
SITE IMPVERVIOUS

PLAN APPROVED BY TOWN OF BERWICK PLANNING BOARD	
	CHAIRMAN
DATE:	



**CIVIL CONSULTANTS**  
Engineers  
Planners  
Surveyors  
P.O. Box 100  
South Berwick  
Maine  
03908  
207-384-2550  
www.civcon.com

NO.	REVISIONS	DATE
1 <td>REVERSE COVERAGE CALC <td>4/21/20 </td></td>	REVERSE COVERAGE CALC <td>4/21/20 </td>	4/21/20

RECORD OWNER:  
PK STORAGE L.L.C.  
OWNER ADDRESS:  
PO BOX 577  
BERWICK, ME 03901

**PROPOSED SITE MODIFICATIONS**  
**LAND OF PK STORAGE, L.L.C.**  
**SCHOOL STREET (ROUTE 9), BERWICK,**  
**YORK COUNTY, MAINE, 03901**

PREPARED FOR:  
**PAUL KENNEDY**  
SCHOOL STREET, BERWICK, ME 03901

DATE: 3/16/2020  
DRAWN BY: NJR  
CHECKED BY:  
APPROVED BY: NJR

**EXPANSION PLAN**  
**AND DETAILS**

PROJECT NO: 17-102.01

**L2**

SHEET: 2 OF 2

TAX MAP NO. R-54 LOT NO. 4